

Crossroads of Flagler County

Board Members:
Carl Lilavois, Chair
Gary Masten, Co-Chair
Robin Tyler
Manuel Madaleno
Nealon Joseph (Alternate)

PLANNING, ZONING AND APPEALS BOARD AGENDA

Location Changed to Chambers Meeting Room (GSB)

Tuesday, June 7, 2022

6:00 PM

1769 East Moody Boulevard (GSB),

First Floor Conference Room

Bunnell, FL 32110

-
- 1. Call Meeting to Order for Planning and Zoning Meeting and Roll Call**
 - 2. Disclosure of Ex-Parte communications.**
 - 3. Approval of Minutes**
 - a. April 5, 2022 Planning, Zoning and Appeals Board Minutes
 - b. May 3, 2022 Planning Zoning & Appeals Board Minutes

New Business:

4. Public Hearing - Ordinance 2022-XX Requesting to change the Future Land Use Map in the Comprehensive Plan for 5± acres of land, owned by Marion Keith Milne Jr, Bearing the Parcel ID: 21-13-31-0650-000A0-0070 from the "Rural Estates" to the "Agricultural" future land use category.
5. Public Hearing - Ordinance 2022-XX Requesting to change the official zoning map for 5± acres of land, owned by Marion Keith Milne Jr, Bearing the Parcel ID: 21-13-31-0650-000A0-0070 from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural" district.
6. PZA Case 2021-52 Whistle Stop Farms Minor Subdivision
7. PZA Case 2022-64 Request for Site Plan Approval for New Construction in Palm Industrial Park

Old Business:

8. Public Hearing: PZA 2022-66 Application by First Coast Roll Off, LLC for a special exception to allow a Source-separated Organics Processing Facility (SOPF) in the AGS, Agricultural & Silviculture district.
9. Ordinance 2022-16 Requesting to change the official zoning map for 17,527± acres of land within the City of Bunnell.

- 10. Public Comment**

Comments regarding items not on the agenda. Citizens are encouraged to speak; however, comments should be limited to three minutes.

11. Board comment

12. Adjournment of Planning and Zoning Meeting

NOTICE: If any person decides to appeal any decision made by the Planning, Zoning and Appeals Board with respect to any item considered at any meeting of this board; He or She will need a record of the proceedings, and for this purpose, He or She may need to ensure that a verbatim record of the proceedings is made, which record is to include the testimony and evidence upon which the appeal is based. (286.0105 Florida Statutes). Any person requiring a special accommodation at this meeting because of disability or physical impairment should contact the City Clerk at (386) 437-7500 at least 48 hours prior to the meeting date.



City of Bunnell, Florida

Agenda Item No. a.

ATTACHMENTS:

Description

April 5, 2022 Planning, Zoning and Appeals Board Minutes (as amended)

Type

Minutes



Crossroads of Flagler County

Board Members:
Carl Lilavois, Chair
Gary Masten, Co-Chair
Robin Tyler
Manuel Madaleno
Nealon Joseph (Alternate)

PLANNING, ZONING AND APPEALS BOARD

MINUTES

Tuesday, April 5, 2022

6:00 PM

1769 East Moody Boulevard (GSB),
First Floor Conference Room
Bunnell, FL 32110

1. Call Meeting to Order for Planning and Zoning Meeting and Roll Call

Chair Carl Lilavois called the meeting to order at 6:00PM and led the Pledge of Allegiance.

Present: Carl Lilavois, Chair; Gary Masten, Co-Chair; Manuel Madaleno; Robin Tyler; Nealon Joseph (voting alternate)

Excused:

Absent:

Non-Voting: City Attorney John Cary; City Planner Mark Karet; Code Enforcement Officer Gary Harris; City Manager Dr. Alvin Jackson Jr.; Infrastructure Director Dustin Vost; Community Development Coordinator Christine Hancock; Permit Technician Adrian Calderin

2. Disclosure of Ex-Parte communications.

None

3. Approval of Minutes

a. February 1, 2022 Planning, Zoning and Appeals Board Meeting Minutes

Motion: Approve the February 1, 2022 Planning, Zoning and Appeals Board Meeting Minutes.

Moved By: Gary Masten

Seconded By: Manny Madaleno

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Carl Lilavois - Yes

Gary Masten - Yes

Manuel Madaleno – Yes

Robin Tyler – (Arrived late)

Nealon Joseph – (Arrived Late)

Vote: Motion carried by unanimous vote.

New Business:

4. Public Hearing - Ordinance 2022-XX Requesting to change the Future Land Use Map in the Comprehensive Plan for 5± acres of land, owned by Truant Construction, LLC, Bearing the Parcel ID: 21-13-31-0650-000D0-0042 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agricultural

Chair Lilavois introduced the item. City Attorney Carry read the short title into the record. City Planner Karet presented and explained both item #4 and item #5 as they are companion items. He explained this property has not annexed into the City but has petitioned for voluntary annexation. The applicant plans to do agricultural activity on the property.

Motion: Approve Ordinance 2022-XX Requesting to change the Future Land Use Map in the Comprehensive Plan for 5± acres of land, owned by Truant Construction, LLC, Bearing the Parcel ID: 21-13-31-0650-000D0-0042 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agricultural.

Moved By: Gary Masten

Seconded By: Nealon Joseph

Board Discussion: Gary Masten asked if the applicant owned the adjacent property to allow for access to this property. City Planner Karet replied there is an existing easement that runs south of E Twin Lakes Rd which allows the applicant access to the property.

Public Discussion: None

Roll Call Vote:

Carl Lilavois - Yes
Gary Masten - Yes
Manuel Madaleno – Yes
Robin Tyler – Yes
Nealon Joseph – Yes

Vote: Motion carried by unanimous vote

5. Public Hearing - Ordinance 2022-XX Requesting to change the official zoning map for 5± acres of land, owned by Truant Construction, LLC, Bearing the Parcel ID: 21-13-31-0650-000D0-0042, from the Flagler County "R-1, Rural Residential" district to the City of Bunnell "AG, Agricultural District"

Chair Lilavois introduced the item. City Attorney Carry read the short title into the record. This item was explained during item #4.

Motion: Approve Ordinance 2022-XX Requesting to change the official zoning map for 5± acres of land, owned by Truant Construction, LLC, Bearing the Parcel ID: 21-13-31-0650-000D0-0042, from the Flagler County "R-1, Rural Residential" district to the City of Bunnell "AG, Agricultural District"

Moved By: Nealon Joseph

Seconded By: Gary Masten

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Carl Lilavois - Yes

Gary Masten - Yes
Manuel Madaleno – Yes
Robin Tyler – Yes
Nealon Joseph – Yes

Vote: Motion carried by unanimous vote

6. Public Hearing: Ordinance 2022-XX Amending the Bunnell Land Development Code Chapter 22 Site Plan Review and Approval amending minimum standards of construction.

Chair Lilavois introduced the item. City Attorney Cary read the short title into the record. He explained this is a legislative ordinance which amends the Land Development Code. The Infrastructure Department in conjunction with City Engineers have worked to fully revise the construction standards adopted in 2014. The revised standards are customized to the Utilities and roads of the City of Bunnell.

Motion: Approve Ordinance 2022-XX Amending the Bunnell Land Development Code Chapter 22 Site Plan Review and Approval amending minimum standards of construction.

Moved By: Nealon Joseph

Seconded By: Gary Masten

Board Discussion: Gary Masten asked if this is an update to the Land Development Code. Director Vost replied this proposed amendment updates the materials, piping, and the roadways so they can last longer. Robin Tyler asked if the code updates will apply to everyone one and everything, including new construction. Director Vost said it will apply to all construction issued permits after adoption of the ordinance and after the effective date.

Public Discussion: None

Roll Call Vote:

Carl Lilavois - Yes
Gary Masten - Yes
Manuel Madaleno – Yes
Robin Tyler – Yes
Nealon Joseph – Yes

Vote: Motion carried by unanimous vote

7. Public Hearing: PZA 2022-66 Application by First Coast Roll Off, LLC for a special exception to allow a Source-separated Organics Processing Facility (SOPF) in the AGS, Agricultural & Silviculture district.

Chair Lilavois read the short title into the record. City Planner Karet introduced and explained the item and the procedure for discuss this item during the meeting. The property is wooded and vacant; it slopes from north to south with about two feet of fall. The applicant proposes to develop the property to run a woodchip business. The facility will be regulated by the state and licensed through Florida DEP. The applicant will focus only on organic material from land clearing debris and not yard waste; the material generated will be sold to paper product companies and a power generating plant in Jacksonville. They are required to be inspected by the state every four years, but they may be inspected more than once in fewer time. Staff recommended approval with the condition that the standards for a source-separated organics processing facility

be adopted as condition of use, and if the conditions are violated, then the applicant may lose the special exception.

Board and Public Discussion: Robin Tyler asked where the material will be coming from. City Planner Karet said it will be from land clearing debris in the area. Clarification of inside or outside Flagler County was requested. Mr. Adams, applicant, answered the material will be from within Flagler County. Co-Chair Masten asked if this kind of operation is considered industrial. City Planner Karet said it is not considered to be industrial, and that there are already a few operations like this in Flagler County. He also stated he talked to the state about this, and they said operations like this are usually located in rural areas and not in developed areas. The applicant Mr. Adams presented his plan for the use of the property and the special exception. Mr. Adams explained the inspection process for obtaining the required State license from FDEP; he explained the license must renew with DEP every July. He stated he is willing to work with his neighbors about the drainage on his property and keeping it clean and unobstructed. Chair Lilavois asked if there were to be any contaminated debris processed. Mr. Adams answered it will be all natural or clean debris being processed. Nealon Joseph stated the environmental specialist wrote his main concern was what to do with the wood chips after processing and asked what the plan is for moving the product once created. Mr. Adams explained the product must be gone within a certain timeline, usually around 18 months, once the material is created. Chair Lilavois asked if the stacks of material being burned produce a bad smell. Mr. Adams said it does not, that it smells as if you were in a wooded area. Nealon Joseph asked if the noise from the grinders is comparable to the farm machinery already being used in the area. Mr. Adams answered you do hear the grinder running when the woodchipper is being used. Robin Tyler asked who he will be distributing his product to. Mr. Adams replied he will be distributing to his customers, and anyone that wants to buy his product. City Planner Karet asked if the Board put a condition where he can't accept any yard waste that it shouldn't be a problem. Mr. Adams said it will not. Alex Schaefur stated the aroma that is produced by the burning stacks reeks instead of the woody smell stated before. The tub grinders are louder than the woodchippers and any heavy machinery. He asked how tall the stacks will be, if they will be seen from the road as he claimed they will be a fire hazard waiting for a 18-month turnaround. Mr. Adams responded dirt will be mixed into the stacks to reduce the fire hazard, and there will be fire measures on site- a hose 24 hours, 7 days a week in case a fire does break out. City Planner Karet stated the State height limit of the stacks of processed material is 12 feet, there must be a 20-foot perimeter road all the way around it, and no material shall be more than 50 feet from access for a motorized firefighter unit. Robin Tyler asked if there will be an inspection from the fire department to assure that every is within the regulations. Mr. Adams said yes. Mark Spalding asked who will look over and regulate the restrictions put upon the applicant if the special exception were to be approved; he stated his opinion that this type of business is more suited for industrial zoning, and he feels there will be a safety hazard on the roads from the smoke created burning the organic material. He asked the Board to deny this request due to safety and other concerns. John Spalding said he has a 40-foot easement since 1970. He asked if he will be hearing his operations on Sunday morning. Mr. Adams said he will not

operate on the weekends, only Monday through Friday. John Spalding then asked if he has ever dealt with fires. Mr. Adams replied with yes, he has. John Spalding also asked if he will be only hauling in Flagler County; Mr. Adams replied yes. Mr. John Spalding asked who keeps records for the product and pikes. Mr. Adams said he is required to keep records on every pile for three years for the DEP, and the City will have access to these records. Gary Masten asked what the typical hours of operation will be. Mr. Adams said it will be Monday through Friday 7am to 5pm. Gary Masten asked how many trucks the applicant anticipates will be in and out of the facility. Mr. Adams said he will have about nine loads a day. Robin Tyler asked if there are any issues that have been reported on the existing businesses like the applicant's business that the board can take into consideration and use it as a comparison. City Planner Karet said there is none that he is aware of or that he has seen. Gary Masten asked if they imposed restrictions to limit the hours of operation and to only haul from Flagler County if he would be ok with it. Mr. Adams said yes, he will be. TJ Bratcher presented photos to the board and staff. He stated what the applicant is trying to do on the property is not what is allowed by the zoning. City Planner Karet said that is what the special exception is for and that he will be allowed to run his business if the board approves of it. TJ Bratcher asked what is going to be done to keep the water on his property and not flood the surrounding areas. Mr. Adams said he will install a retention pond and discussed with TJ Bratcher his plans for the drainage so that it won't affect the neighboring properties. Charlie Faulkner, hired to act on behalf of some of the farmers in this area of the City, handed out packets for the Board and Staff. He proceeded to explain why the processing of trees is not a silviculture operation and should not be permitted in any agricultural zoning district. Mr. Adams said he will be processing land clearing debris only. Alex Schaefur advised the Board to keep in mind how it would feel to come home after a hard day of work and to worry about the surrounding area catching fire or smelling the foul odors coming from any burning stacks. City Planner Karet reminded the Board they have the authority to impose restrictions with the approval of the special exception and they would be watched over by the local code enforcement.

Motion: Continue this item to the next meeting on May 3rd, 2022 at 6pm.

Moved By: Gary Masten

Seconded By: Robin Tyler

Roll Call Vote:

Carl Lilavois - No

Gary Masten - Yes

Manuel Madaleno – No

Robin Tyler – Yes

Nealon Joseph – Yes

Vote: Motion carried by Majority vote 3-2.

Old Business: None

8. Public Comment

9. Board comment

City Planner Karet advised he may need to hold a special meeting on April 21st, 2022 to discuss an applicant proposing to build a school. If this meeting is needed, staff will contact the Board members.

10. Adjournment of Planning and Zoning Meeting

Motion: Adjourn

Moved By: Nealon

Seconded By: Gary Masten

Vote: Motion carried by unanimous vote.

PZA Chair

*****The City adopts summary minutes. Audio files in official City records are retained according to the Florida Department of State GS1-SL records retention schedule*****



City of Bunnell, Florida

Agenda Item No. b.

ATTACHMENTS:

Description

May 3, 2022 Planning Zoning & Appeals Board Minutes

Type

Cover Memo



Board Members:
Carl Lilavois, Chair
Gary Masten, Co-Chair
Robin Tyler
Manuel Madaleno
Nealon Joseph (Alternate)

Crossroads of Flagler County

PLANNING, ZONING AND APPEALS BOARD MINUTES

Tuesday, May 3, 2022

6:00 PM

1769 East Moody Boulevard (GSB),
Chambers Meeting Room
Bunnell, FL 32110

1. Call Meeting to Order for Planning and Zoning Meeting and Roll Call

The meeting was called to order at 6:00 PM and led the Pledge of Allegiance.

Present: Carl Lilavois, Chair; Gary Masten, Co-Chair; Robin Tyler (Arrived at 6:27 PM); Nealon Joseph (voting alternate)

Excused: Manuel Madaleno

Absent: N/A

Non-Voting: City Attorney John Cary; City Planner Mark Karet; Code Enforcement Officer Gary Harris; City Manager Dr. Alvin Jackson Jr.; Community Development Coordinator Christine Hancock

2. Disclosure of Ex-Parte communications.

None

3. Approval of Minutes

a. April 5, 2022 Planning, Zoning and Appeals Board Minutes

Minutes were pulled from the agenda by Staff.

New Business:

4. Ordinance 2022-16 Requesting to change the official zoning map for 84,060± acres of land within the City of Bunnell.

Staff request a continuance until the June 7th, 2022, meeting

Motion: Continue to the June 7, 2022 meeting

Moved By: Gary Masten

Seconded By: Nealon Joseph

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Carl Lilavois - Yes

Gary Masten - Yes

Nealon Joseph – Yes

Vote: Motion carried by unanimous vote.

With consensus from the Board, Item # 6 was moved up in the agenda.

Note: Board Member Robin Tyler arrived during this agenda item.

6. Item # 5 Public Hearing: PZA 2022-63 Application by the Palm Coast Baptist Church of Flagler County, Inc. AKA the Flagler County Baptist Church for a Special Exception to allow a school in the R-1, Single-Family District

City Planner Karet introduced the item and explained the request. The hours of operation are 8:30 to 4:30pm with drop off and pick up at 7:30 am and 4:00 pm. The rules for adding a school in this district were read and it was explained that Palm Coast Baptist church of Flagler County would still have to go through site plan approval.

Pastor Larry Hobbs spoke about the project and his background.

Tammy Yorke (N Cherry St) spoke in opposition to the school; she stated that Bunnell Elementary School is backed up to Anderson St, cars running stop signs. Concerned about special exception use and future uses.

Pastor Hobbs responded by saying that Special Exception is tied to the owner not the property and City Planner Karet clarified by saying it depends on how the board approves the request.

Tara Millette (N Cherry St) spoke in opposition to the school, she stated that it would impact their privacy, emergency services would impact the neighborhood and resale value on a house would not be good.

Eric Crandall (N Pine St) spoke in opposition due to liability of playground and buffer of fence and ability to maintain the fence.

Pastor Hobbs stated it will be a Christian School and they will have other services during school times.

Joy Allen (N Chapel St) asked if there were any permits with the State required and the process. City Planner Karet said this is the first step and then if approved, there would be a site plan. She questioned use and approval how long would carpooling last, are students driving, mixing K-12 kids not good also storm water, trash, and playground issues.

Kirk Meador (N Pine St) spoke in opposition as he already has issues being late for work because of traffic blocking his driveway which is located right next to church driveway; he further asked if they could have traffic cops in the morning.

Will Hirschi (N Pine St) spoke in opposition as the use would create crowding and be noisy.

Pat Rood (N Moore St) spoke in opposition and advised the stop signs in that area are being run like crazy; he also asked the pastor if the plans are only for 2 years why not build on US1. He is concerned about the future of the building once sold.

Del Horton (N Church St) has no problem with the school he said the traffic has been this way forever. He said that school won't make a difference in the traffic. Offered to be a crossing guard to help with the kids crossing the street.

City Planner Karet read e-mails received by the City from the following into the record:

- Unnamed @flagirl872@yahoo.com in favor of the school if the location can be monitored for stop sign runners also would like speed bumps installed.
- Penny Buckles 601 N. Pine St opposed due to traffic concerns
- Barbara McLord 511 N Pine St opposed due to traffic in congestion
- Joan Thorpe is opposed due to noise

Pastor Hobbs spoke about not wanting to have a negative impact on the neighborhood and wanting to meet a need of the community. He answered additional questions from residents.

Motion: Disapprove the special exception request to allow a school in the R-1, Single-Family District

Moved By: Nealon Joseph

Seconded By: Gary Masten

Board Discussion: Gary Masten asked about the definition of the school. Would the school be accredited? Would there be high school diplomas. Pastor Larry Hobbs stated yes Gary Masten asked about the numbers of student's vs teachers. Paster Larry Hobbs explained.

Public Discussion: None

Roll Call Vote:

- Carl Lilavois - Yes
- Gary Masten - Yes
- Robin Tyler – Yes
- Nealon Joseph – Yes

Vote: Motion carried by unanimous vote.

Old Business:

- Item #6 Public Hearing: PZA 2022-66 Application by First Coast Roll Off, LLC for a special exception to allow a Source-separated Organics Processing Facility (SOPF) in the AGS, Agricultural & Silviculture district.**

Staff request a continuance till June 7th, 2022, meeting

Motion: Continue until the June 7th, 2022, meeting

Moved By: Gary Masten

Seconded By: Nealon Joseph

Board Discussion: None

Public Discussion: None

Roll Call Vote:

- Carl Lilavois - Yes
- Gary Masten – Yes
- Robin Tyler - Yes
- Nealon Joseph – Yes

Vote: Motion carried by unanimous vote.

- Item # 5 Public Hearing: PZA 2022-63 Application by the Palm Coast Baptist Church of Flagler County, Inc. AKA the Flagler County Baptist Church for a Special Exception to allow a school in the R-1, Single-Family District**

This item was moved up on the agenda

- Public Comment**

None

- Board comment**

None

9. Adjournment of Planning and Zoning Meeting

Motion: Adjourn

Moved By: Nealon Joseph

Seconded By: Gary Masten

Roll Call Vote:

Carl Lilavois - Yes

Gary Masten - Yes

Robin Tyler – Yes

Nealon Joseph – Yes

Vote: Motion carried by unanimous vote.

PZA Chair

*****The City adopts summary minutes. Audio files in official City records are retained according to the Florida Department of State GS1-SL records retention schedule*****



City of Bunnell, Florida

Agenda Item No. 4.

Document Date: 5/24/2022
Department: Community Development
Subject: Public Hearing - Ordinance 2022-XX Requesting to change the Future Land Use Map in the Comprehensive Plan for 5± acres of land, owned by Marion Keith Milne Jr, Bearing the Parcel ID: 21-13-31-0650-000A0-0070 from the "Rural Estates" to the "Agricultural" future land use category.

Property Address: 645 E FAVORETTA ROAD
Zoning Designation: Flagler County MH-1 Rural Mobile Home
Future Land Use Designation: Rural Estates
Agenda Section: New Business:

ATTACHMENTS:

Description	Type
Milne Proposed FLUM Amendment Ordinance	Ordinance
Milne Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 5± acre property from the "Rural Estates" to the "Agricultural" future land use designation.

There is a companion rezoning request to amend the official zoning map to change the zoning on the property from the Flagler County, "MH-1 Rural Mobile Home" district to the City of Bunnell, "AG- Agricultural" district.

Background:

The applicant, Marion Keith Milne Jr, owns a 5± acre property located at 645 East Favoretta Road in the City of Bunnell. The applicant plans to place a mobile home on the property.

The parcel's current FLUM designation is "Rural Estates". The "Rural Estates" future land use category allows single family residences at densities of up to one (1) dwelling unit per acre.

The proposed FLUM designation is "Agricultural". The "Agricultural" land use designation was created to allow a range of agricultural and related uses, while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre.

If developed at the maximum allowable density, the proposed FLUM designation will not result in any increased dwelling units on the property compared to the current FLUM designation.

Staff Recommendation:

Approve the applicant's request to change the Future Land Use Map designation for the subject property from "Rural Estates" to "Agricultural".

City Attorney Review:

Approved as to form and legality.

ORDINANCE 2022-XX

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT TO THE FUTURE LAND USE MAP IN THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING 5± ACRES, OWNED BY MARION KEITH MILNE JR, BEARING PARCEL ID: 21-13-31-0650-000A0-0070 LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION FAVORETTA ROAD & EAST FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM “RURAL ESTATES” TO “AGRICULTURAL”; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number: 21-13-31-0650-000A0-0070, located in the City of Bunnell; and

WHEREAS, the owner of the property, Marion Keith Milne Jr, has requested this change to the future land use; and

WHEREAS, the City of Bunnell’s Planning, Zoning and Appeals Board, as the City’s local planning agency, held a public hearing on June 7, 2022 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

(a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the City of Bunnell *2035 Comprehensive Plan* pertaining to the subject property.

(b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

(c) This Ordinance is internally consistent with the goals, objectives and policies of the City of Bunnell *2035 Comprehensive Plan*.

(d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

(a) The Future Land Use Plan Element of the City of Bunnell *2035 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the "Agricultural" land use designation to the real property which is the subject of this Ordinance as set forth herein.

(b) The property which is the subject of this Comprehensive Plan amendment is described as follows:

LEGAL DESCRIPTION: 5.00 ACRES BUNNELL DEV CO SUBD BLOCK A W 1/2 TR 7 1301/777 (CITY OF BUNN ANNEX 2013-19, 1959/1385) OR 1991/1060 OR 2061/1660 (L/E-E 1/2 TR 7, 2280/310) OR 2306/216 OR 2343/74-CD

ADDRESS: 645 East Favoretta Road, Bunnell, Florida 32110

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0070

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing amendments to the *2035 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or

effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the City of Bunnell *2035 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this _____ day of _____ 2022.

Second Reading: adopted on this _____ day of _____ 2022.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

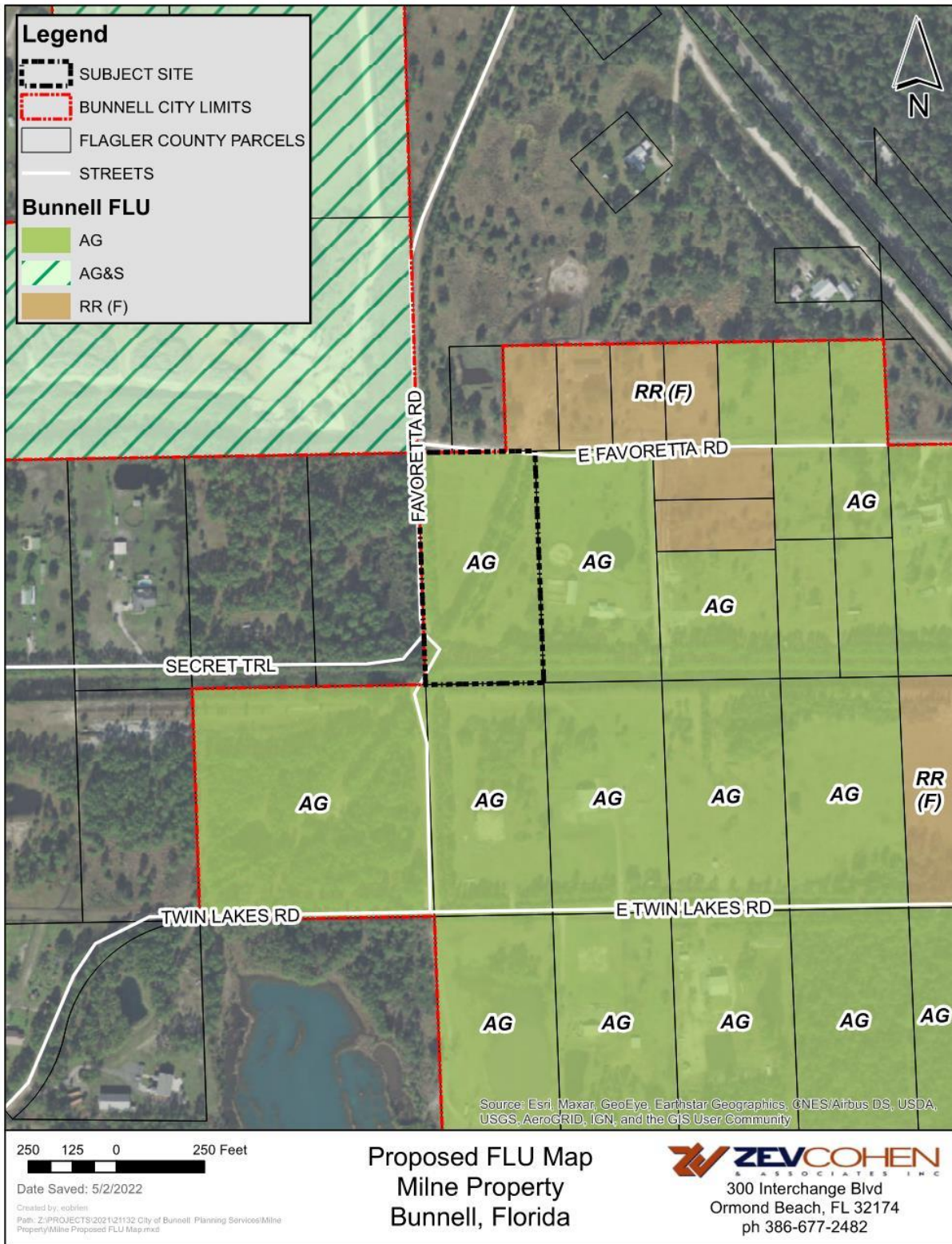
Attest:

Kristen Bates, City Clerk, CMC





Seal:

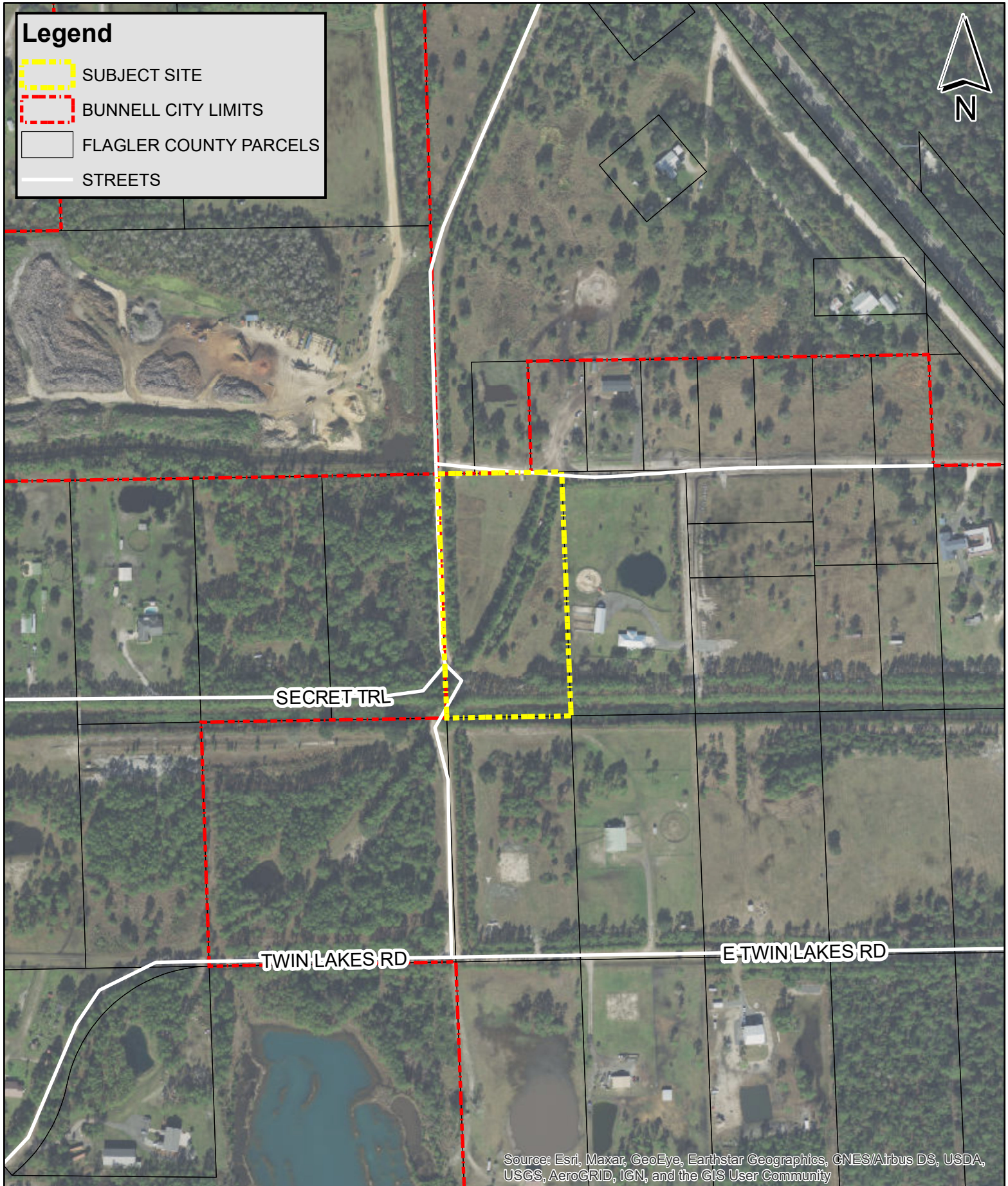
Exhibit "A"

Proposed Future Land Use Amendment

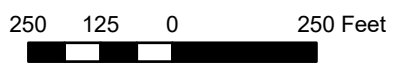


Legend

-  SUBJECT SITE
-  BUNNELL CITY LIMITS
-  FLAGLER COUNTY PARCELS
-  STREETS



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Date Saved: 5/2/2022

Created by: eobrien
Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Milne Property\Milne Aerial Location Map.mxd

Aerial Map Milne Property Bunnell, Florida



300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. 5.

Document Date: 5/24/2022
Department: Community Development
Subject: Public Hearing - Ordinance 2022-XX Requesting to change the official zoning map for 5± acres of land, owned by Marion Keith Milne Jr, Bearing the Parcel ID: 21-13-31-0650-000A0-0070 from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural" district.

Property Address: 645 E FAVORETTA ROAD
Zoning Designation: Flagler County MH-1 Rural Mobile Home
Future Land Use Designation: Rural Estates
Agenda Section: New Business:

ATTACHMENTS:

Description	Type
Milne Zoning Amendment Ordinance	Ordinance
Milne Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting an amendment to the official zoning map to change the zoning on a 5± acre property from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural District".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation on the property from "Rural Estates" to "Agricultural".

Background:

The applicant, Marion Keith Milne Jr, owns a 5± acre property located at 645 East Favoretta Road. The applicant plans to place a mobile home on the property.

The property is currently zoned Flagler County "MH-1, Rural Mobile Home" district. The Flagler County "MH-1, Rural Mobile Home" district is intended to be a transition between the agricultural and urban zoning districts and allows a mixture of single-family and mobile homes. The minimum lot size in the MH-1 is one (1) acre.

The proposed zoning classification is City of Bunnell "AG-Agricultural". The intent of the "AG-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and

sustainable development." The AG district allows single family, modular and mobile homes. The minimum lot size in the "AG-Agricultural" district is one (1) acre.

The proposed "AG-Agricultural" zoning is consistent with the proposed "Agricultural" FLUM designation and the existing pattern of surrounding development.

Staff Recommendation:

Approve the applicant's request to change the official zoning map for the subject property from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural" district.

City Attorney Review:

Approved as to form and legality.

ORDINANCE 2022-XX

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 5± ACRES, OWNED BY MARION KEITH MILNE JR, BEARING PARCEL ID: 21-13-31-0650-000A0-0070 LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION FAVORETTA ROAD & EAST FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, “MH-1, RURAL MOBILE HOME” TO CITY OF BUNNELL, “AG, AGRICULTURAL”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Marion Keith Milne Jr, the owner of certain real property, which land totals approximately 5± acres in size located at 645 East Favoretta Road and is assigned Tax Parcel Identification Number 21-13-31-0650-000A0-0070 by the Property Appraiser of Flagler County; and

WHEREAS, Marion Keith Milne Jr, has applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell “AG, Agricultural” zoning classification from the existing Flagler County, “MH-1, Rural Mobile Home” zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on June 7, 2022 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is approximately 5± acres in size, is located at 645 East Favoretta Road in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 5± acres in size, shall be rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “MH-1, Rural Mobile Home” zoning classification; and

LEGAL DESCRIPTION: 5.00 ACRES BUNNELL DEV CO SUBD BLOCK A W 1/2 TR 7 1301/777 (CITY OF BUNN ANNEX 2013-19, 1959/1385) OR 1991/1060 OR 2061/1660 (L/E-E 1/2 TR 7, 2280/310) OR 2306/216 OR 2343/74-CD

ADDRESS: 645 East Favoretta Road, Bunnell, Florida 32110

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0070

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2022-XX.

First Reading: approved on this _____ day of _____ 2022.
Second/Final Reading: adopted on this _____ day of _____ 2022.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

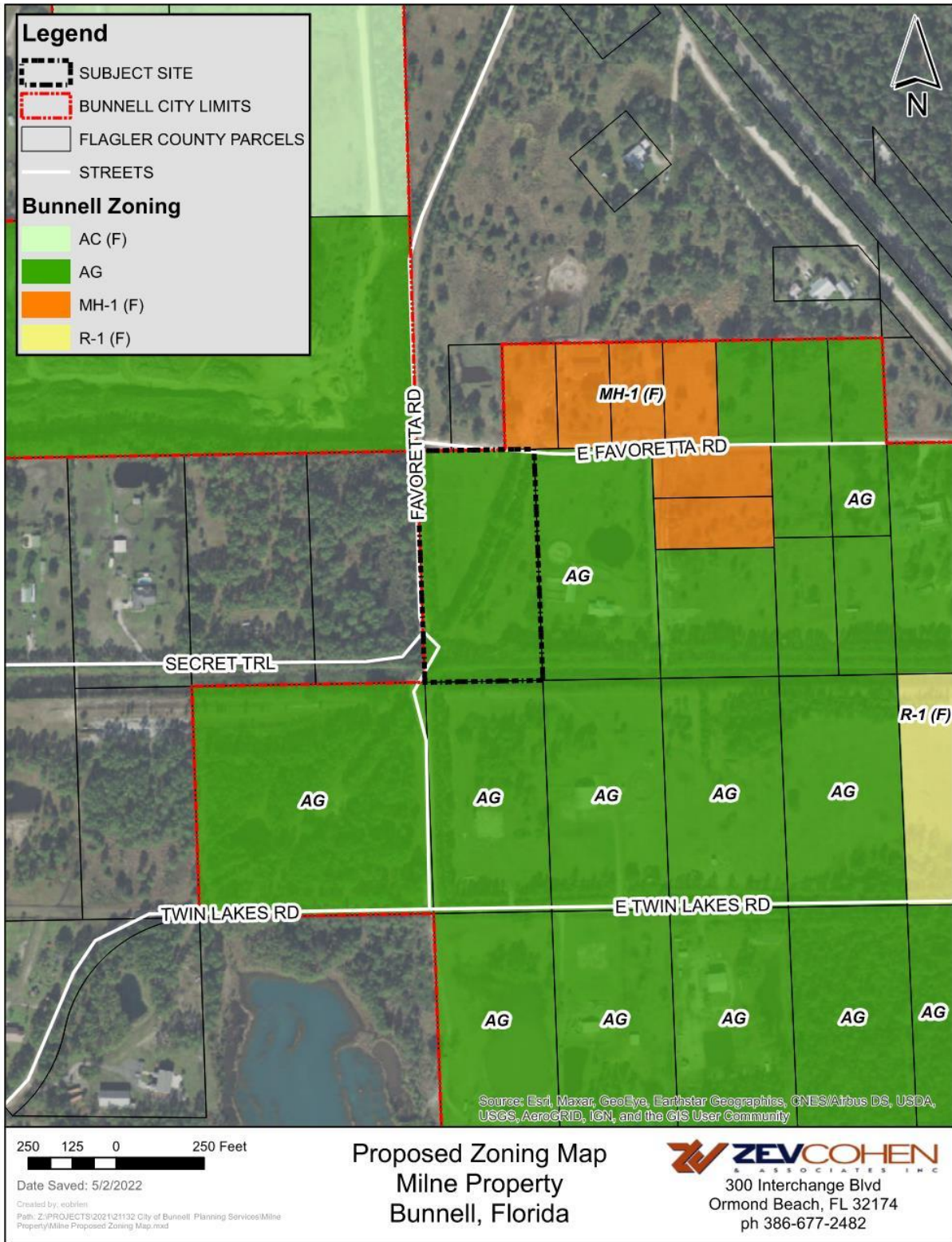
Attest:

Kristen Bates, CMC, City Clerk





Seal:

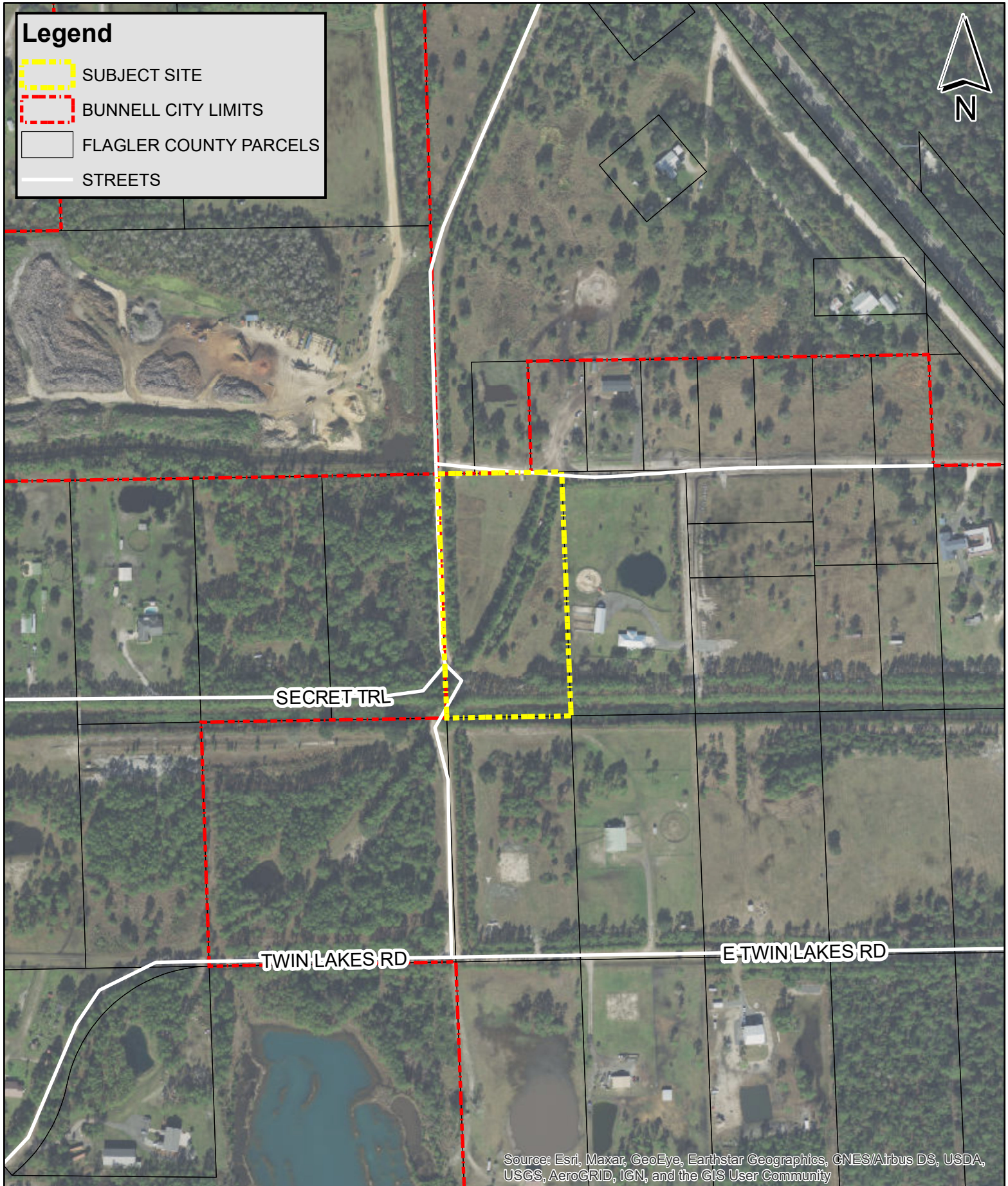
Exhibit "A"

Proposed Zoning District



Legend

-  SUBJECT SITE
-  BUNNELL CITY LIMITS
-  FLAGLER COUNTY PARCELS
-  STREETS



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

250 125 0 250 Feet

Date Saved: 5/2/2022

Created by: eobrien
Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Milne Property\Milne Aerial Location Map.mxd

Aerial Map Milne Property Bunnell, Florida


300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. 6.

Document Date: 5/26/2022
Department: Community Development
Subject: PZA Case 2021-52 Whistle Stop Farms Minor Subdivision
Property Address: 415 County Road 13
Zoning Designation: AG- Agricultural
Future Land Use Designation: Agricultural
Agenda Section: New Business:

ATTACHMENTS:

Description	Type
Whistle Stop Farms Final Plat Certifications	Plans
Whistle Stop Farms Final Plat	Plans
Whistle Stop Farms Survey	Plans
Whistle Stop Farms Location Map	Location Map(s)

Summary/Highlights:

This is a request by EQS3N Partners LLC for a minor subdivision of the property identified as Parcel ID: 04-12-30-5550-00050-0022.

Background:

The applicant, EQS3N Partners, LLC, owns 31± acres of land located at 415 County Road 13.

This a roughly triangular shaped property located west of the intersection of County Road 13 and Opossum Lane. The applicant plans to subdivide the property into 6 lots ranging in size from 5.01 acres up to 5.39 acres. All of the proposed lots will have frontage on an existing public road. Each lot will have their own potable water well and septic tank.

A minor subdivision is defined in Section 30-7 of the LDC as the division of land into 3 or more, but less than 10 lots. All the resulting lots must the meet minimum lot size of the zoning district in which they are located. In this case, the property is zoned in the AG- Agricultural district which has a minimum lot size of 1-acre.

The difference between a minor subdivision and a major subdivision is that minor subdivisions proceed straight to final plat approval without the need to first seek preliminary plat approval.

The final plat documents have been reviewed by the City's Technical Review Committee and the City's surveyor for compliance with the City's LDC and the Florida Statutes. All outstanding comments have been resolved.

Staff Recommendation:

Approve the Whistle Stop Farms Minor Subdivision and recommend approval of the final plat documents by the City Commission.

City Attorney Review:

I have some questions regarding the plat. The dedications references Tract A but I don't see it on the map. I assume it's the street. Also, it dedicates the easements to Flagler County. Plat may be approved pending clarification on these items and eventual changes (if needed).

A SUBDIVISION PLAT OF WHISTLE STOP FARMS

LOCATED IN GOVERNMENT SECTIONS 3 & 4, TOWNSHIP 12 SOUTH, RANGE 30 EAST, CITY OF BUNNELL, FLAGLER COUNTY, FLORIDA

BEING A PORTION OF THE PROPERTY DESCRIBED IN OFFICIAL REORDS BOOK 1064, PAGE 1573 AND OFFICIAL RECORDS BOOK 1064, PAGE 1607, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

LEGAL DESCRIPTION:

A PARCEL OF LAND LOCATED IN GOVERNMENT SECTION 4, TOWNSHIP 12 SOUTH, RANGE 30 EAST, FLAGLER COUNTY, FLORIDA, BEING PART OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 1064, PAGE 1573 AND OFFICIAL RECORDS BOOK 1064, PAGE 1607, FLAGLER COUNTY PUBLIC RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS A POINT OF REFERENCE, COMMENCE AT A CONCRETE MONUMENT MARKING THE SOUTHEAST CORNER OF SAID GOVERNMENT SECTION 4, TOWNSHIP 12 SOUTH, RANGE 30 EAST; THENCE N00°52'24"W ALONG THE EAST LINE OF SAID SECTION 4 FOR A DISTANCE OF 15.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF OPOSSUM LANE (A 30 FOOT WIDE RIGHT OF WAY AS OCCUPIED) SAID POINT ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S89°08'31"W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF OPOSSUM LANE FOR A DISTANCE OF 1,822.76 FEET; THENCE DEPART SAID NORTHERLY RIGHT-OF-WAY LINE AND RUN N55°26'11"W ALONG A LINE PARALLEL TO AND 1,180 FEET FROM THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 13 FOR A DISTANCE OF 322.82 FEET; THENCE N34°33'49"E ALONG THE EASTERLY LINE OF THE ESPANOLA TIMBER COMPANY'S PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 1151, PAGE 1318 FOR A DISTANCE OF 1,180.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID COUNTY ROAD 13 BEING ALSO COMMON WITH THE NORTHERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILWAY BUNNELL-PALATKA LINE (NOW ABANDONED); THENCE S55°26'11"E ALONG SAID COMMON RIGHT-OF-WAY LINE FOR A DISTANCE OF 1,714.11 FEET TO THE BEGINNING OF A TRANSITIONAL SPIRAL CURVE AS SHOWN ON THE FLORIDA EAST COAST RAILWAY RIGHT OF WAY MAPS FOR THE BUNNELL-PALATKA LINE; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY RAILROAD RIGHT OF WAY LINE BEING ALONG A TRANSITION SPIRAL TO THE RIGHT HAVING A TOTAL DEFLECTION ANGLE OF 00°06'09", A RADIUS OF 55,902.50 FEET, AN ARC LENGTH OF 6.17 FEET, A CHORD BEARING S55°26'17"E, AND A CHORD DISTANCE OF 6.17 FEET TO A NON-TANGENT LINE, SAID EAST LINE OF SAID SECTION 4; THENCE DEPARTING SAID CURVE ALONG SAID SECTION LINE S00°52'24"E FOR A DISTANCE OF 151.64 FEET TO THE AFOREMENTIONED NORTH LINE OF OPOSSUM LANE AND THE AFOREMENTIONED POINT OF BEGINNING OF THIS DESCRIPTION.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS CONTAINING 30.84 ACRES, MORE OR LESS, ALONG WITH RIGHTS, IF ANY, IN THE RIGHT OF WAY OF SAID OPOSSUM LANE.

GENERAL NOTES:

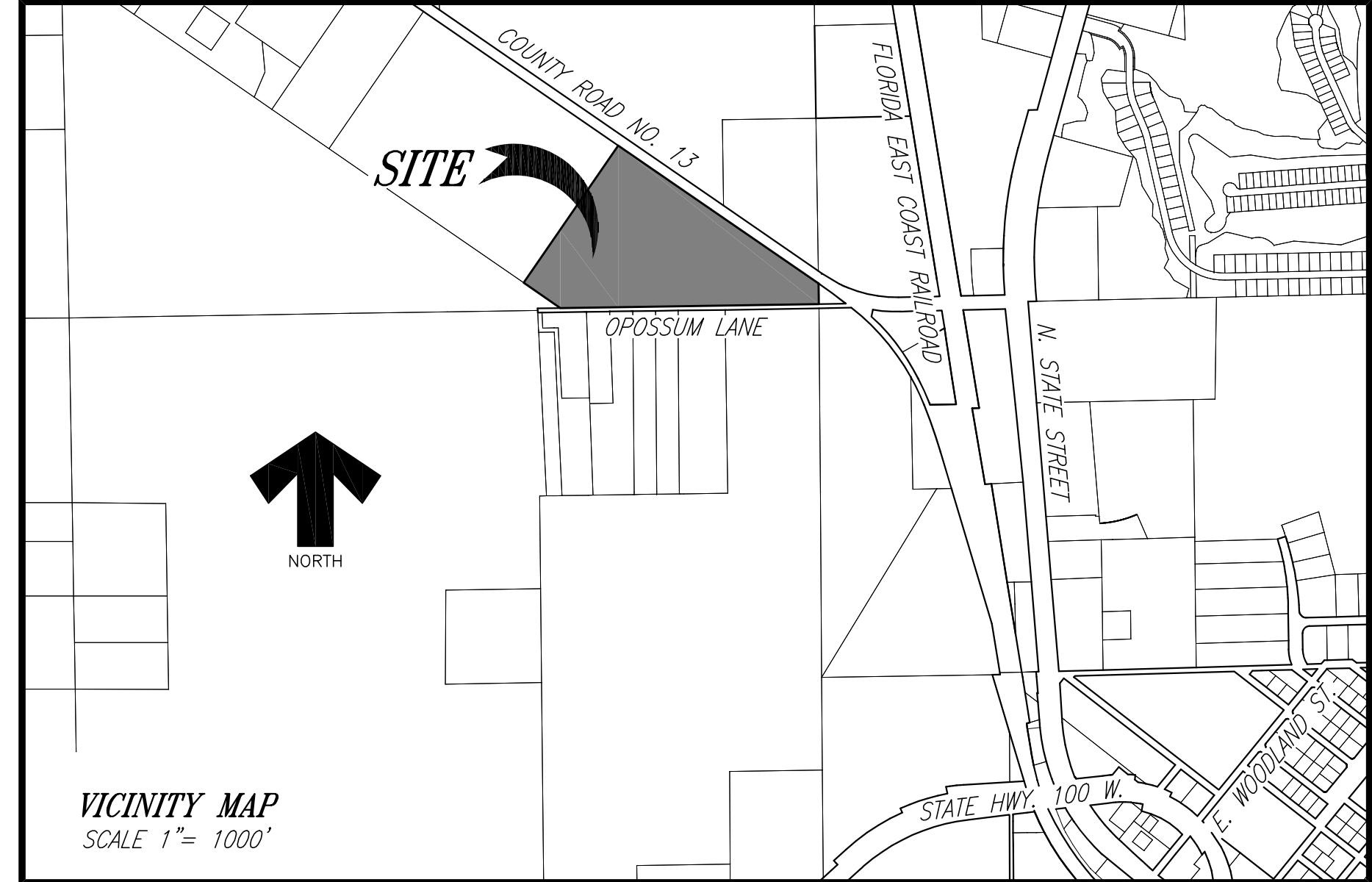
1. BEARINGS ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE AS ESTABLISHED BY GPS NETWORK RTK OBSERVATIONS AND THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 13 HAVING A BEARING OF S55°26'11"E.
2. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
3. THE SUBJECT SITE LIES WITHIN ZONE "X" FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 0207, MAP NUMBER 12035C0207E, DATED JUNE 6, 2018. (DO NOT USE PLAT FOR FLOOD ZONE DETERMINATIONS. FEMA FLOOD INSURANCE RATE MAP INFORMATION IS SUBJECT TO CHANGE. USE THE CURRENT APPROVED FIRM FOR COMMUNITY PANEL NUMBER, DATE AND FLOOD ZONE DETERMINATIONS)
4. LOT LINES INTERSECTING ARCS, IF ANY, SHOWN HEREON ARE RADIAL UNLESS OTHERWISE NOTED.
5. MEASUREMENTS ARE IN U.S. FOOT AND DECIMAL PARTS THEREOF. ALL MEASUREMENTS REFER TO HORIZONTAL PLANE IN ACCORDANCE WITH THE DEFINITION OF THE UNITED STATES SURVEY FOOT ADOPTED BY THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY.
6. COVENANTS AND RESTRICTIONS RECORDATION INFORMATION PER OFFICIAL RECORDS BOOK _____, PAGE _____, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
7. PER FLORIDA STATUTE CHAPTER 177.091(9), INTERIOR LOT CORNERS (IRONS NOT SHOWN HEREON) MUST BE SET PRIOR TO LOT TRANSFER OR THE EXPIRATION OF A BOND IF A BOND EXISTS.
8. THIS PLAT MADE IN ACCORDANCE WITH AN OPINION OF TITLE LETTER PREPARED BY **EXAMPLE NAME**, DATED **DATE**.
9. NOTHING HEREIN SHALL BE CONSTRUED AS CREATING AN OBLIGATION UPON ANY GOVERNING BODY TO PERFORM ANY ACT OF CONSTRUCTION OR MAINTENANCE WITHIN SUCH DEDICATED AREAS EXCEPT WHEN THE OBLIGATION IS VOLUNTARILY ASSUMED BY THE GOVERNING BODY.

NOTES REGARDING TRACTS, EASEMENTS:

1. ALL PLATTED UTILITY EASEMENTS (IF ANY) SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND THE OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
2. UTILITY EASEMENTS (INCLUDING, BUT NOT LIMITED TO, FLORIDA POWER & LIGHT CO. AND ALL PUBLIC UTILITY COMPANIES), EXCEPT AS OTHERWISE SHOWN, ARE PROVIDED AS FOLLOWS: 10' ADJACENT TO ALL PUBLIC AND PRIVATE STREETS AND ON ALL LOTS, PARCELS, TRACTS AND COMMON AREAS.
3. DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE PURPOSE OF THE CONSTRUCTION, OPERATION AND MAINTENANCE OF STORMWATER DRAINAGE FACILITIES. THE MAINTENANCE OF SAID DRAINAGE FACILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE AMERICAN VILLAGE HOMEOWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITH NO RECOURSE TO THE CITY OF PALM COAST, FLORIDA.
4. THE CITY OF PALM COAST, FLORIDA HAS NO MAINTENANCE OBLIGATION WITHIN THE EASEMENTS FOR DRAINAGE BUT HAS ACCESS RIGHTS TO RESTORE FUNCTIONALITY WITHIN THE DRAINAGE EASEMENTS IN THE EVENT THE OWNER'S DRAINAGE SYSTEM BECOMES COMPROMISED IN THE CITY'S SOLE JUDGMENT.
5. THE UTILITY EASEMENTS REFERENCED ABOVE AND DEPICTED AS SHOWN HEREON ARE GRANTED AND CONVEYED TO ANY PUBLIC OR PRIVATE UTILITY, AND ARE SEVERABLE, NON-EXCLUSIVE EASEMENTS, GRANTING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN AND REPAIR UNDERGROUND PUBLIC UTILITY SYSTEMS (INCLUDING WIRES, CABLES, CONDUITS AND ABOVE GROUND APPURTENANT EQUIPMENT) UNLESS OTHERWISE INDICATED.

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



DEDICATION AND RESERVATION

KNOW ALL MEN BY THESE PRESENTS, THAT EQS3N PARTNERS, LLC., A FLORIDA LIMITED LIABILITY COMPANY, BEING THE OWNER IN FEE SIMPLE OF THE LAND DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT ENTITLED "WHISTLE STOP FARMS," LOCATED IN THE CITY OF BUNNELL, COUNTY OF FLAGLER, STATE OF FLORIDA, DOES HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED.

TRACT "A" IS HEREBY DEDICATED TO THE COUNTY OF FLAGLER, FLORIDA FOR PUBLIC RIGHT-OF-WAY. TRACT "A" SHALL BE OWNED AND MAINTAINED BY SAID COUNTY WITH NO RECOURSE TO EQS3N PARTNERS, LLC., A FLORIDA LIMITED LIABILITY COMPANY.

A 10.00 FOOT WIDE NONEXCLUSIVE UTILITY EASEMENT ACROSS THE FRONTAGE OF ALL LOTS IS HEREBY GRANTED TO THE CITY OF BUNNELL, AND TO ANY PUBLIC OR PRIVATE UTILITY PROVIDER, FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC UTILITIES.

IN WITNESS WHEREOF, EQS3N PARTNERS, LLC., A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE EXECUTED IN ITS NAME ON THIS _____ DAY OF _____, 2022.

SIGNED AND SEALED IN THE PRESENCE OF

EQS3N PARTNERS, LLC.
A FLORIDA LIMITED LIABILITY COMPANY

PRINT NAME: _____

BY: _____
PRESIDENT

PRINT NAME: _____

ATTEST: _____
VICE PRESIDENT

CERTIFICATE OF APPROVAL BY THE CITY OF PALM COAST, FLORIDA

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2022, THE FOREGOING PLAT WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF BUNNELL, FLORIDA.

BY: _____
MAYOR, CITY OF PALM COAST

ATTEST: _____
CITY CLERK

CERTIFICATE OF SURVEYOR

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.s") AND PERMANENT CONTROL POINTS ("P.C.P.s") WILL BE PLACED AS REQUIRED BY LAW; AND FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF PALM COAST, FLORIDA.

KUHAR SURVEYING & MAPPING, LLC
 1501 RIDGEWOOD AVENUE, SUITE 205, HOLLY HILL, FLORIDA 32117
 Phone: 386-672-0002 386-295-8051 WWW.KUHARSURVEYING.COM
PROJECT # K21127 ISSUE DATE: 4/22/2022
 LB 7991 ©2022 KUHAR SURVEYING & MAPPING, LLC LS (PSM) 6105

PRELIMINARY FOR REVIEW ONLY

KENNETH J. KUHAR DATE
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LICENSE NUMBER LS6105

CERTIFICATE OF CLERK (FLAGLER COUNTY)

I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS FILED FOR RECORD ON THE _____ DAY OF _____, 2022, AT _____.

FILE NO. _____

BY: _____
CLERK OF THE CIRCUIT COURT AND
COMPTROLLER, FLAGLER COUNTY, FLORIDA

CERTIFICATE OF APPROVAL BY CITY ENGINEER

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2022, THIS PLAT WAS APPROVED.

BY: _____ DATE _____
CITY ENGINEER
PRINTED NAME: _____

CERTIFICATE OF APPROVAL:

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2022, THIS PLAT WAS APPROVED.

BY: _____
CITY ATTORNEY

CERTIFICATE OF CHAIRMAN OF THE PLANNING, ZONING AND APPEALS BOARD

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2022, THE FOREGOING PLAT WAS APPROVED BY THE PLANNING, ZONING AND APPEALS BOARD.

BY: _____
CHAIRMAN, PLANNING, ZONING AND APPEALS BOARD

TITLE CERTIFICATION - STATE OF FLORIDA - COUNTY OF FLAGLER

I, _____, A LICENSED REAL ESTATE ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO BE VESTED TO EQS3N PARTNERS, LLC, A FLORIDA LIMITED LIABILITY CORPORATION; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASES OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: _____ SIGNED: _____

PRINT NAME & TITLE

STATE OF FLORIDA COUNTY OF FLAGLER

THIS IS TO CERTIFY, THAT ON _____ 2022, BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE PERSON WHO FOR AND ON BEHALF OF _____, A FLORIDA LIMITED LIABILITY COMPANY, EXECUTED THE FOREGOING DEDICATION AND RESERVATION FOR THE LLC AND SEVERALLY ACKNOWLEDGED THE EXECUTION THEREOF FOR AND ON BEHALF OF SAID LLC. HE/SHE (IS) _____ (IS NOT) _____ KNOWN TO ME OR HAVE PRODUCED _____ AS IDENTIFICATION AND THEY (HAVE) _____ (HAVE NOT) _____ TAKEN AN OATH.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE.

NOTARY PUBLIC

STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES: _____

SEAL

TITLE/RANK:
COMMISSION NUMBER:

CERTIFICATE OF REVIEW

I HEREBY CERTIFY THAT THE UNDERSIGNED IS A LICENSED PROFESSIONAL SURVEYOR AND MAPPER AND IS EITHER EMPLOYED OR UNDER CONTRACT WITH THE CITY OF BUNNELL, FLORIDA. I ALSO CERTIFY THAT I AM NOT REPRESENTING THE OWNER OR OWNERS OF RECORD AND HAVE REVIEWED THIS PLAT AND FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177 PART 1, FLORIDA STATUTES AND FLAGLER COUNTY PLATTING REQUIREMENTS.

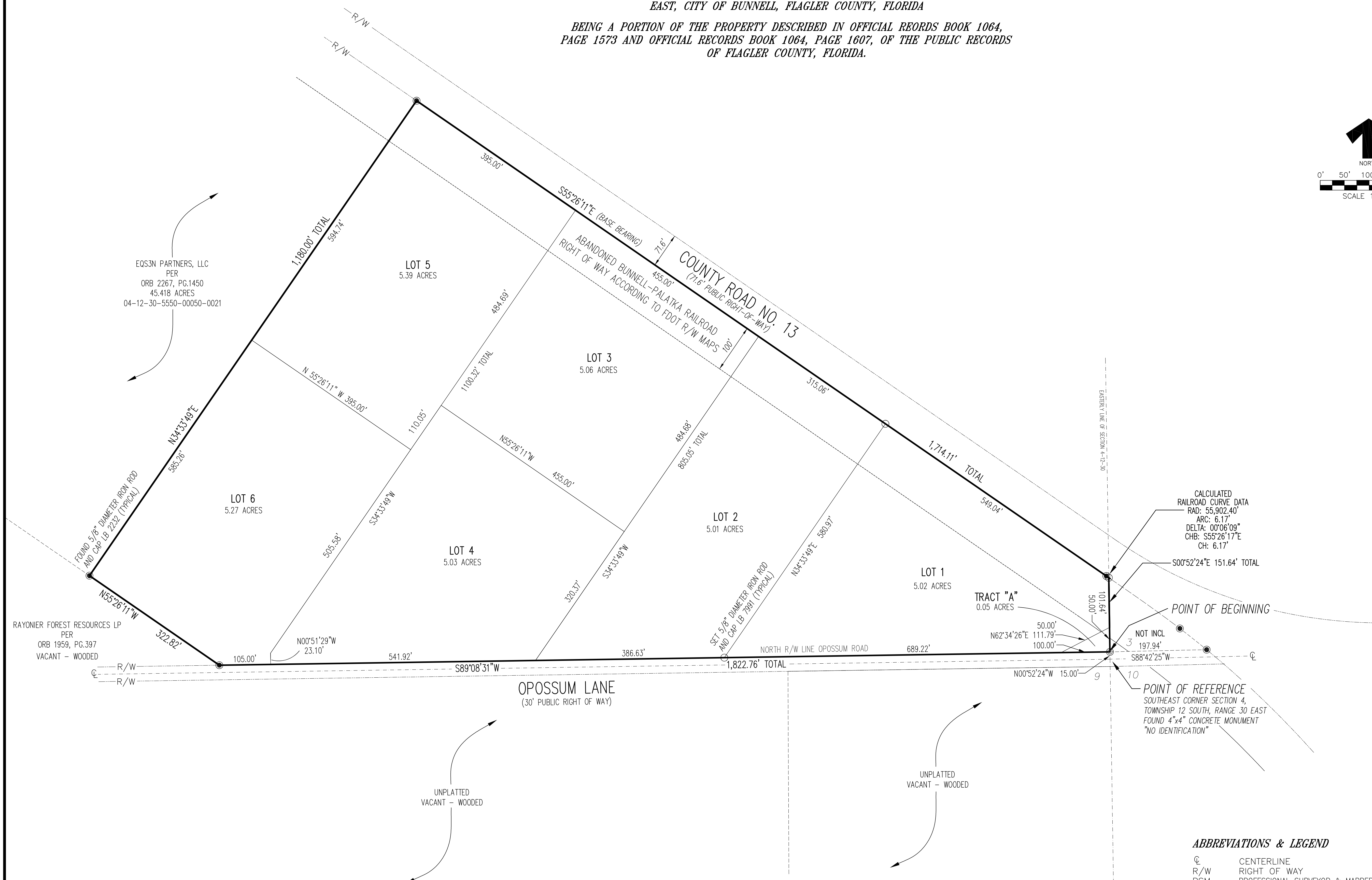
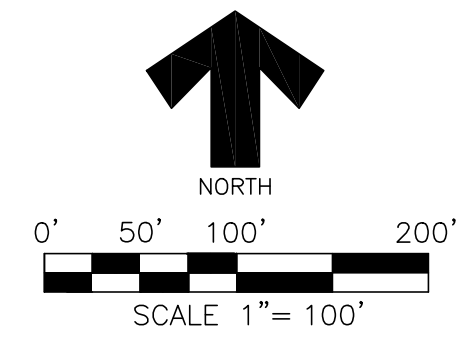
DATE: _____ BY: _____

PRINT NAME: _____
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA LICENSE NUMBER LS _____

A SUBDIVISION PLAT OF
WHISTLE STOP FARMS

LOCATED IN GOVERNMENT SECTIONS 3 & 4, TOWNSHIP 12 SOUTH, RANGE 30
 EAST, CITY OF BUNNELL, FLAGLER COUNTY, FLORIDA

BEING A PORTION OF THE PROPERTY DESCRIBED IN OFFICIAL REORDS BOOK 1064,
 PAGE 1573 AND OFFICIAL RECORDS BOOK 1064, PAGE 1607, OF THE PUBLIC RECORDS
 OF FLAGLER COUNTY, FLORIDA.



ABBREVIATIONS & LEGEND

⊙	CENTERLINE
R/W	RIGHT OF WAY
PSM	PROFESSIONAL SURVEYOR & MAPPER
LB	LICENSED BUSINESS
PRM	PERMANENT REFERENCE MONUMENT
●	FOUND 5/8" DIAMETER IRON ROD AND CAP LB 2232 (PRM)
○	SET 5/8" DIAMETER IRON ROD AND CAP LB 7991 (PRM)

K KUHAR SURVEYING & MAPPING, LLC K
 1501 RIDGEWOOD AVENUE, SUITE 205, HOLLY HILL, FLORIDA 32117
 Phone: 386-672-0002 386-295-8051 WWW.KUHARSURVEYING.COM
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 LB 7991 ©2022 KUHAR SURVEYING & MAPPING, LLC LS (PSM) 6105

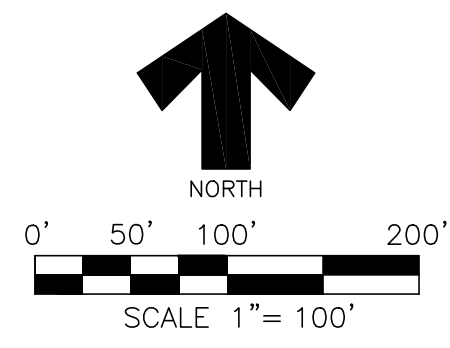
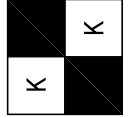
30.8 ACRE PARENT TRACT

LEGAL DESCRIPTION:

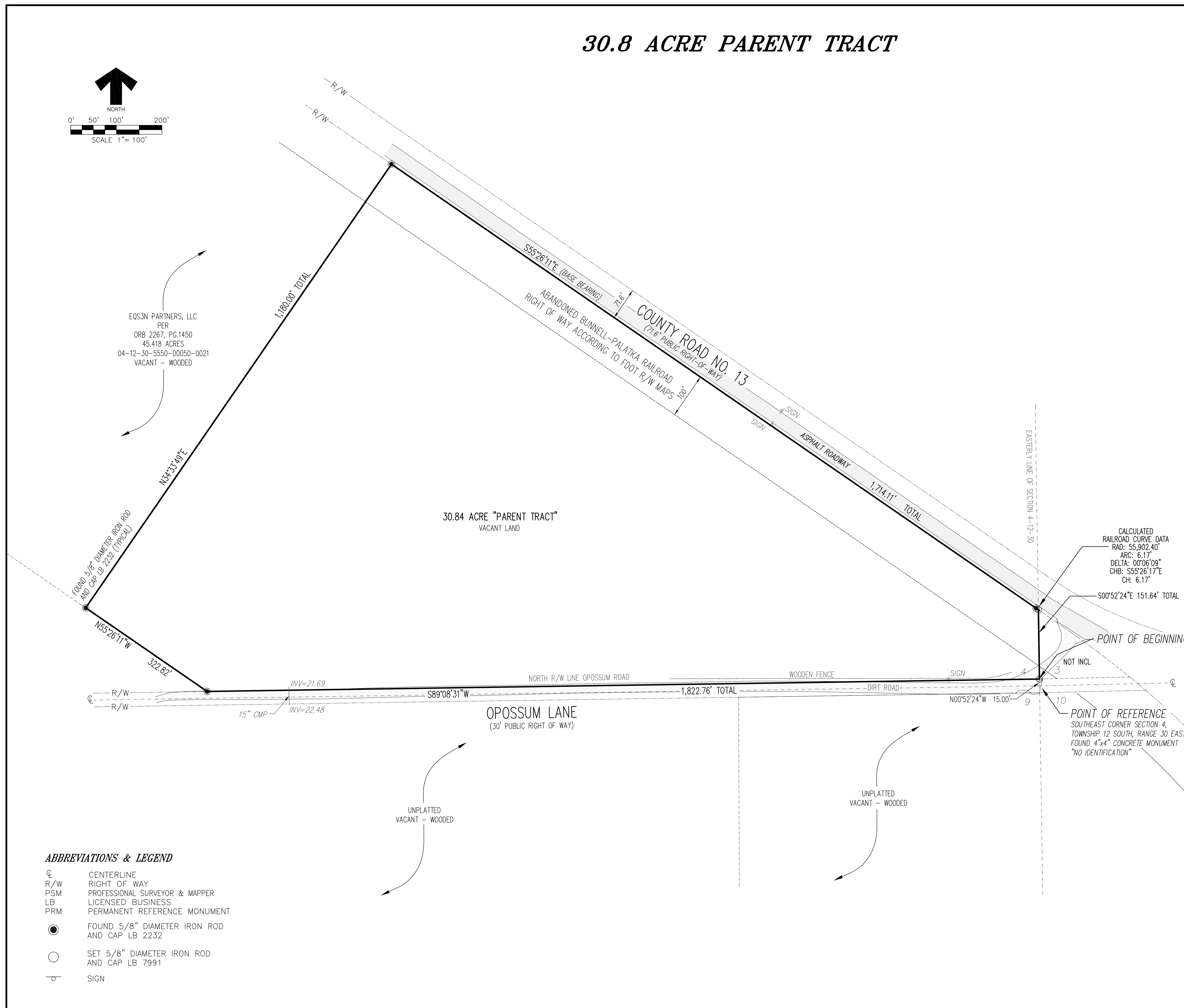
A PARCEL OF LAND LOCATED IN GOVERNMENT SECTION 4, TOWNSHIP 12 SOUTH, RANGE 30 EAST, FLAGLER COUNTY, FLORIDA, BEING PART OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 1064, PAGE 1573 AND OFFICIAL RECORDS BOOK 1064, PAGE 1607, FLAGLER COUNTY PUBLIC RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS A POINT OF REFERENCE, COMMENCE AT A CONCRETE MONUMENT MARKING THE SOUTHEAST CORNER OF SAID GOVERNMENT SECTION 4, TOWNSHIP 12 SOUTH, RANGE 30 EAST; THENCE N00°52'24"W ALONG THE EAST LINE OF SAID SECTION 4 FOR A DISTANCE OF 15.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF OPOSSUM LANE (A 30 FOOT WIDE RIGHT OF WAY AS OCCUPIED) SAID POINT ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S89°08'31"W ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF OPOSSUM LANE FOR A DISTANCE OF 1,822.76 FEET; THENCE DEPART SAID NORTHERLY RIGHT-OF-WAY LINE AND RUN N55°26'11"W ALONG A LINE PARALLEL TO AND 1,180 FEET FROM THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 13 FOR A DISTANCE OF 322.82 FEET; THENCE COUNTY ROAD 13 BEING ALSO COMMON WITH THE NORTHERLY RIGHT OF WAY LINE OF THE FLORIDA EAST COAST RAILWAY BUNNELL-PALATKA LINE (NOW ABANDONED); THENCE S55°26'11"E ALONG SAID COMMON RIGHT-OF-WAY LINE FOR A DISTANCE OF 1,714.11 FEET TO THE BEGINNING OF A TRANSITIONAL SPIRAL CURVE AS SHOWN ON THE FLORIDA EAST COAST RAILWAY RIGHT OF WAY MAPS FOR THE BUNNELL-PALATKA LINE; THENCE SOUTHEASTERLY ALONG SAID NORTHERLY RAILROAD RIGHT OF WAY LINE BEING ALONG A TRANSITION SPIRAL TO THE RIGHT HAVING A TOTAL DEFLECTION ANGLE OF 00°06'09", A RADIUS OF 55,902.50 FEET, AN ARC LENGTH OF 6.17 FEET, A CHORD BEARING S55°26'17"E, AND A CHORD DISTANCE OF 6.17 FEET TO A NON-TANGENT LINE, SAID EAST LINE OF SAID SECTION 4; THENCE DEPARTING SAID CURVE ALONG SAID SECTION LINE S00°52'24"E FOR A DISTANCE OF 151.64 FEET TO THE AFOREMENTIONED NORTH LINE OF OPOSSUM LANE AND THE AFOREMENTIONED POINT OF BEGINNING OF THIS DESCRIPTION.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS CONTAINING 30.84 ACRES, MORE OR LESS, ALONG WITH RIGHTS, IF ANY, IN THE RIGHT OF WAY OF SAID OPOSSUM LANE.



EQS3N PARTNERS, LLC
PER
ORB 2267, PG.1450
45.418 ACRES
04-12-30-5550-00050-0021
VACANT - WOODED



CALCULATED
RAILROAD CURVE DATA
RAD: 55,902.40'
ARC: 6.17'
DELTA: 00°06'09"
CHB: S55°26'17"E
CH: 6.17'

SURVEYOR'S NOTES:

1. BEARINGS BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, WITH THE BEARING OF THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 13 BEING S55°26'11"E.
2. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD 83), FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE.
3. VERTICAL DATUM (IF ELEVATIONS SHOWN) IS NORTH AMERICAN VERTICAL DATUM 1988 (NAV88) AS REFERENCED TO A LOCAL NGS PUBLISHED BENCHMARK.
4. THERE MAY BE ADDITIONAL EASEMENTS, RESTRICTIONS AND/OR OTHER MATTERS NOT SHOWN ON THIS SURVEY WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA. SEE TITLE REVIEW NOTES.
5. UNDERGROUND FOUNDATIONS AND UTILITIES (IF ANY) NOT SHOWN HEREON.
6. FIELD WORK FOR THIS SURVEY WAS PERFORMED ON 04/29/2019.
7. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
8. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR/MAPPER.
9. SYMBOLS SHOWN HEREON SUCH AS VALVES AND UTILITY POLES ARE NOT TO SCALE.
10. TREES, WETLANDS (IF ANY) NOT SHOWN HEREON. THE UNDERSIGNED HAS NOT BEEN PROVIDED WITH ANY DATA REGARDING SOILS, SOIL CONDITIONS, WETLANDS, WETLAND CONDITIONS, OR OTHER ENVIRONMENTAL REPORTS, HISTORICAL OR CURRENT.

CERTIFIED TO:
LYNN WEAVER, EQS3N PARTNERS, LLC

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PER CHAPTER 5J-17.050 THRU 17.053, FLORIDA ADMINISTRATIVE CODE.

KENNETH J. KUHAR
FLORIDA PROFESSIONAL SURVEYOR/MAPPER #6105

ABBREVIATIONS & LEGEND

⊕	CENTERLINE
R/W	RIGHT OF WAY
PSM	PROFESSIONAL SURVEYOR & MAPPER
LB	LICENSED BUSINESS
PRM	PERMANENT REFERENCE MONUMENT
●	FOUND 5/8" DIAMETER IRON ROD AND CAP LB 2232
○	SET 5/8" DIAMETER IRON ROD AND CAP LB 7991
⊥	SIGN

NO	DATE	DESCRIPTION
2	4/21/2022	REVISED PER CITY OF BUNNELL REVIEW COMMENTS
2	4/19/2022	REVISED TITLE BLOCK & UPDATE/RECRIFICATION
1	10/27/2021	REVISED TO EXCLUDE TRIANGLE EAST OF THE SECTION LINE

BOUNDARY SURVEY	
CITY OF BUNNELL - FLAGLER COUNTY, FLORIDA	
PREPARED FOR: LYNN WEAVER, EQS3N PARTNERS, LLC	

PROJECT NO.	K21127
DRAWING REFERENCE NO.	K21127 PLAT REV 4-18-22 MB DWG
REVISION NO./DATE	4/21/2022
ORIGINAL ISSUE DATE	04/29/2019
SHEET	1 OF 1







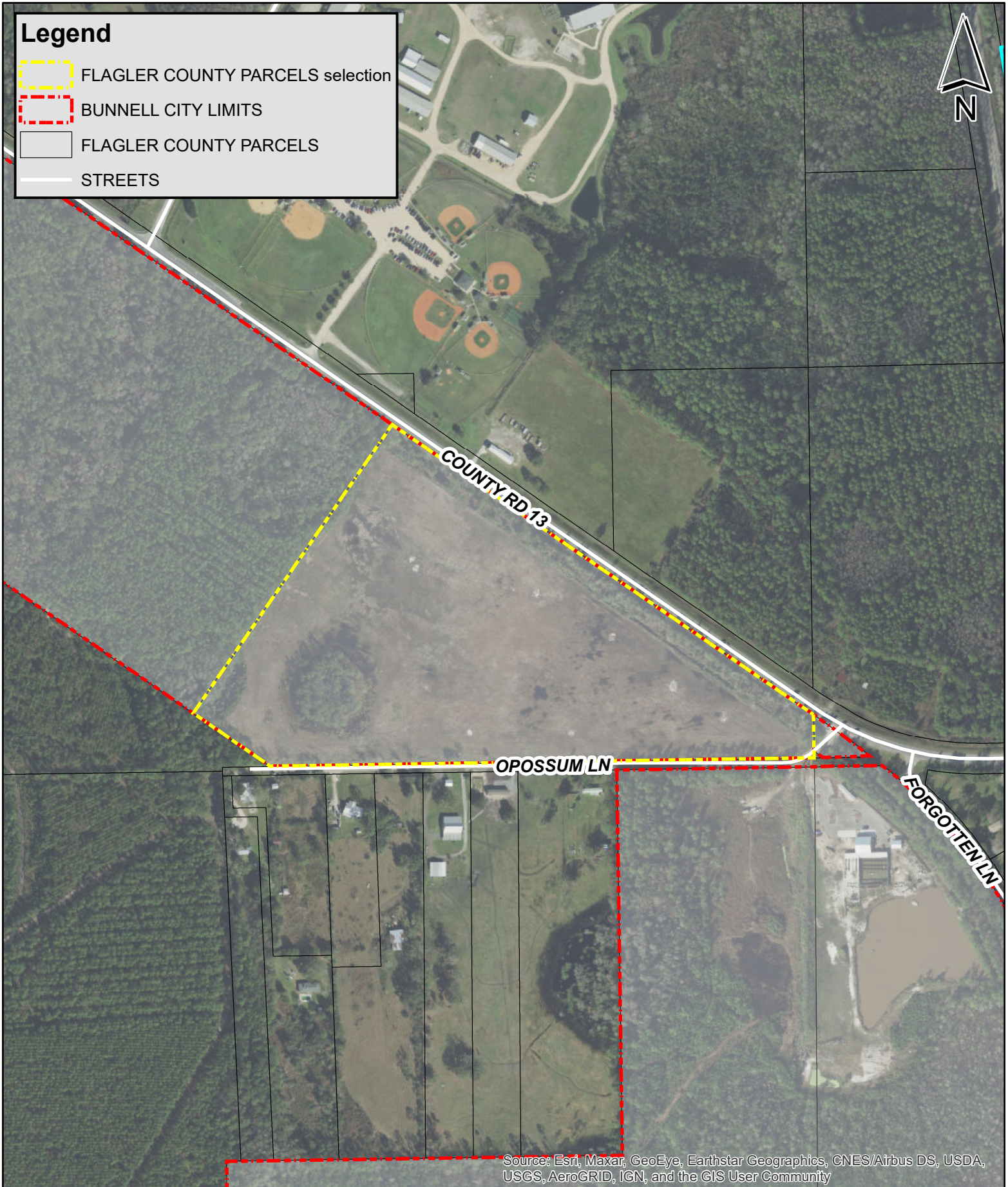
KUHAR SURVEYING & MAPPING, LLC
1501 RIDGEWOOD AVENUE, SUITE 205, HOLLY HILL, FLORIDA 32117
Phone: 386-672-0002 WWW.KUHARSURVEYING.COM



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Legend

-  FLAGLER COUNTY PARCELS selection
-  BUNNELL CITY LIMITS
-  FLAGLER COUNTY PARCELS
-  STREETS



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

250 125 0 250 Feet



Date Saved: 5/26/2022

Created by: eobrien
Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Weaver Property\Whistle Stop Minor Sub, Aerial Map.mxd

Aerial Map Whistle Stop Farms Minor Sub. Bunnell, Florida


300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. 7.

Document Date: 5/27/2022
Department: Community Development
Subject: PZA Case 2022-64 Request for Site Plan Approval for New Construction in Palm Industrial Park
Property Address: 500 Ninth Street
Zoning Designation: L-1 Light Industrial District
Future Land Use Designation: Industrial
Agenda Section: New Business:

ATTACHMENTS:

Description	Type
Final Site Plan -- Palm Industrial Lot 6	Plans
East Building Elevation	Exhibit
South & East Building Elevation	Exhibit
Palm Industrial Park Lot 6 Location Map	Location Map(s)

Summary/Highlights:

This is a request for Major Site Plan approval to construct an 11,999 SF new building located in the Palm Industrial Park. This application is a Major Site Plan because it involves nonresidential development of 5,000 SF or more of new impervious surface area.

Background:

The applicant, Scott Mulligan, is the owner of a 0.834± acre vacant parcel of land located at 500 Ninth Street in the Palm Industrial Park. The applicant plans to construct a new Flex Space Industrial building with up to 6 units. This is speculative construction with no formal commitments from any specific end user(s).

The City's Technical Review Committee has reviewed and approved the site plan for compliance with City's LDC. The applicant is required to obtain a SJRWMD Letter Modification Permit prior to issuance of the building permit.

Staff Recommendation:

Grant the applicant request for Major Site Plan Approval

City Attorney Review:

Approve if the board finds that the application meets the code criteria for major site plan approval.

INDEX OF SHEETS	
DWG.NO.	DESCRIPTION
1	COVER
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY
3	DEVELOPMENT INFORMATION
4	DEMOLITION, TREE REMOVAL AND SWPPP PLAN
5	SWPPP DETAILS AND NOTES
6	SITE LAYOUT PLAN
7	DRAINAGE AND GRADING PLAN
8	CROSS SECTIONS
9	UTILITY PLAN
10	MISCELLANEOUS DETAILS AND NOTES
11	CITY OF BUNNELL DETAILS AND NOTES
12	CITY OF BUNNELL DETAILS AND NOTES
13	MAINTENANCE OF TRAFFIC DETAILS
14	TRUCK TURN PLAN
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN

SITE PLAN DRAWINGS FOR LOT 6 PALM INDUSTRIAL PARK

SECTION 15, TOWNSHIP 12 S, RANGE 30 E
10-12-30-4990-00000-0060
NINTH STREET
BUNNELL, FL 32110
JANUARY 2022
REVISED APRIL 2022

PROJECT TEAM

PROPERTY OWNER: SCOTT MULLIGAN
30 MAGNOLIA COURT
ORMOND BEACH, FL 32174
PHONE: (386) 793-7399
EMAIL: SCOTT@AHMFL.COM

APPLICANT: SCOTT MULLIGAN
30 MAGNOLIA COURT
ORMOND BEACH, FL 32174
PHONE: (386) 793-7399
EMAIL: SCOTT@AHMFL.COM

CIVIL ENGINEER: NEWKIRK ENGINEERING, INC.
1230 NORTH US HIGHWAY 1, SUITE 3
ORMOND BEACH, FL 32174
PHONE: (386) 872-7794
EMAIL: HARRY@NEWKIRK-ENGINEERING.COM

ARCHITECT: RAPID BUILDING SOLUTIONS
350 E CROWN POINT RD., SUITE 1080
WINTER GARDEN, FL 34787
PHONE: (407) 347-9614
EMAIL: INFO@RAPIDBUILDINGSOLUTIONS.COM

SURVEYOR: COMPASS SURVEYING
6250 N MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE: (561) 640-4800
EMAIL: CROOKEKD@GMAIL.COM

GEOTECHNICAL: UNIVERSAL ENGINEERING SCIENCES
911 BEVILLE ROAD, SUITE 3
SOUTH DAYTONA BEACH, FL 32119
PHONE: (386) 756-1105
FAX: (386) 760-4067
EMAIL: BPOHL@UNIVERSALENGINEERING.COM

LEGAL DESCRIPTION

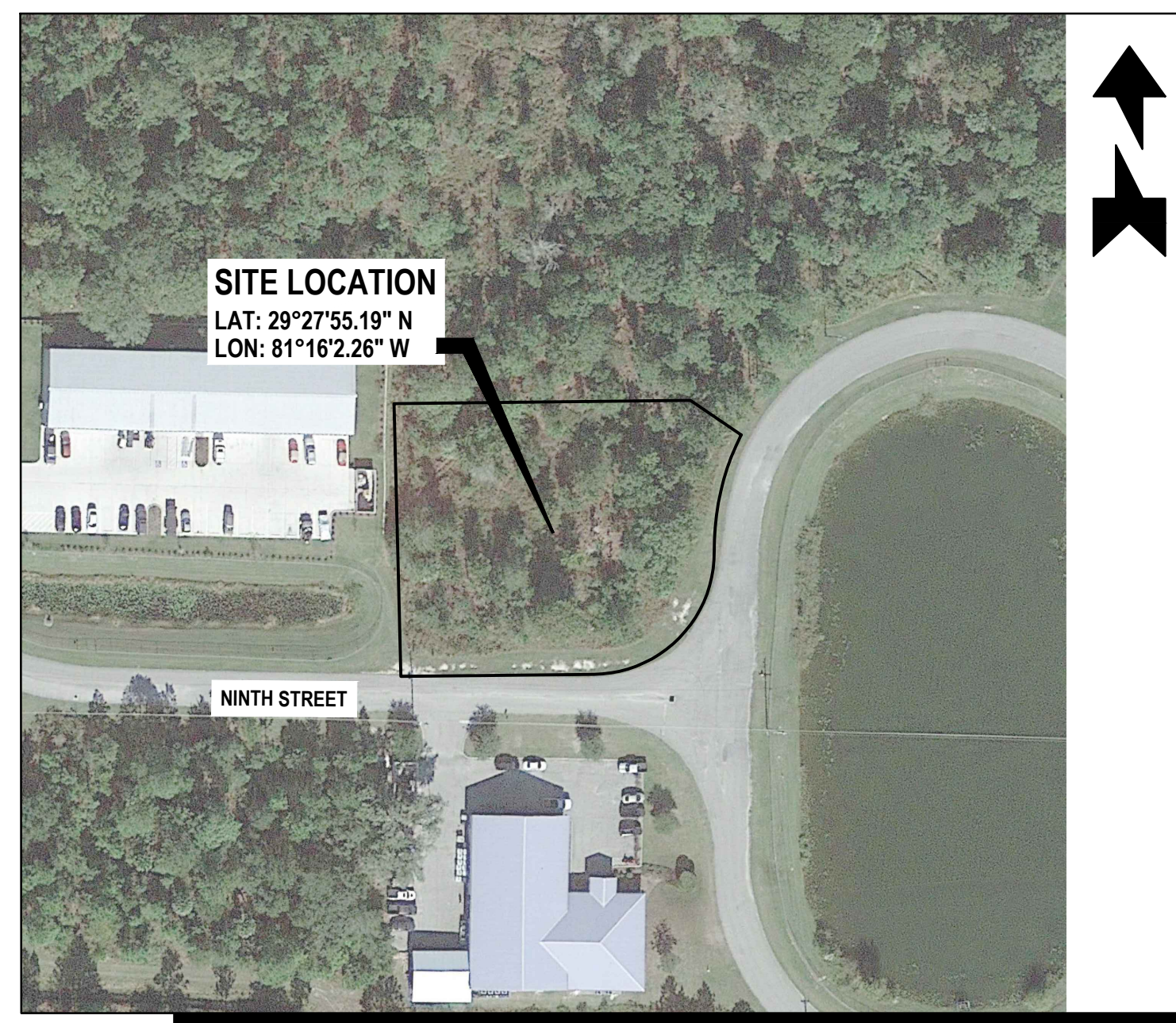
LOT 6, PALM INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 35, PAGE 34 THROUGH 36, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FL.

PROJECT STATEMENT

THE PROPOSED PROJECT CONSISTS OF A 11,999 SQUARE FEET INDUSTRIAL WAREHOUSE BUILDING WITH SIX (6) UNITS, 27 PARKING SPACES AND DUMPSTER ENCLOSURE. THE SITE CONSISTS OF 0.834 ACRES WITH 0.534 ACRES (64.0%) OF IMPERVIOUS SURFACE.

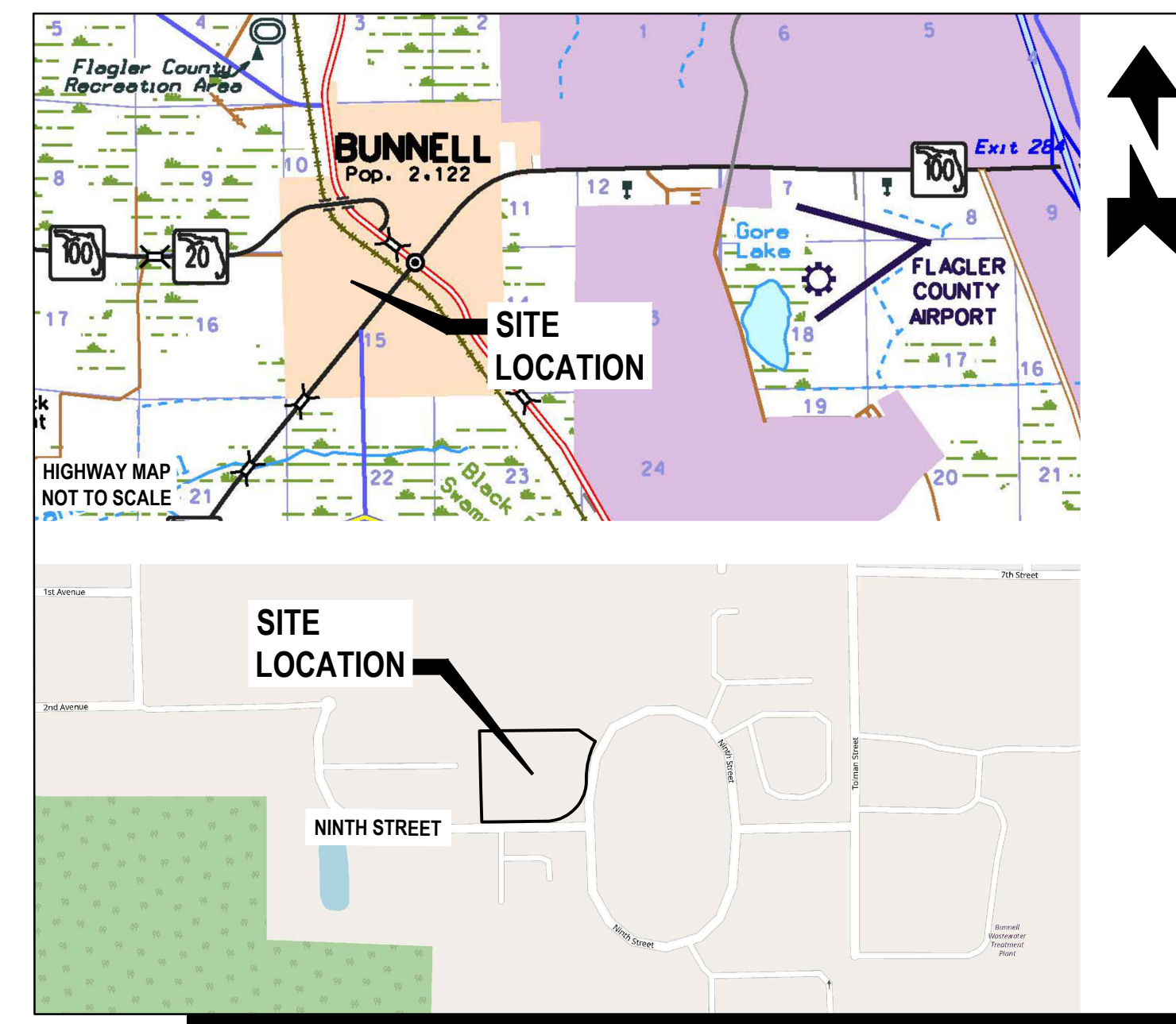
JURISDICTIONAL AGENCY PERMIT No.

CITY OF BUNNELL (DEVELOPMENT ORDER) 91685-5
SJRWMD (STORMWATER)



AERIAL MAP

SCALE: 1" = 100'



LOCATION MAP

SCALE: 1" = 300'



FLOOD ZONE MAP

SCALE: 1" = 300'

FLOOD ZONE "X"
MAP PANEL NO. 12035C0209 E
DATED JUNE 6, 2018



ZONING MAP

SCALE: 1" = 300'

ZONING DISTRICT:
(L-1) LIGHT INDUSTRIAL



SOILS MAP

SCALE: 1" = 300'

SOIL TYPES:
(40) POMONA FINE SAND, 0 TO 2 PERCENT SLOPES

CONTACT NUMBERS

PLANNING & ZONING - CITY OF BUNNELL (386) 437-7516
BUILDING DEPARTMENT - CITY OF BUNNELL (386) 437-7516
WATER - CITY OF BUNNELL (386) 586-5159
WASTEWATER - CITY OF BUNNELL (386) 586-5159
SOLID WASTE - CITY OF BUNNELL (386) 437-7500 OPT. 6
GAS - TECO PEOPLES GAS (386) 671-2232
ELECTRIC - FLORIDA POWER & LIGHT (386) 257-2502
TELEPHONE/CABLE/INTERNET - AT&T (855) 907-3493
TELEPHONE/CABLE - SPECTRUM (386) 254-8550

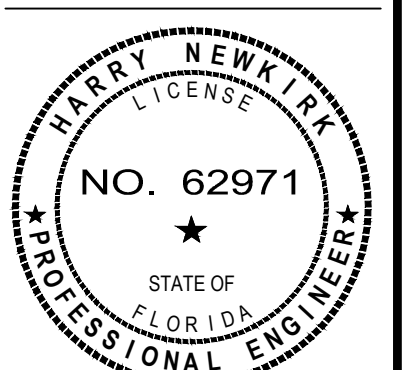


1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.NewKirk-Engineering.com
C.A. # 30209
L.C. # 26000584
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Civil Engineering,
Transportation, CEI &
Landscape Architecture

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HARRY NEWKIRK, PE # 62971 ON



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DRAWING NUMBER

1

THE GENERAL CONTRACTOR SHALL ENSURE THAT ANY SUBCONTRACTOR HAS A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR ITS RESPECTIVE WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR SUBCONTRACTORS ONLY UTILIZING INDIVIDUAL DRAWINGS FOR ITS WORK WHERE ADDITIONAL INFORMATION MAY BE CONTAINED ON OTHER DRAWINGS WITHIN THE SET.

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GENERAL CONSTRUCTION NOTES

- CITY GOVERNING SPECIFICATIONS: CITY OF BUNNELL LAND DEVELOPMENT CODE, CITY OF BUNNELL STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION.
- ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE 2021-2022 EDITION OF THE FDOT DESIGN STANDARD PLANS, THE 2020 - 2021 EDITION OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE 2017 EDITION OF THE FDOT UTILITY ACCOMMODATIONS MANUAL.
- ALL UTILITY MATERIAL, CONSTRUCTION AND TESTING COVERED BY THESE DRAWINGS SHALL COMPLY WITH THE CITY OF BUNNELL STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION. ALL UTILITY WORK AND CONNECTIONS SHALL BE COORDINATED WITH THE CITY OF BUNNELL INSPECTOR.
- THE CONTRACTOR SHALL PAY FOR AND OBTAIN A BUILDING PERMIT. THE ENGINEER WILL SCHEDULE THE PRECONSTRUCTION CONFERENCE BEFORE THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL CONTACT THE BUILDING DEPARTMENT AT (386) 437-7516 FOR INFORMATION ON ISSUANCE OF CITY PERMITS AND / OR OTHER REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
- THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS, UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.
- ONLY ONE TEMPORARY CONSTRUCTION SIGN IS PERMITTED, NOT TO EXCEED 32 SQUARE FEET IN SIGN AREA, MAXIMUM HEIGHT OF 8 FEET AND NO CLOSER THAN 10 FT FROM PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR A TEMPORARY SIGN PERMIT AT THE BUNNELL BUILDING DEPARTMENT. THE SIGN MUST BE REMOVED UPON RECEIPT OF THE CERTIFICATE OF OCCUPANCY.
- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.
- AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.
- AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY OR ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THERE SHALL BE NO DEVIATIONS FROM THESE PLANS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.
- THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER, TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.
- CORE TESTS SHALL BE TAKEN TO VERIFY THICKNESS AND SUBSURFACE COMPACTION. PROVIDE FOR THREE SAMPLES, RANDOMLY LOCATED. TEST FOR EXTRACTION, GRADATION, LABORATORY DENSITY, AND MARSHALL'S STABILITY. PROVIDE A CERTIFICATE FROM THE TESTING AGENCY THAT MATERIALS AND INSTALLATION COMPLY WITH SPECIFICATIONS, SIGNED BY THE ASPHALTIC CONCRETE PRODUCER AND CONTRACTOR. ALL COSTS OF TESTS SHALL BE PAID BY THE CONTRACTOR. IF TESTS SHOW THE INSTALLATION DOES NOT MEET SPECIFICATIONS, THE PAVING SHALL BE REMOVED, REPLACED, AND RETESTED.
- IF ANY MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- NO BURYING OF ANY ORGANIC MATERIALS ALLOWED.
- THERE WILL BE NO PROPOSED OVERHEAD UTILITY AND SERVICE LINES ASSOCIATED WITH THIS PROJECT. ALL UTILITY LINES AND SERVICES WILL BE INSTALLED UNDERGROUND AT THE OWNER'S, DEVELOPER'S OR BUILDER'S EXPENSE.

SITE AND GENERAL INFORMATION

- THE PROPERTY AREA BOUNDARY CONSISTS OF 36,336 SF OR 0.834 ACRES. FOR BOUNDARY AND TOPOGRAPHIC SURVEY REFER TO THE SURVEY PERFORMED BY COMPASS SURVEYING. (SEE SHEET No. SU-1 OF THESE PLANS).
- THE PROPOSED ZONING IS L-1 (LIGHT INDUSTRIAL).
- THE TAX PARCEL NUMBER IS 10-12-30-4990-00000-0060.
- THE EXISTING SITE CONDITION IS UNDEVELOPED AND PARTIALLY CLEARED WITH NO LARGE OR HISTORIC TREES. THE FLUCFCS LAND USE IS (191) UNDEVELOPED LAND WITHIN URBAN AREAS.
- PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE FOR FLAGLER COUNTY, THE SCS SOILS MAP INDICATES THE SITE CONSISTS OF (40) POMONA FINE SAND, 0 TO 2 PERCENT SLOPES.
- THE SITE IS LOCATED WITHIN ZONE "X" PER FEMA MAP PANEL No. 12035C0209 E, DATED JUNE 6, 2018, . LIDAR AND FEMA SIMPLIFIED METHODS.
- ELECTRICAL UTILITY SERVICE WILL BE PROVIDED BY FLORIDA POWER & LIGHT. NATURAL GAS WILL BE PROVIDED BY TECO PEOPLES GAS COMPANY. TELEPHONE, CABLE AND INTERNET SERVICE WILL BE PROVIDED BY AT&T. CABLE TV AND TELEPHONE CAN ALSO BE PROVIDED BY SPECTRUM.
- SOLID WASTE WILL BE COLLECTED AND DISPOSED OF BY THE CITY OF BUNNELL.
- THE SITE IS NOT LOCATED WITHIN THE LIMITS OF A WELLHEAD PROTECTION ZONE AND THERE IS NO ORDINARY HIGH WATER (OHW) LINE WITHIN THE SITE.
- POTABLE WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY CITY OF BUNNELL.
- IRRIGATION SERVICE WILL BE PROVIDED BY PRIVATE WELL SYSTEM.
- ALL ON-SITE WATER AND SEWER FACILITIES ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

LEGEND NOTE: NOT ALL SYMBOLS SHOWN HERE MAY BE APPLICABLE TO THESE DRAWINGS, ALSO THERE MAY BE ADDITIONAL SYMBOLS WITHIN PLANS NOT SHOWN HERE, SEE INDIVIDUAL DRAWING LEGEND WHERE APPLICABLE.

#3	BENCHMARK ID	■	4" BY 4" CONCRETE MONUMENT
B24	BORING ID	- - - - -	EXISTING EASEMENT
□	EXISTING CABLE TV PEDESTAL	FOC	EXISTING UNDERGROUND FIBER OPTIC CABLE
□	EXISTING CAP OR PLUG	FWM	EXISTING FORCE MAIN (# INDICATES SIZE)
○	EXISTING CLEAN OUT	GAS	EXISTING GAS MAIN
⊗	EXISTING CONDUIT RISER/ MARKER	OHE	EXISTING OVERHEAD ELECTRIC CABLES
⊞	EXISTING ELECTRIC METER	OHT	EXISTING OVERHEAD TRAFFIC SIGNAL CABLE
⊞	EXISTING ELEVATION (SOFT)	RAW	EXISTING RAW WATER MAIN (# INDICATES SIZE)
5.02	PROPOSED ELEVATION (SOFT)	REC	EXISTING RECLAIM WATER MAIN (# INDICATES SIZE)
5.00	EXISTING ELEVATION (HARD)	RSAN	PROPOSED SANITARY SEWER (# INDICATES SIZE)
5.00	PROPOSED ELEVATION (HARD)	RWM	PROPOSED WATER MAIN (# INDICATES SIZE)
⊞	EXISTING FIRE HYDRANT	12	EXISTING CONTOUR
⊞	PROPOSED FIRE HYDRANT	10	PROPOSED CONTOUR (SOFT)
↔	EXISTING FLOW DIRECTION	16	PROPOSED CONTOUR (HARD)
↔	PROPOSED FLOW DIRECTION	UTEL	EXISTING UNDERGROUND TELEPHONE CABLE
⊞	EXISTING GAS METER	UTV	EXISTING UNDERGROUND TELEVISION CABLE
⊞	EXISTING GAS VALVE	USE	EXISTING UNDERGROUND ELECTRICAL POWER CABLE
— —	EXISTING GUY WIRE & ANCHOR PIN	— —	JURISDICTIONAL WETLAND LINE
⊞	EXISTING MAIL BOX	BSAN	EXISTING SANITARY SEWER (# INDICATES SIZE)
○	EXISTING MANHOLE (UNKNOWN)	RWM	EXISTING WATER MAIN (# INDICATES SIZE)
⊞	PROPOSED MANHOLE	— —	EXISTING PIPE OR CONDUIT (TYPE SPECIFIED)
⊞	EXISTING SANITARY SEWER CLEANOUT	— —	EXISTING SWALE OR CENTER OF DITCH
⊞	EXISTING SANITARY SEWER MANHOLE	— —	PROPOSED SWALE OR CENTER OF DITCH
— —	EXISTING ROAD SIGNS AND POSTS	— —	EXISTING TOP OF DITCH BANK
— —	PROPOSED SIGN AND POST	— —	EXISTING BOTTOM OF DITCH BANK
— —	EXISTING TEE	— —	EXISTING WOOD FENCE
○	EXISTING UTILITY POLE	— —	EXISTING WIRE OR CHAIN LINK FENCE
⊞	EXISTING VALVE IRRIGATION	— —	PROPOSED WIRE OR CHAIN LINK FENCE
⊞	EXISTING VALVE WATER	— —	PROPOSED SILT/SEDIMENT FENCE
⊞	PROPOSED WATER VALVE	— —	PROPOSED COIR ROLL OR WATTLE
⊞	EXISTING WATER METER	— —	PROPOSED FLOATING TURBIDITY BARRIER
— —	EXISTING STORM SEWER WITH INLET	— —	PROPOSED TREE PROTECTION
— —	PROPOSED STORM SEWER WITH INLET	●	1/2" IRON ROD (NO I.D.)

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS - 2021 / 2022 AND QUALIFIED PRODUCTS LIST

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205	PIPE BACKFILL		THROUGH WORK ZONES
425-052	DITCH BOTTOM INLETS - TYPES C, D, E AND H	102-602	TWO-LANE AND MULTILANE, WORK ON SHOULDER
520-001	CURB & GUTTER AND GUTTER	102-603	TWO-LANE, TWO-WAY, WORK WITHIN THE TRAVEL WAY
350-001	CONCRETE PAVEMENT JOINTS		
120-001	EMBANKMENT UTILIZATION		

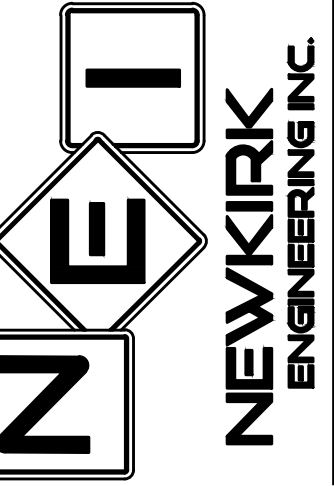
ABBREVIATIONS

AWWA	AMERICAN WATER WORKS ASSOCIATION	GW	GROUND WATER	R	RADIUS
CMP	CORRUGATED METAL PIPE	H/C	HANDICAP	RCP	REINFORCED CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE	HDPE	HIGH DENSITY POLYETHYLENE	RPM	REFLECTIVE PAVEMENT MARKER
CTV	CABLE TELEVISION	INV	INVERT	R/W	RIGHT-OF-WAY
DIP	DUCTILE IRON PIPE	K _h	HORIZONTAL PERMEABILITY	SAN	SANITARY
ESMT	EASEMENT	K _v	VERTICAL PERMEABILITY	SH	SEASONAL HIGH
EXIST	EXISTING	KO	KNOCK OUT	SMH	SANITARY MANHOLE
FAC	FLORIDA ADMINISTRATIVE CODE	LF	LINEAL FEET	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	MB	MAP BOOK	SS	SANITARY SEWER
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	MES	MITERED END SECTION	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FH	FIRE HYDRANT	MJ	MECHANICAL JOINT	TSB	TEMPORARY SEDIMENT BASIN
FOC	FIBER OPTIC CABLE	N/A	NOT APPLICABLE	TYP	TYPICAL
FF EL	FINISH FLOOR ELEVATION	NGVD	NATIONAL GEODETIC VERTICAL DATUM	UGE	UNDERGROUND ELECTRIC
FP&L	FLORIDA POWER & LIGHT	OHE	OVERHEAD ELECTRIC	UGT	UNDERGROUND TELEPHONE
FM	FORCE MAIN	OR	OFFICIAL RECORD	USACOE	UNITED STATES ARMY CORP OF ENGINEERS
FPD	FEET PER DAY	PG	PAGE	W	WATER (POTABLE)
G	GAS	PSI	POUNDS PER SQUARE INCH		
		PVC	POLYVINYL CHLORIDE		
		PVMT	PAVEMENT		

REVISIONS

DATE	DESCRIPTION
3/4/22	CITY COMMENTS

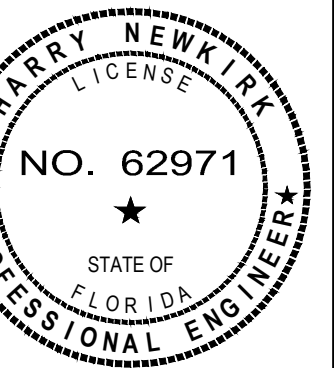
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Ormond Beach, Florida 32174
Phone (386) 872-7794
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DEVELOPMENT INFORMATION
LOT 6 PALM INDUSTRIAL PARK
NINTH STREET
BUNNELL, FL 32110

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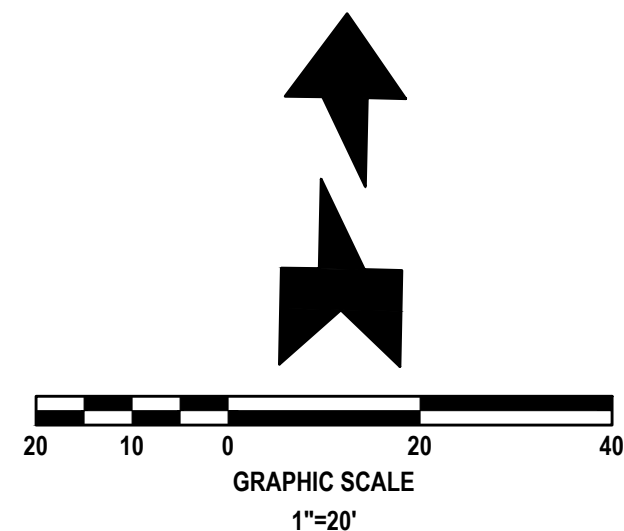
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PROJECT No:	2021-25
DATE:	JANUARY 2022
DESIGN BY:	HHN
DRAWN BY:	NWS
CHECKED BY:	HHN
SCALE:	
DRAWING NUMBER	

3



DEMOLITION AND SWPPP NOTES:

1. ALL EROSION CONTROL DEVICES AND VISIBLE BARRICADES SHALL BE INSTALLED AND APPROVED BY THE ENGINEER PRIOR TO THE START OF CLEARING AND GRUBBING.
2. THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AS SPECIFIED PRIOR TO START OF CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED OF ALL VEGETATION AND DEBRIS WITHIN THE APPROXIMATE LIMITS OF CLEARING AS INDICATED ON THE DRAWING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY OF BUNNELL UTILITY DEPARTMENT, FLORIDA SUNSHINE AND EMERGENCY SERVICES FOR RESPECTIVE UTILITY LOCATIONS AND "NOTICE" OF CONSTRUCTION ACTIVITY.
5. ALL REMOVED MATERIAL SHALL BE HAULED OFF-SITE TO AN APPROVED LANDFILL. TREES MAY BE LOGGED OR MULCHED FOR OFF-SITE DISPOSAL AT THE CONTRACTOR'S DISCRETION.
6. ALL EROSION CONTROL DEVICES SHALL BE PLACED PRIOR TO THE START OF WORK AND REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND REMOVAL OF DEBRIS AND SILT BEHIND EROSION CONTROL DEVICES.
8. ALL INLETS AND PIPE SHALL BE PROTECTED DURING CONSTRUCTION BY INLET PROTECTION MEASURES TO PREVENT SILTATION IN THE DRAINAGE SYSTEM (SEE DETAILS THIS DRAWING). THE ENTIRE DRAINAGE SYSTEM SHALL BE CLEANED OF ALL DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL OFF-SITE AREAS DISTURBED DURING CONSTRUCTION ACTIVITY SHALL BE IMMEDIATELY RESTORED TO PRIOR CONDITION UPON COMPLETION OF WORK.
10. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION, BLOWING SAND AND THE IMPACT TO NEIGHBORING PROPERTIES.
11. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, CITY A NOT PLAN AT PRECONSTRUCTION MEETING. TRAFFIC SHALL BE ALLOWED TO CONTINUE DURING WORK. PROVIDE MEASURES TO DETOUR TRAFFIC AROUND OPEN EXCAVATION WITH ADEQUATE BARRICADES, SIGNAGE AND FLAGPERSON TO DIRECT TRAFFIC. EMERGENCY SERVICES SHALL BE NOTIFIED 48 HOUR IN ADVANCE.
12. EXISTING DRIVEWAYS SHOWN ADJACENT TO OR OUTSIDE LIMITS OF CONSTRUCTION SHALL REMAIN IN-SERVICE. EXISTING UTILITIES AND DRIVEWAYS SHALL NOT BE REMOVED UNLESS OTHERWISE NOTED.
13. IF ANY DEWATERING IS TO OCCUR DURING ANY PHASE OF CONSTRUCTION THEN DEWATERING ACTIVITY SHALL ADHERE TO CHAPTER 40C-22 FAC MORE SPECIFICALLY AS FOLLOWS. PER 40C-22.030(3) A "NOTICED GENERAL SHORT-TERM DEWATERING PERMIT" IS REQUIRED "ONLY IF" DEWATERING EXCEEDS 4 MILLION GALLONS PER DAY, EXCEPT DURING THE FIRST 120 HOURS OF DEWATERING WHEN THE DAILY AND INSTANTANEOUS PUMPAGE RATES SHALL NOT EXCEED 5 MILLION GALLONS PER DAY. AVERAGE DAILY WITHDRAWAL SHALL NOT EXCEED 2 MILLION GALLONS PER DAY FOR THE FIRST 60 DAYS OF THE DEWATERING ACTIVITY AND SHALL NOT EXCEED ONE MILLION GALLONS PER DAY OF A 180 DAY DURATION. EACH SPECIFIC DEWATERING PROJECT SHALL NOT EXCEED 180 DAYS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY DEWATERING ACTIVITY IS BELOW THE SPECIFIED THRESHOLD. OTHERWISE A PERMIT WILL BE REQUIRED AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL FAMILIARIZE ITSELF WITH CHAPTER 40C-22 FAC AND BE SOLELY RESPONSIBLE FOR OBTAINING AND SUBMITTING FORM RDS-50 TO SURWMD A MINIMUM OF 10 DAYS PRIOR TO ANY DEWATERING ACTIVITY. SUBMITTAL OF FORM RDS-50 IS NOT REQUIRED IF DEWATERING IS 300,000 GALLONS PER DAY OR LESS AND WILL NOT EXCEED 30 DAYS IN DURATION.

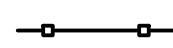
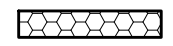

EROSION CONTROL NOTES:

1. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE SWPPP DURING CONSTRUCTION OPERATIONS.
2. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
3. THE CONTRACTOR SHALL POST "NO TRESPASSING" SIGNAGE AT ALL SITE ENTRANCES PRIOR TO CONSTRUCTION.
4. MAINTAIN EROSION CONTROL MEASURES EACH RAIN AND AT LEAST ONCE A WEEK.
5. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
6. GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
7. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
8. NO TURBID WATER SHALL BE DISCHARGED OFF-SITE FROM THE DEWATERING OPERATION. CONTRACTOR SHALL TAKE MEASURES TO CONTROL TURBIDITY.
9. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OF NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
11. PROVIDE DUST CONTROL FOR ALL EARTHWORK OPERATIONS. COVER AREA WITH LIGHT COATING OF WATER OR OTHER APPROVED METHOD.

LAND ALTERATION / TREE PRESERVATION NOTES:

1. ALL TREES TO REMAIN MUST BE PROTECTED BY TREE PRESERVATION BARRICADES MEETING THE MINIMUM STANDARDS. PROTECTIVE BARRICADES SHALL REMAIN IN PLACE UNTIL LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
2. ALL TRIMMING SHALL BE UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
3. OAK TREES LARGER THAN 36-INCHES AND ABOVE (HISTORIC) PRUNING SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS. THE ARBORIST SHALL UNDERSTAND THAT THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 PRUNING STANDARDS IS A STANDARD OF DIVISION 4.0.
4. ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE, SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA WHERE INDICATED ON THIS PLAN.

LEGEND:

-  PROPOSED SILT FENCE (SEE DETAIL, SHEET No. 5)
-  PROPOSED AGGREGATE
-  ASPHALT PAVEMENT REMOVAL

BENCHMARK INFORMATION:

#1 FLAGLER COUNTY BRASS DISK "S 223"
ELEVATION = 18.98'

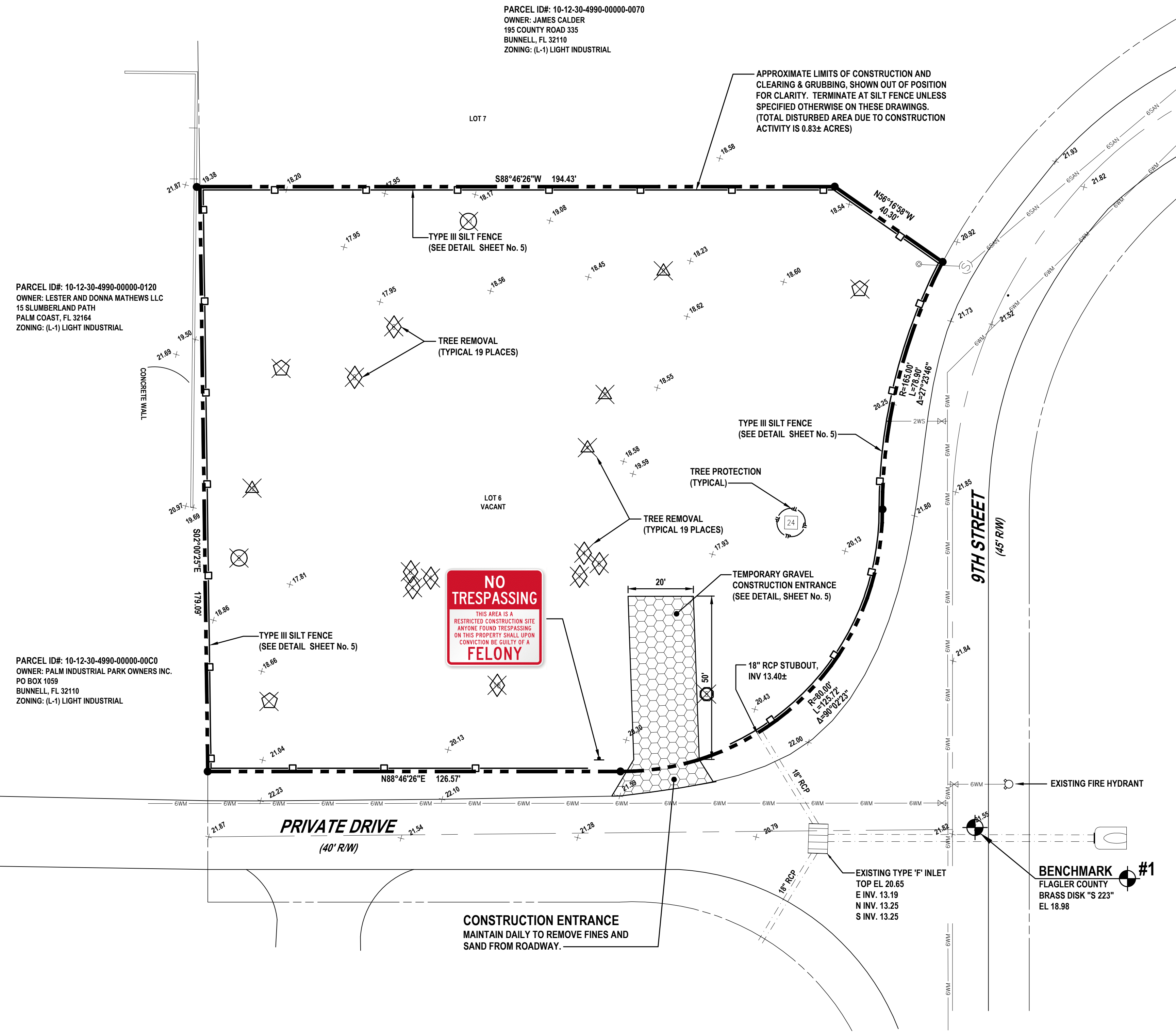
VERTICAL DATA
VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AS REFERENCED TO A LOCAL BENCHMARK PUBLISHED BY NATIONAL GEODETIC SURVEY.

ON-SITE TREE LEGEND:

	TOTAL	REMOVED
CEDAR TREE	1	1
MAPLE TREE	9	9
OAK TREE	2	2
WATER OAK TREE	1	0
PALM TREE	3	3
SYCAMORE TREE	4	4
	20	19



WARNING !!
CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



PARCEL ID#: 10-12-30-4990-00000-0120
OWNER: LESTER AND DONNA MATHEWS LLC
15 SLUMBERLAND PATH
PALM COAST, FL 32164
ZONING: (L-1) LIGHT INDUSTRIAL

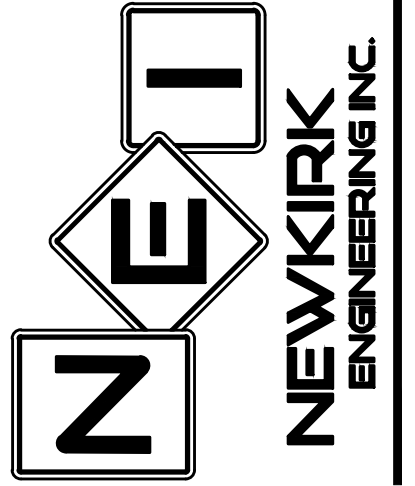
PARCEL ID#: 10-12-30-4990-00000-0070
OWNER: JAMES CALDER
195 COUNTY ROAD 335
BUNNELL, FL 32110
ZONING: (L-1) LIGHT INDUSTRIAL

PARCEL ID#: 10-12-30-4990-00000-00C0
OWNER: PALM INDUSTRIAL PARK OWNERS INC.
PO BOX 1059
BUNNELL, FL 32110
ZONING: (L-1) LIGHT INDUSTRIAL

REVISIONS

DATE	DESCRIPTION
3/4/22	CITY COMMENTS

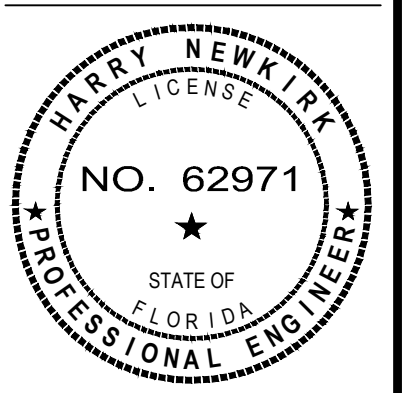
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DEMOLITION, TREE REMOVAL AND SWPPP PLAN
LOT 6 PALM INDUSTRIAL PARK
NINTH STREET
BUNNELL, FL 32110

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PROJECT No: 2021-25
DATE: JANUARY 2022
DESIGN BY: HHN
DRAWN BY: NWS
CHECKED BY: HHN
SCALE: 1" = 20'
DRAWING NUMBER

4

ES BMP 1.01
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

DEFINITION
A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE
TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR TRACTORS.
CONDITIONS WHERE PRACTICE APPLIES
WHenever traffic will be leaving a construction site and moving directly onto a public road or other paved area.

PLANNING CONSIDERATIONS
CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THE ENTER A PUBLIC ROAD. IF THE AMOUNT OF THE MUD REMOVED OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PRODUCED BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA
AGGREGATE SIZE:
FOOT AGGREGATE NO. 1 (1.5 - 3.5 INCH STONE) SHOULD BE USED.

ENTRANCE DIMENSIONS
AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. (SEE DETAIL).

WASHING
IF CONDITIONS OF THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CAPTURED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MUST BE USED TO MAKE WASHING MORE CONVENIENT AND SEE DETAIL.

LOCATION
THE ENTRANCE SHOULD BE LOCATED TO PROVIDE MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

INDICATE PROPOSED LOCATION OF GRAVEL CONSTRUCTION ENTRANCE ON THE GRADING PLAN.

CONSTRUCTION SPECIFICATIONS
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROCKS AND OTHER OBSTACLES. MATERIALS SHOULD BE PLACED TO BE SHOWN ON DRAWINGS. ANY OBSTACLES SHOULD BE REMOVED OR PROTECTED. WASHING FACILITIES SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE TO BE MANUFACTURED, THEY SHOULD BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE ENTRANCE FROM BEING A TRIP HAZARD. THE AREA SHALL BE MAINTAINED FREE OF OBSTACLES. ANY OBSTACLES SHALL BE REMOVED OR PROTECTED. WASHING FACILITIES SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE TO BE MANUFACTURED, THEY SHOULD BE CONSTRUCTED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

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April 2014

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
NOTE: SUBSTITUTE ROCK BAGS AT PAVED SURFACES

BALES BACKED BY FENCE

DITCH INSTALLATIONS AT DRAINAGE STRUCTURES

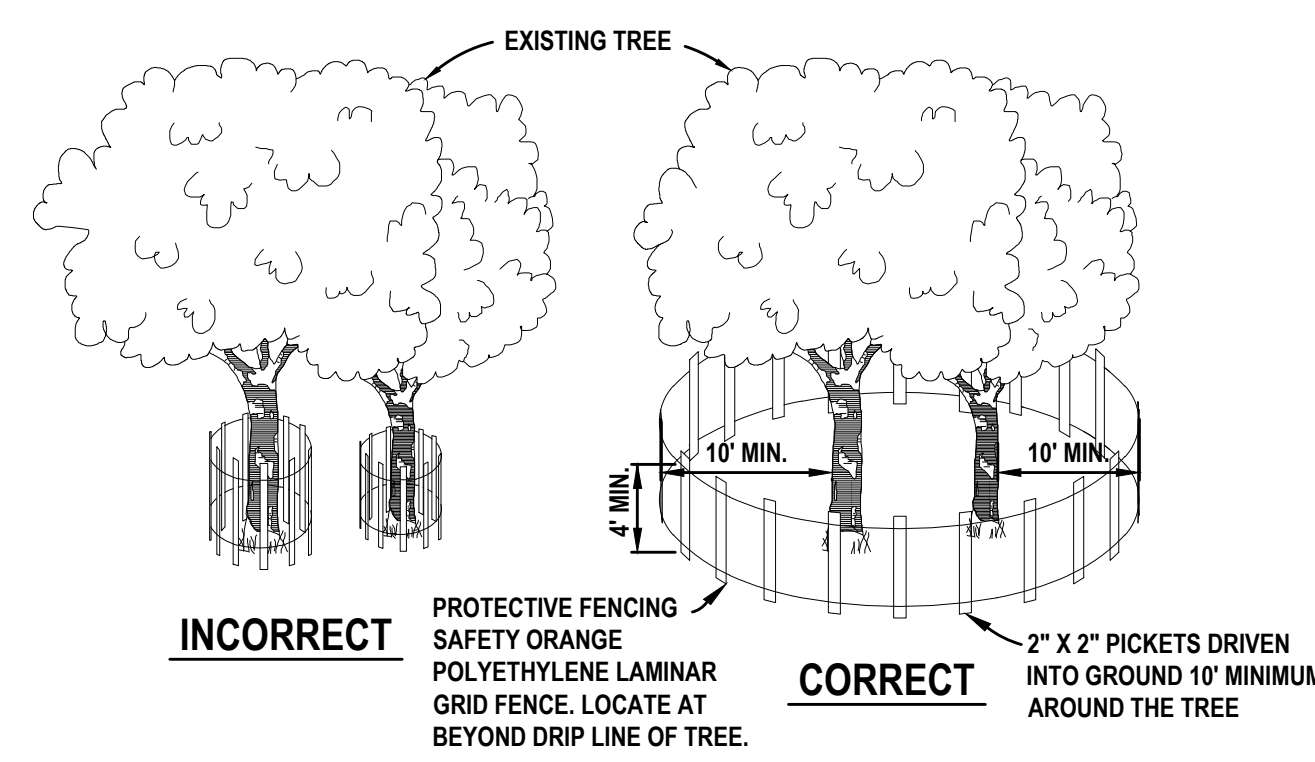
BARRIERS FOR FILL SLOPES

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M-14
April 2014

TYPE III SILT FENCE

SILT FENCE APPLICATIONS

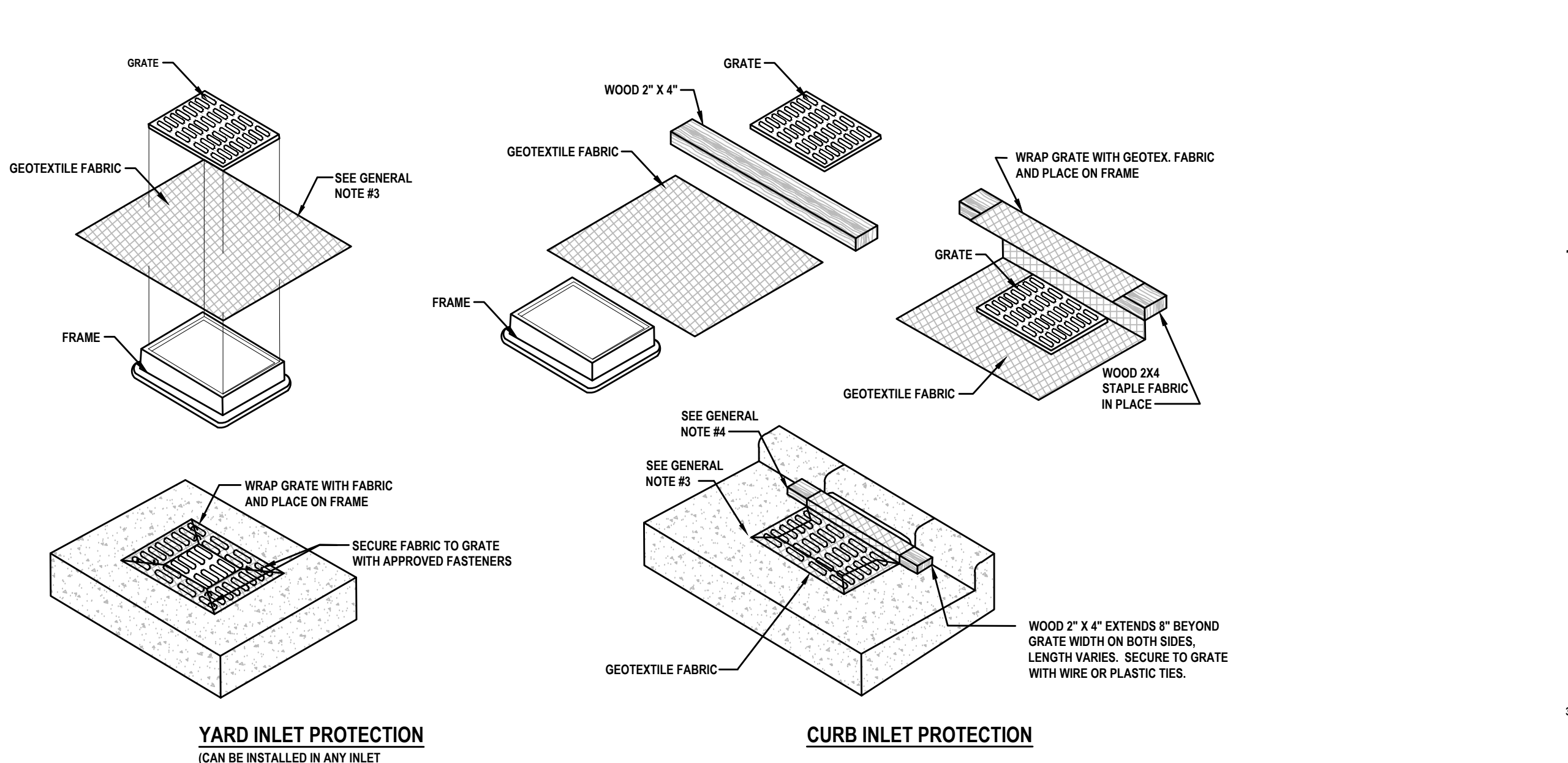
INDEX
M-15
April 2014



BARRIER TO BE INSTALLED AT DRIP LINE OF TREE BRANCHES OR 10' MINIMUM. USE HIGHLY VISIBLE "HAZARD" FENCE, SAFETY ORANGE IN COLOR.

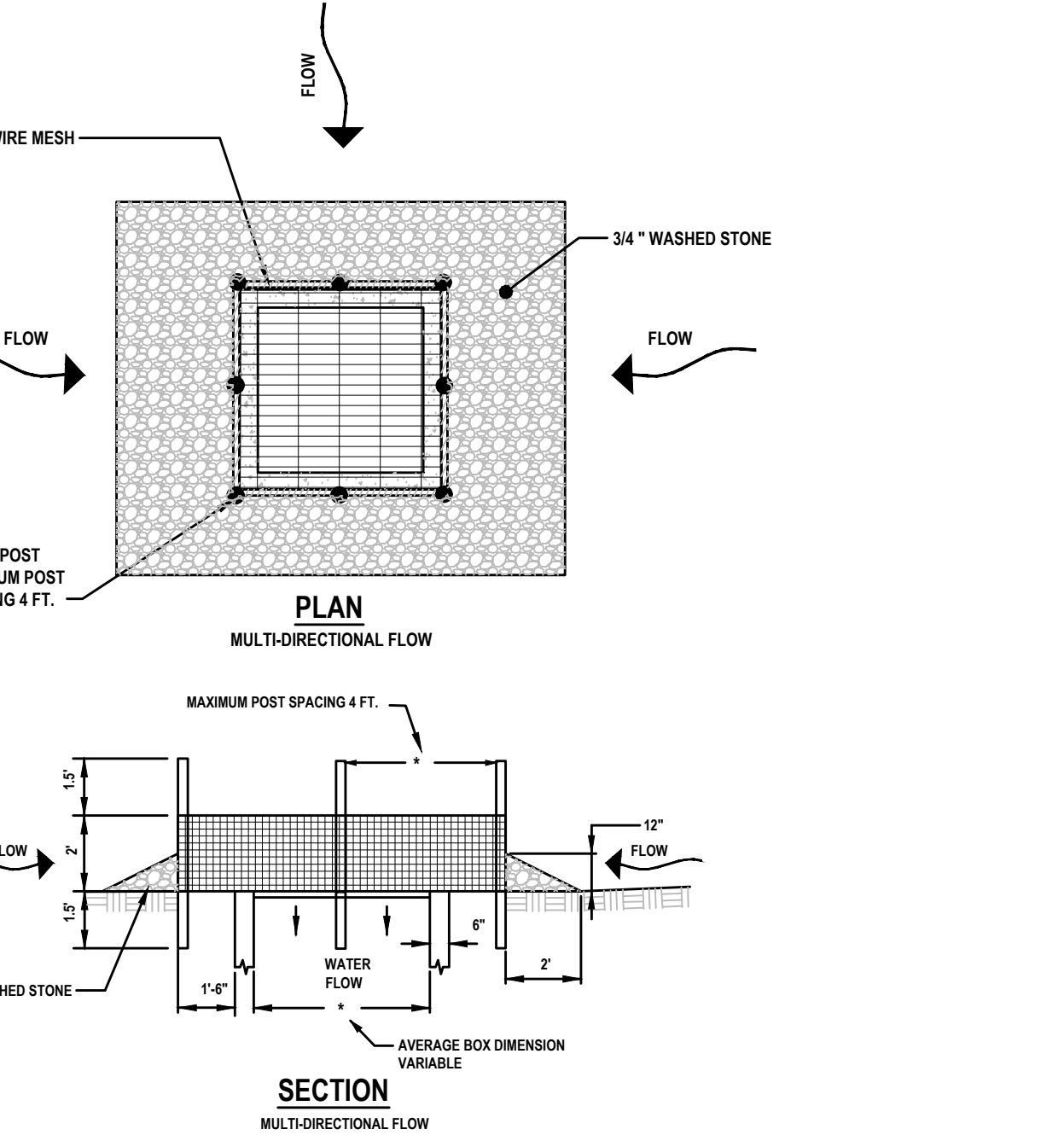
- TREE PROTECTION NOTES:**
- TREE BARRICADES ARE REQUIRED AROUND ALL TREES WHICH HAVE BEEN DESIGNATED ON THE SITE PLAN TO BE RETAINED AND PROTECTED. PRIOR TO ANY CLEARING OR CONSTRUCTION ACTIVITY OCCURRING ON THE SITE, TREE BARRICADES SHALL BE CONSTRUCTED BY THE CONTRACTOR AND APPROVED BY THE CITY.
 - TREE PROTECTION BARRIER MUST REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION ACTIVITY IS COMPLETE OR UNTIL COMMENCEMENT OF FINISH GRADING AND SODDING.
 - BARRIERS SHALL BE PLACED AROUND TREES AT THE DRIPLINE EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.
 - THE DRIPLINE OF A TREE IS THE IMAGINARY VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND.
 - AREAS SURROUNDED BY THE TREE PROTECTION BARRIERS SHALL BE PROTECTED FROM VEGETATION REMOVAL, PLACEMENT OF SOIL, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND.
 - ALL TREE ROOTS WITHIN AREA TO BE GRADED AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEANLY AT THE LIMITS OF THE PROTECTED AREA.
 - ALL TREE PRUNING AND TRIMMING ON ANY TREE TO BE RETAINED SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).
 - 2'x2' TREE PROTECTION SIGNS SPACED A MINIMUM OF ON SIGN EVERY 300' SHALL CONTAIN THE WORDING "TREE PROTECTION ZONE - KEEP OUT".

TREE PROTECTION BARRIER
(NOT TO SCALE)



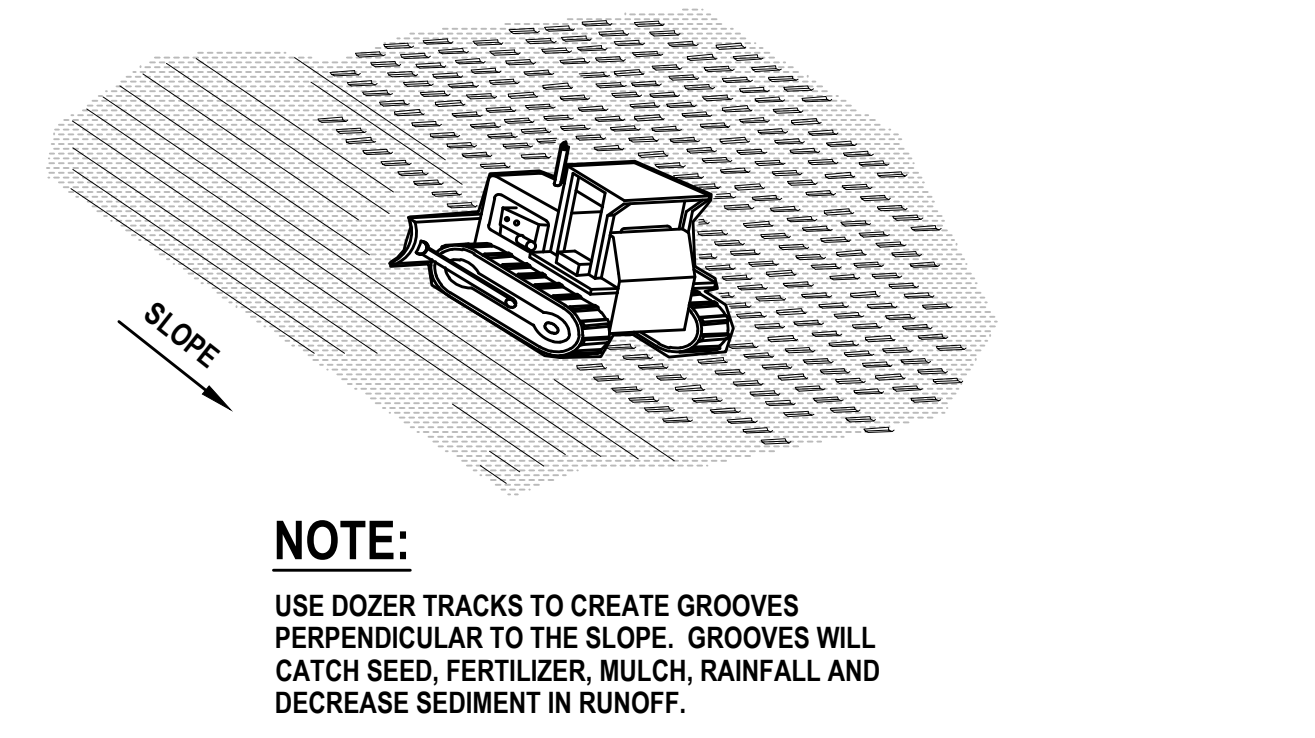
- GENERAL NOTES:**
- GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
 - WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 - FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 - THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

GEOTEXTILE FABRIC INLET PROTECTION
(NOT TO SCALE)

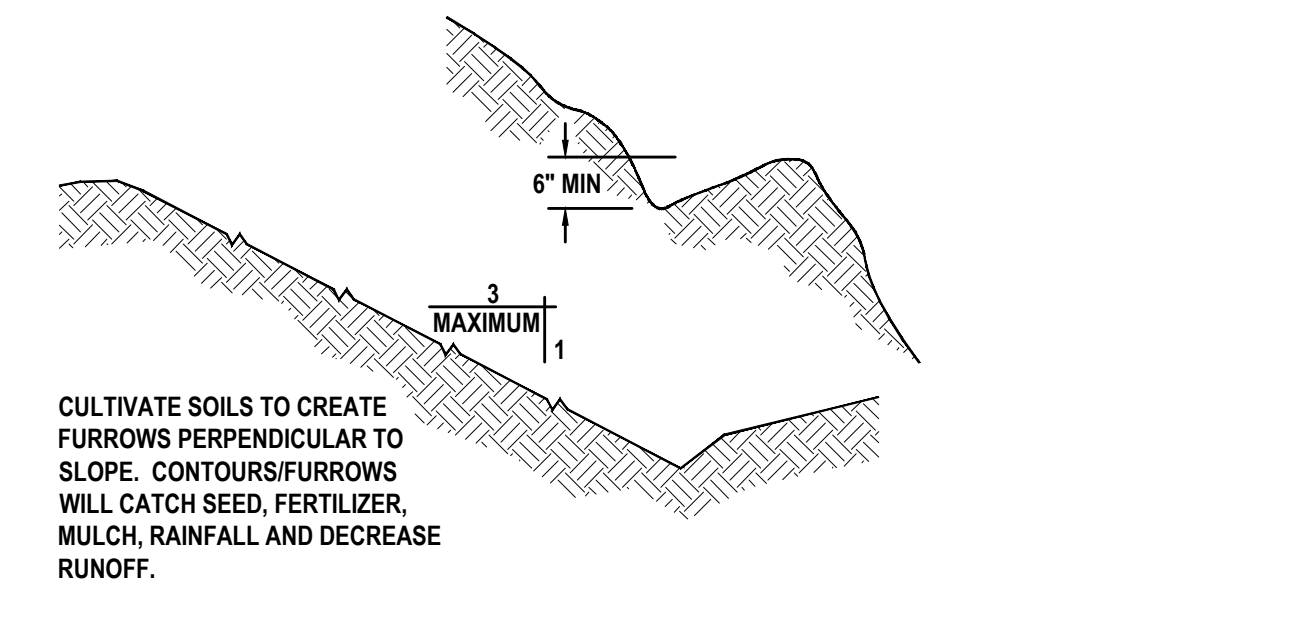


- NOTE:**
- SEDIMENT CONTROL STONE SHALL BE 3/4" WASHED STONE.
 - WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4 INCH MESH.
 - TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
 - STEEL POST SHALL BE 5 FT. IN LENGTH, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 - WOOD POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
 - POST SPACING SHALL BE A MAXIMUM OF 4 FT.

HARDWARE CLOTH INLET PROTECTION
(NOT TO SCALE)



TRACKING DETAIL
(NOT TO SCALE)

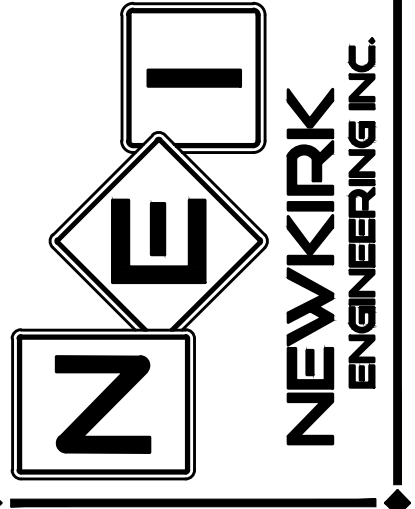


SURFACE ROUGHENING
(NOT TO SCALE)

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DATE	DESCRIPTION

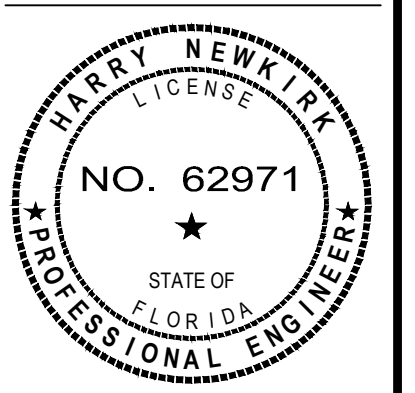
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SWPPP DETAILS AND NOTES
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NINTH STREET
BUNNELL, FL 32110

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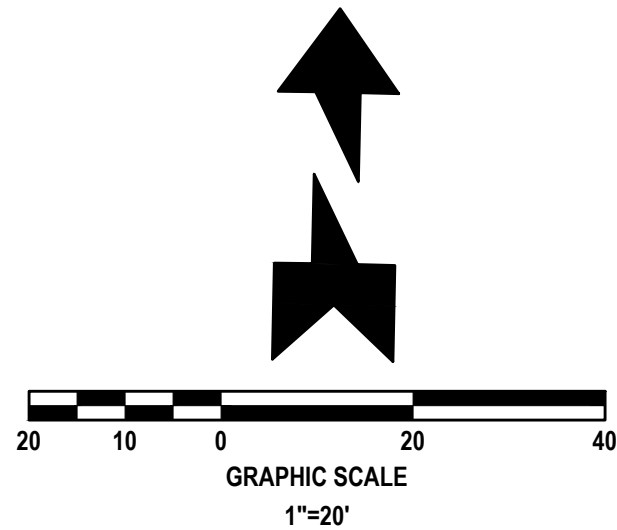
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PROJECT No:	2021-25
DATE:	JANUARY 2022
DESIGN BY:	HHN
DRAWN BY:	NWS
CHECKED BY:	HHN
SCALE:	AS SHOWN

DRAWING NUMBER
5



SITE DATA CALCULATIONS:

PROPERTY INFORMATION	
FUTURE LAND USE (FLU)	(IND) INDUSTRIAL
ZONING	(L-1) LIGHT INDUSTRIAL
FLOODZONE	X
BUILDING USES	INDUSTRIAL FLEX SPACE

REQUIRED SETBACKS			
	BUILDING	FEET	BUFFER
FRONT (NINTH STREET)	40		10
REAR (WEST)	10		10
SIDE (NORTH)	10		10
SIDE/CORNER (SOUTH)	20		10

PROPOSED SITE COVERAGE			
AREA TYPE	SF	ACRE	% OF SITE
BUILDING	11,999	0.275	33.0%
ASPHALT PAVEMENT	9,577	0.220	28.4%
CONCRETE / SIDEWALKS	1,685	0.039	4.6%
TOTAL SITE	36,336	0.834	100.0%
TOTAL IMPERVIOUS	23,281	0.534	64.0%
TOTAL OPEN SPACE	13,075	0.300	36.0%

PARKING REQUIREMENTS				
BUILDING USE	A. SF/UNITS	B. SPACES	C. PER SF	D. REQ. SPACES
INDUSTRIAL	11,999	1	500	24

PROVIDED PARKING		
STANDARD SPACES	%	PROV. SPACES
STANDARD SPACES	96%	23
ADA SPACES	4%	1
TOTAL PROVIDED SPACES		24

BUILDING		
SIZE	11,999 SF	MAX ALLOWABLE
STORY	1-STORY	
FAR	0.33 (33%)	0.65 (65%)
HEIGHT	23'-1"	35 FT

GENERAL NOTES:

- CITY OF BUNNELL BUILDING PERMITS ARE REQUIRED FOR BUILDING, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND MONUMENT SIGN. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, SHOP DRAWINGS, ETC.).
- PERMITS ARE REQUIRED FOR: CONCRETE SLAB AT SOUTH SIDE OF BUILDING AND, DUMPSTER ENCLOSURE. CONTACT THE BUILDING DIVISION IF THERE ARE QUESTIONS OR CONCERNS ABOUT PERMIT REQUIREMENTS FOR WORK NOT SPECIFICALLY MENTIONED HEREIN.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).

PAVEMENT MARKING NOTES:

- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINT SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 17352.
- ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH INDEX NO. 17301 AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 11860, 11863, 17302, 17344 AND 17346.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED USING 3M BRAND "SCOTCHLITE" SHEETING (ENGINEER GRADE) ON MINIMUM .08 GA ALUMINUM BLANKS. ALL 36"x48" SIGNS SHALL BE .100 GA MINIMUM AND SHALL BE INSTALLED USING 3"x12" ROUND ALUMINUM POST. ALL STOP SIGNS SHALL BE 36" OCTAGON INSTALLED ON 12.3 LBS/FT "U" CHANNEL POST RAIL STEEL ONLY OR 3"x12" ROUND ALUMINUM POSTS. "U" CHANNEL POSTS MAY BE USED FOR SIGNS SMALLER THAN 36"x36". ALL SPEED LIMIT SIGNS SHALL BE 24"x30".
- ALL STRIPING IN THE RIGHT OF WAY MUST BE INSTALLED IN ACCORDANCE WITH FDOT INDEX #17346.

PAVING LEGEND

- ASPHALT PAVEMENT: 1.5" SP-9.5 (TL-C) WITH TACK COAT PER FDOT SPECIFICATIONS; 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS); 12" STABILIZED SUBBASE (BR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- * ALTERNATE 12" STABILIZED SUBBASE: 6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
- * ALTERNATE PAVEMENT TO ASPHALT IS CONCRETE PAVEMENT

- STANDARD CONCRETE PAVEMENT: 6" CONCRETE (4,000 P.S.I. @ 28 DAYS) WITH FIBERMESH REINFORCEMENT; 12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS); 10"x10" CONTROL JOINTS, 2" SAW CUT DEPTH; SEE DETAIL, SHEET No. 10.

LEGEND

- HEADER CURB (SEE CITY DETAIL SHEET 11)
- TRANSITION LOCATION FROM HEADER CURB TO FLUSH

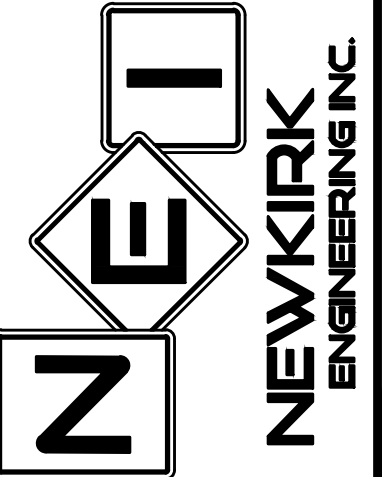
STRIPING LEGEND:

- 1 6" SOLID WHITE LINE (TYPICAL)
- 2 24" WHITE STOP BAR (THERMOPLASTIC)
- 3 6" SOLID DOUBLE YELLOW LINE (TYPICAL)

REVISIONS

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4/18/22	CITY COMMENTS

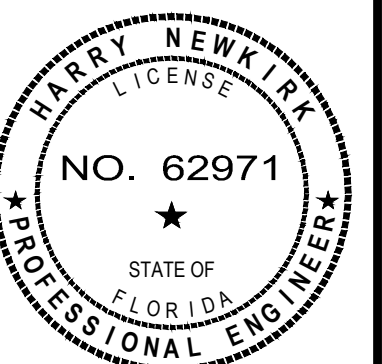
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SITE LAYOUT PLAN
LOT 6 PALM INDUSTRIAL PARK
 NINTH STREET
 BUNNELL, FL 32110

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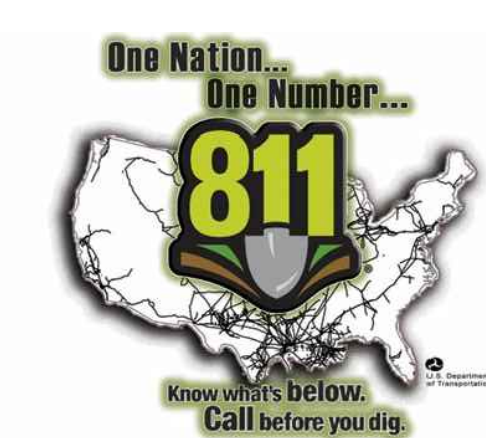
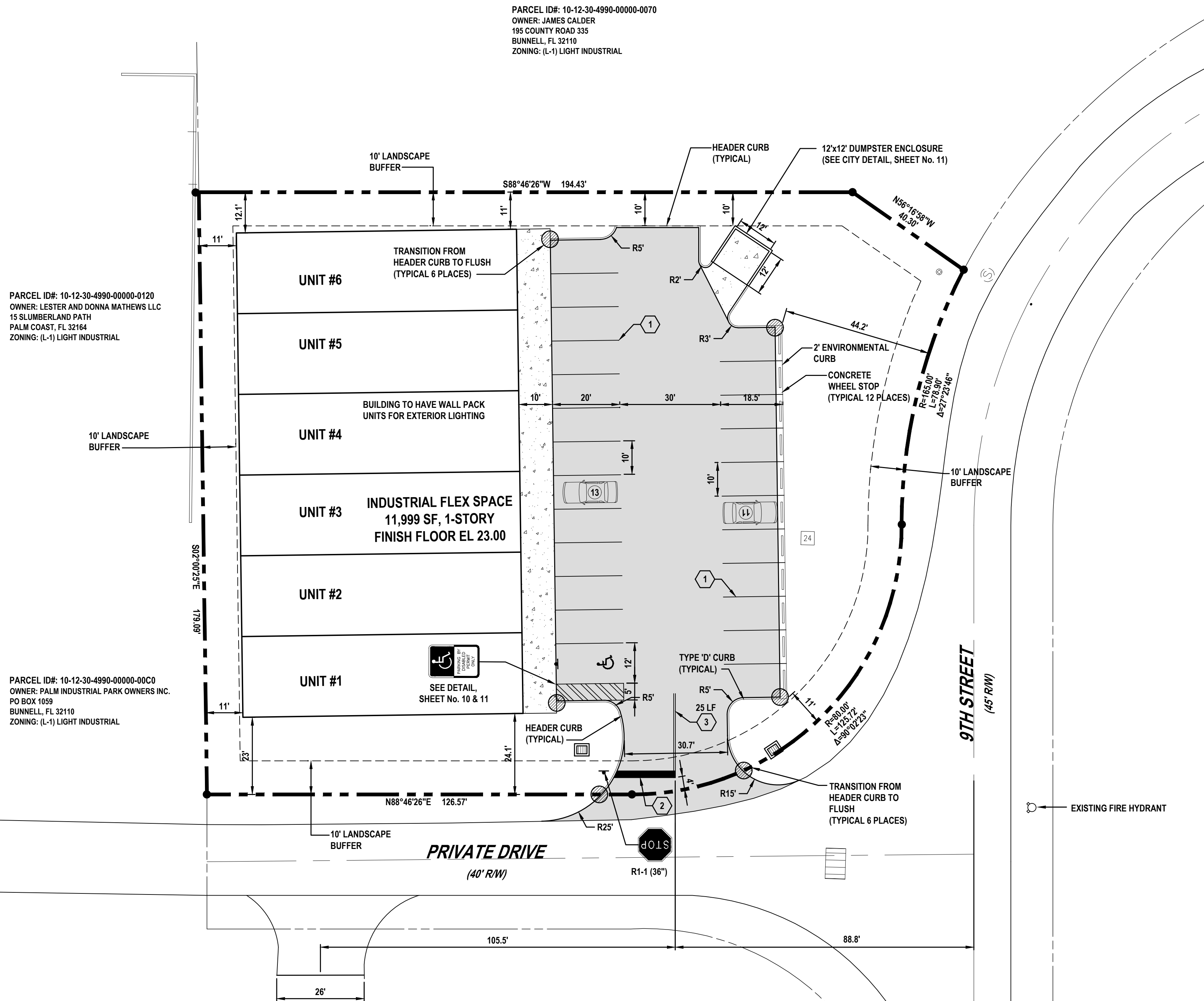
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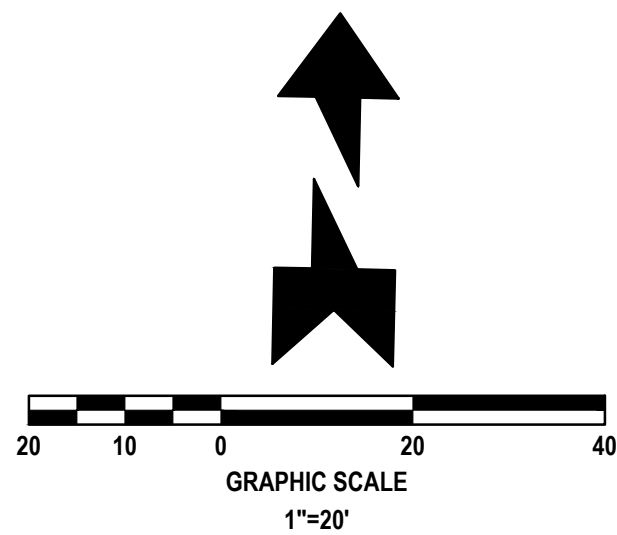
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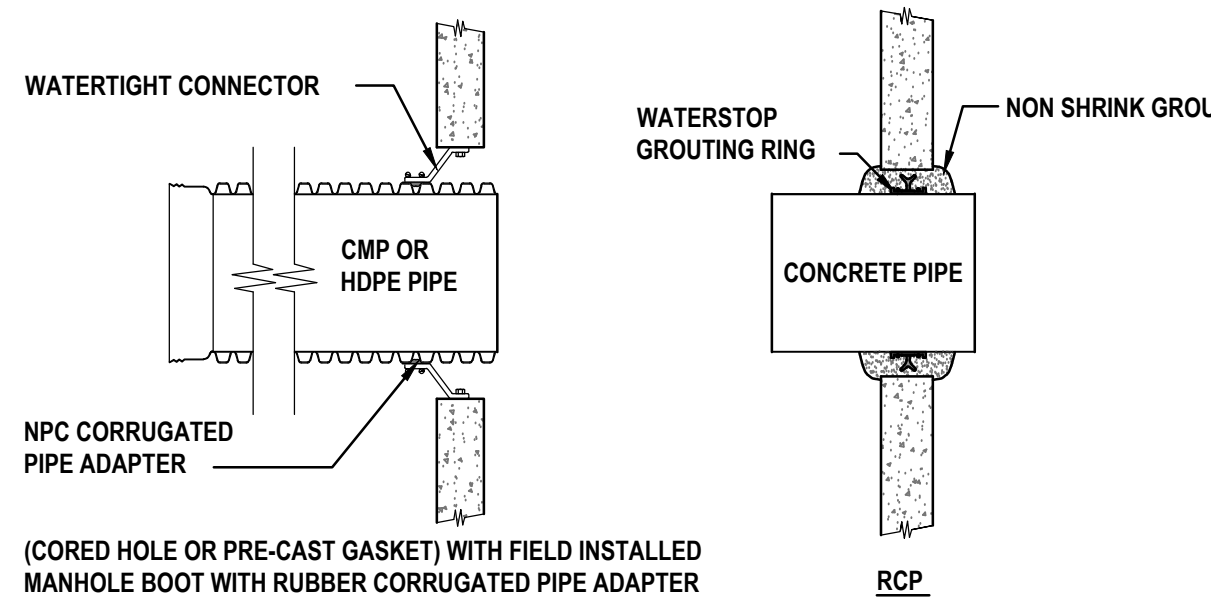
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CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.



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 CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH EXISTING UNDERGROUND UTILITIES, GAS MAINS AND OVERHEAD ELECTRIC IN THE RIGHT-OF-WAY.

DRAINAGE PIPE MINIMUM SLOPE REQUIREMENTS

PIPE SIZE (IN)	SELF-CLEANSING VELOCITY (FPS)	MANNINGS (N)	RADIUS (FT)	CROSS-SECTIONAL AREA (FT ²)	WETTED PERIMETER (FT)	MINIMUM SLOPE (FT/FT)
15	3.0	0.012	0.6	1.227	3.9269	0.0028
18	3.0	0.012	0.8	1.767	4.7123	0.0021



(CORED HOLE OR PRE-CAST GASKET) WITH FIELD INSTALLED MANHOLE BOOT WITH RUBBER CORRUGATED PIPE ADAPTER
WATER-TIGHT PIPE TO MANHOLE CONNECTION DETAIL PRECAST HOLES REQUIRED
 NOT TO SCALE

GRADING LEGEND:

- 85 — EXISTING CONTOUR
- 85 — PROPOSED CONTOUR
- ~> DRAINAGE FLOW ARROW
- ⊕ 21.88 EXISTING SPOT ELEVATION
- ⊕ 32.00 PROPOSED SPOT ELEVATION

BENCHMARK INFORMATION:

#1 FLAGLER COUNTY BRASS DISK "S 223" ELEVATION = 18.98'

VERTICAL DATA
 VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) AS REFERENCED TO A LOCAL BENCHMARK PUBLISHED BY NATIONAL GEODETIC SURVEY.

GENERAL GRADING NOTES:

- CROSS SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL NOT EXCEED 1:48 IN ACCORDANCE WITH SECTION 502.4 OF FACBC.
- THE MAXIMUM ELEVATION CHANGE AT THE ENTRANCE DOOR MAY NOT EXCEED 1/2 INCH.
- ALL SIDEWALK LANDINGS SHALL HAVE SLOPES NO GREATER THAN 1/8 INCH / 1 FOOT IN MANEUVERING SPACES AT ALL DOORWAYS.
- ALL SIDEWALKS SHALL HAVE A 1 PERCENT CROSS SLOPE.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEY OR UTILIZING GEODETTIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR.

GENERAL EARTHWORK NOTES:

- IF ANY MUCK OR MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- ALL FILLING IS TO BE PERFORMED IN ONE-FOOT LIFTS. THE COMPACTION REQUIREMENT IS 98% FOR PAVED AREAS AND 95% FOR UNPAVED AREAS PER AASHTO T-180 MODIFIED PROCTOR TEST.
- TEMPORARY FILL STOCKPILING IS NOT PERMITTED IN LIFTS GREATER THAN SIX FEET.
- SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES.
- ONCE AN AREA IS SEEDDED OR SODDED, IT MUST BE MAINTAINED TO ALLOW THE GRASS TO GROW.
- ALL NON-PAVED AREAS MUST BE PLANTED, GRASSED, OR MULCHED.

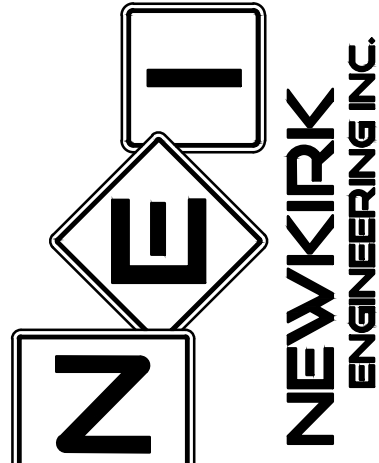
GENERAL DRAINAGE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO DRAINAGE SYSTEM AND SHALL RESTORE ANY DAMAGED STRUCTURES.
- ALL STORM PIPE SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE (RCP) PER PER FDOT SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MATERIAL AND STRUCTURES TO THE ENGINEER (NEWKIRK ENGINEERING, INC.) FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR TO PLACE FILTER FABRIC BETWEEN DRAINAGE STRUCTURES AND TOPS TO PREVENT SOIL INTRUSION. THE FABRIC SHALL BE PERIODICALLY CLEANED OF SAND A DEBRIS FABRIC SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING TREES, & ETC., WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFFSITE.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST PER FDOT SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY PER FDOT STANDARD SPECIFICATIONS AND MANUFACTURES SPECIFICATIONS RESPECTIVELY.
- ALL DRAINAGE STRUCTURES AND PIPES SHALL BE CLEANED OF SAND AT THE LAST STAGE OF CONSTRUCTION PRIOR TO THE FINAL INSPECTION.
- ALL STORM INLET GRATES SHALL BE STEEL (TRAFFIC RATED).

REVISIONS

DATE	DESCRIPTION
3/4/22	CITY COMMENTS
4/18/22	CITY COMMENTS
5/11/22	CITY COMMENTS

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GRADING AND DRAINAGE PLAN
LOT 6 PALM INDUSTRIAL PARK
 NINTH STREET
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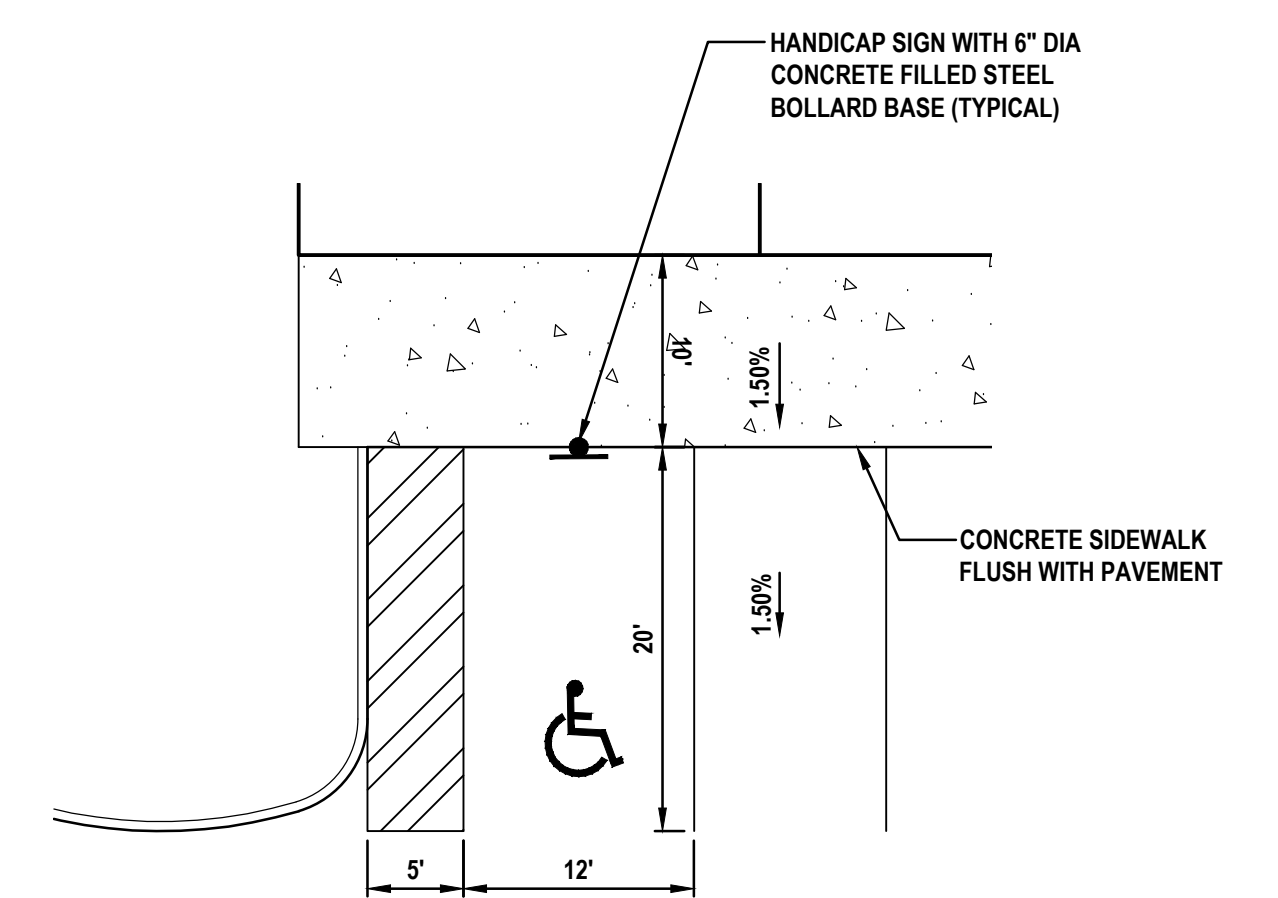
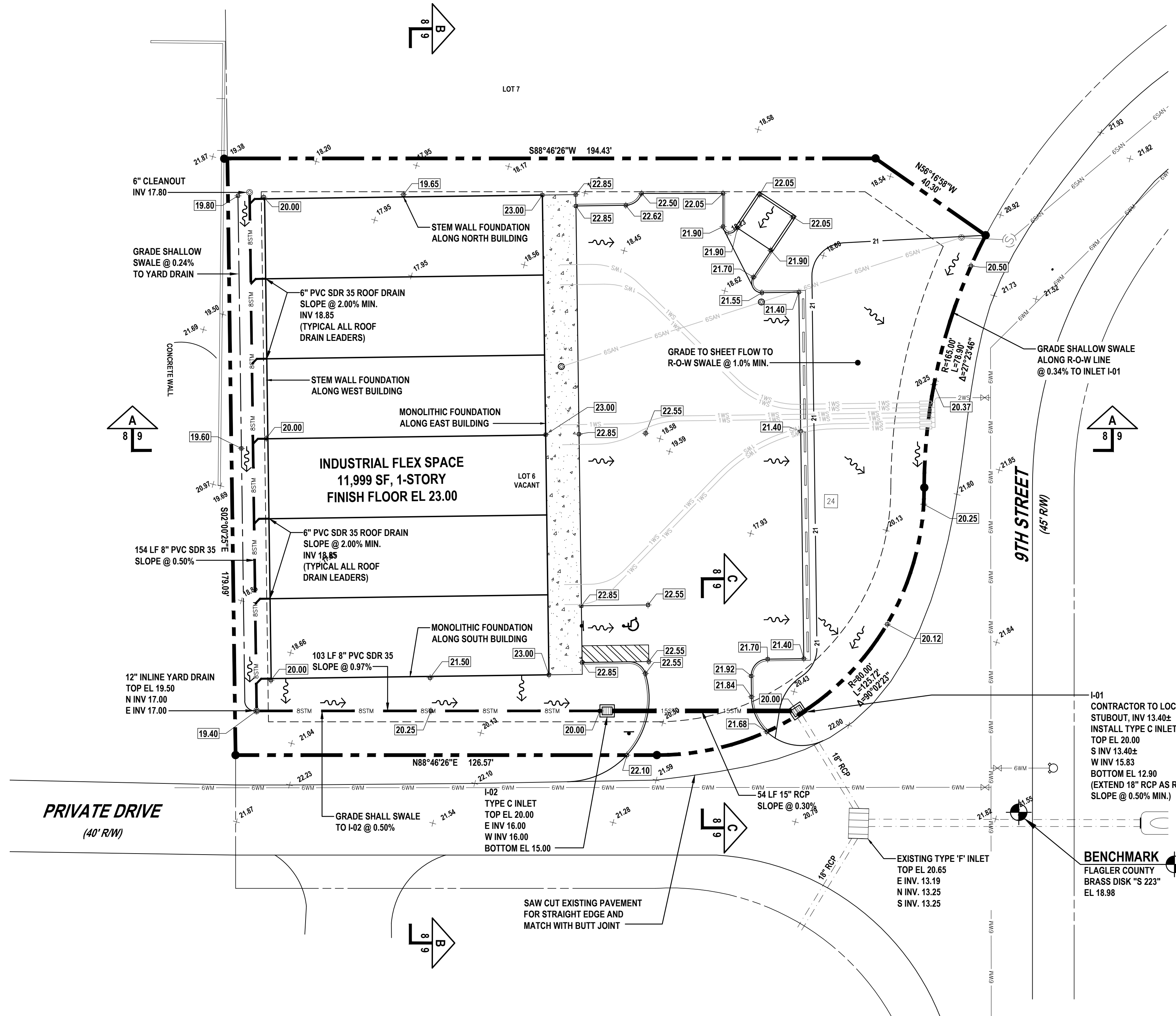
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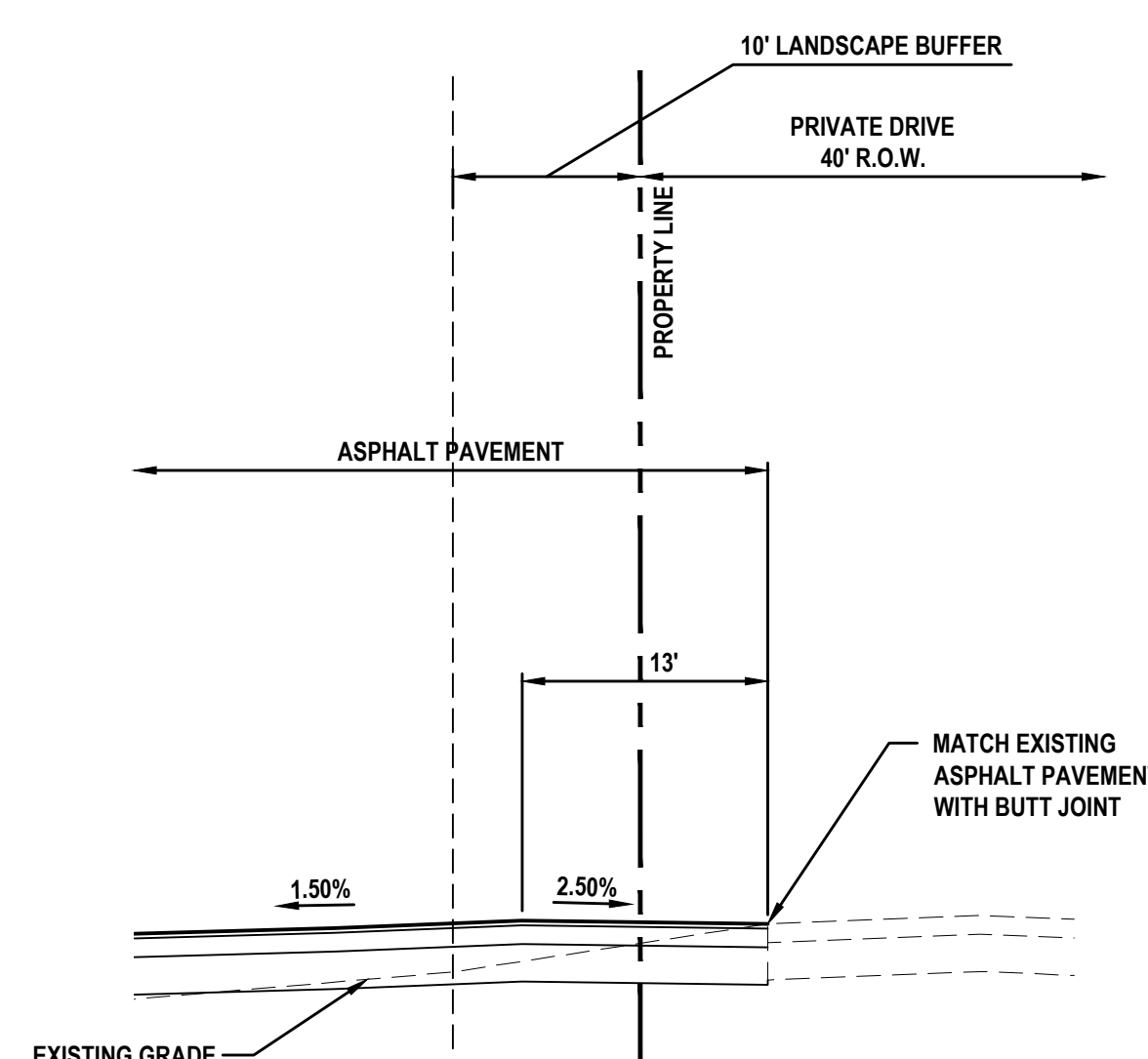
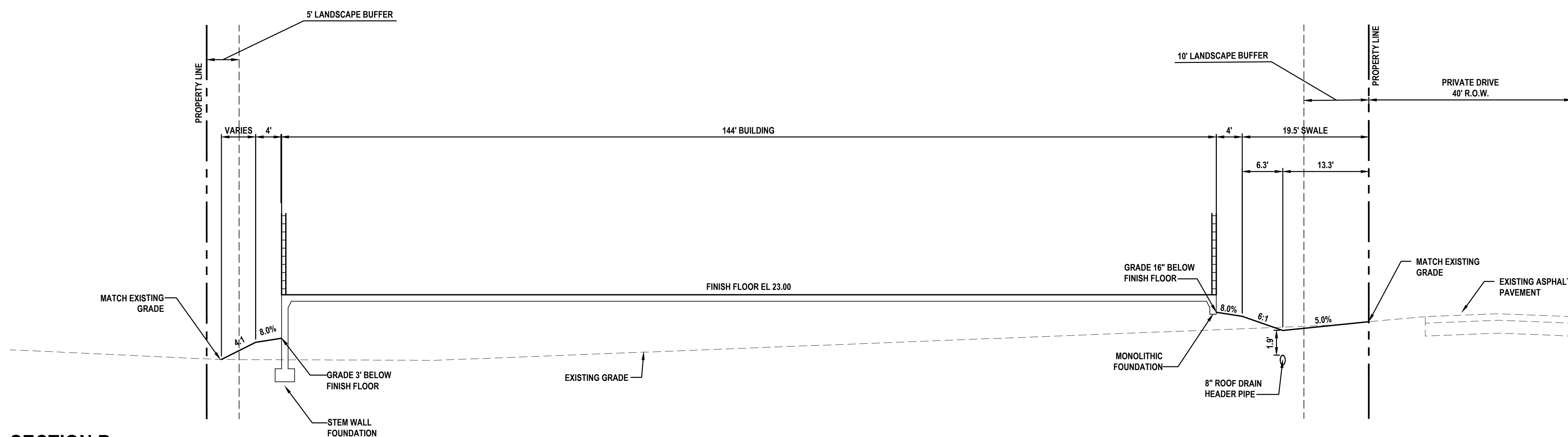
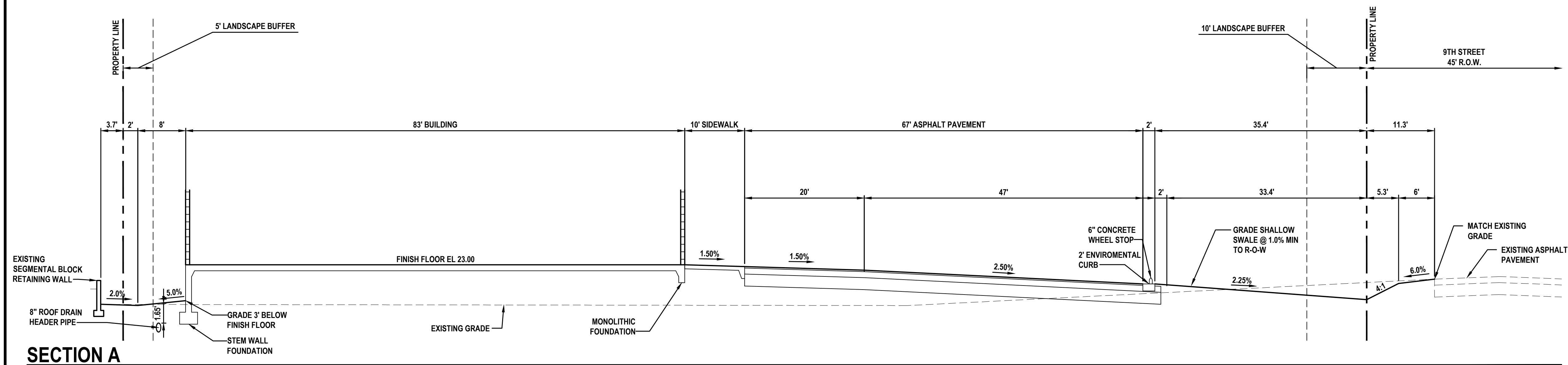
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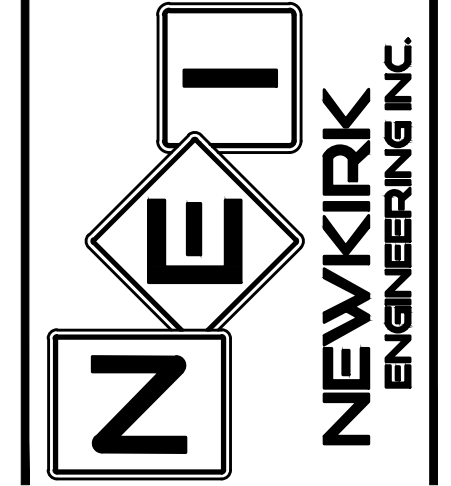


HANDICAP PARKING DETAIL
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REVISIONS	
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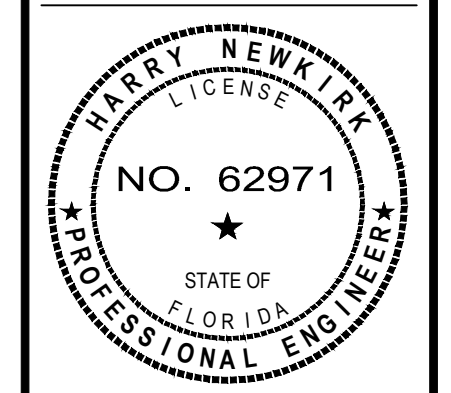
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CROSS SECTIONS
LOT 6 PALM INDUSTRIAL PARK
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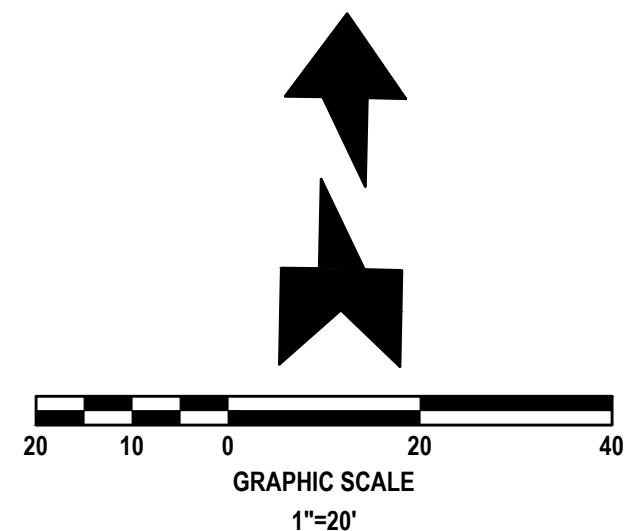
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WARNING !!
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PROPOSED UTILITY LEGEND

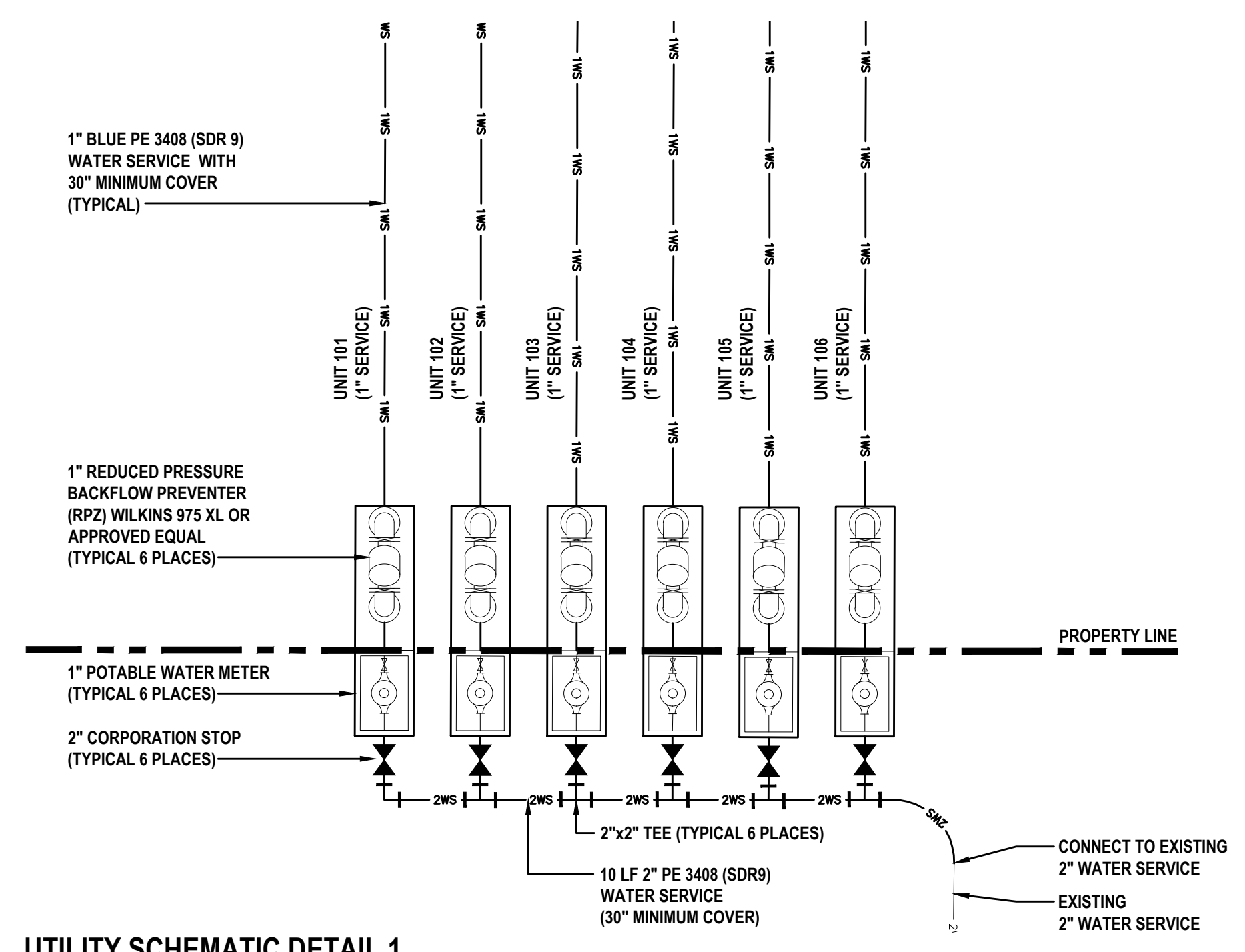
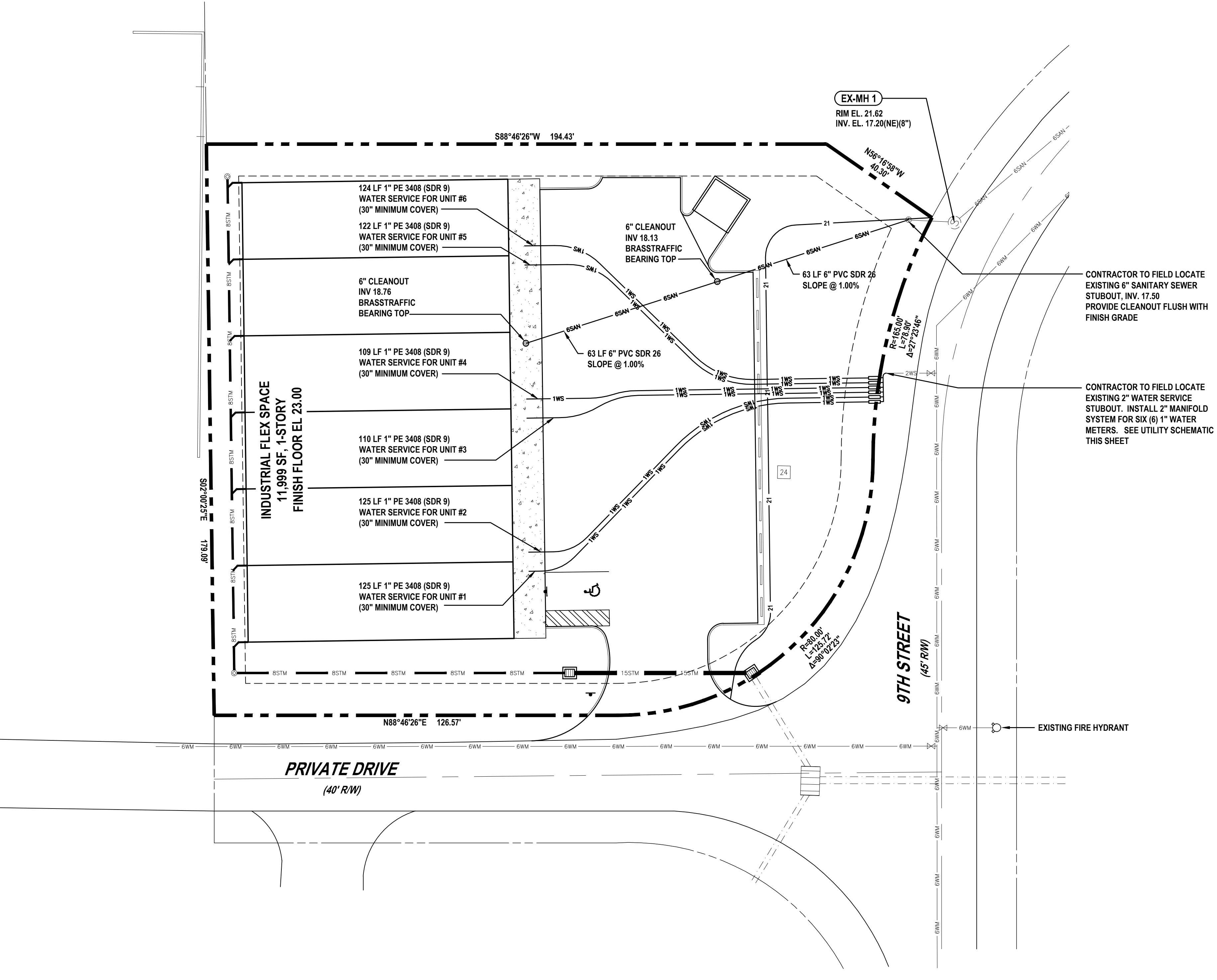
- FM — FORCE MAIN (# INDICATES SIZE)
- SAN — SANITARY SEWER (# INDICATES SIZE)
- PWS — POLYETHYLENE WATER SERVICE (# INDICATES SIZE)
- WMA — WATER MAIN (# INDICATES SIZE)
- GAS — GAS SERVICE (# INDICATES SIZE)
- UEC — UNDERGROUND ELECTRICAL CONDUIT (# INDICATES SIZE)

GENERAL WATER NOTES:

1. THE CITY OF BUNNELL WATER UTILITY DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
2. ALL WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDEP REGULATIONS AND THE CITY OF BUNNELL UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
3. CONTRACTOR IS TO VERIFY THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER.
4. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ANY EXISTING PAVEMENT, SIDEWALK, CURBING, UTILITIES AND DRAINAGE SYSTEMS DAMAGED DURING CONSTRUCTION. ALL DAMAGED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
5. LOCATION OF TELEPHONE, T.V. CABLE AND ELECTRICAL SERVICE CONNECTIONS TO BE DETERMINED BY APPROPRIATE UTILITIES PERSONNEL IN COOPERATION WITH CONTRACTOR.
6. ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
7. TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE CITY WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T180).
8. WATER SERVICES FROM 3/4" TO 2" POLYETHYLENE (ENDOTRACE) WITH 30" MINIMUM COVER.
9. WATER MAIN FROM 4" TO 12" SHALL BE PVC CLASS 150 (DR 18) WITH 36" MINIMUM COVER.
10. ALL WATER AND FIRE SERVICES ARE REQUIRED TO HAVE A HARD BODY GATE VALVE OFF THE MAIN LINE.
11. ALL VALVES SHALL BE BOLTED TO TEES.
12. ALL POTABLE WATER PIPE SHALL HAVE "NSF POTABLE WATER" IMPRINTED ON THE PIPE.
13. ALL WATER MAIN FITTINGS 4 INCHES OR LARGER SHALL BE CEMENT LINED DIP.
14. A TAPPING CONTRACTOR ACCEPTABLE TO THE CITY OF BUNNELL WILL BE REQUIRED FOR TAPS.
15. THE CONTRACTOR SHALL MAKE ALL ATTEMPTS TO LOCATE BURIED UTILITIES AND NOTIFY THE UTILITY COMPANIES 48 HR. PRIOR TO CONSTRUCTION.
16. UTILITY TRENCH CONSTRUCTION SHALL CONFORM TO CITY OF BUNNELL AND OSHA REQUIREMENTS.
17. IN THE CASE WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE CITY OF BUNNELL UTILITY DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED SOLVENT.

GENERAL SEWER NOTES:

1. CITY OF BUNNELL SHALL BE NOTIFIED PRIOR TO ANY SEWER CONSTRUCTION.
2. ALL SEWER CONSTRUCTION MUST COMPLY WITH FDEP REGULATIONS AND THE CITY OF BUNNELL UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
3. ALL SANITARY SEWER LINES SHALL BE PVC SDR 26 DUE TO THE MINIMUM AMOUNT OF COVER. WATER LINES, RECLAIMED LINES AND STORM DRAINAGE CROSSINGS SHALL FOLLOW THE C-900 OR CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND FDEP REQUIREMENTS.
4. SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY CITY OF BUNNELL.
5. THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH.
6. ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES WILL NOT BE ACCEPTED. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY, COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE CITY OF BUNNELL.
7. SANITARY SEWER PIPE SHALL BE PVC SDR 26.
8. EXCAVATION AND BACKFILL: THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING OF EXCAVATION WORK IN ORDER TO PROVIDE FOR THE SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE CITY OF BUNNELL, THE DESIGN ENGINEER, AND THE DEVELOPER.
9. ALL TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO MINIMUM COMPACTION OF (95) PERCENT OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED PROCTOR TEST.
10. ALL TESTING REQUIRED BY THE CITY SHALL BE PAID FOR BY THE CONTRACTOR.
11. GRAVITY MAINS MUST HAVE A TELEVISED INSPECTION. A VIDEO INSPECTION FORM MUST BE FAXED TO THE CITY OF BUNNELL WASTEWATER COLLECTION DEPARTMENT 48 HOURS PRIOR TO VIDEO INSPECTION. A CITY INSPECTOR MUST BE PRESENT.
12. SEWER CLEANOUT LOCATED ON PAVEMENT AND SIDEWALK AREA SHALL BE TRAFFIC BEARING FLAT TOP BRASS CAP.
13. ALL GREASE TANKS SHALL HAVE A MINIMUM CAPACITY OF 1,250 GALLONS.
14. PLUMBING CONTRACTOR SHALL INSTALL TANK AND COORDINATE PIPE INVERTS TO BUILDING WITH UTILITY CONTRACTOR.

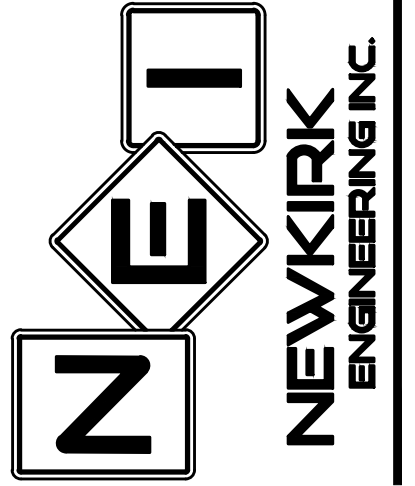


UTILITY SCHEMATIC DETAIL 1
 NOT TO SCALE

REVISIONS

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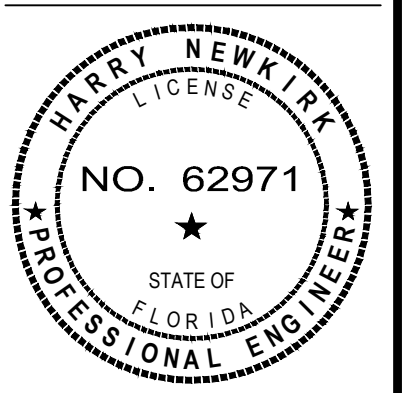
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UTILITY PLAN
LOT 6 PALM INDUSTRIAL PARK
 NINTH STREET
 BUNNELL, FL 32110

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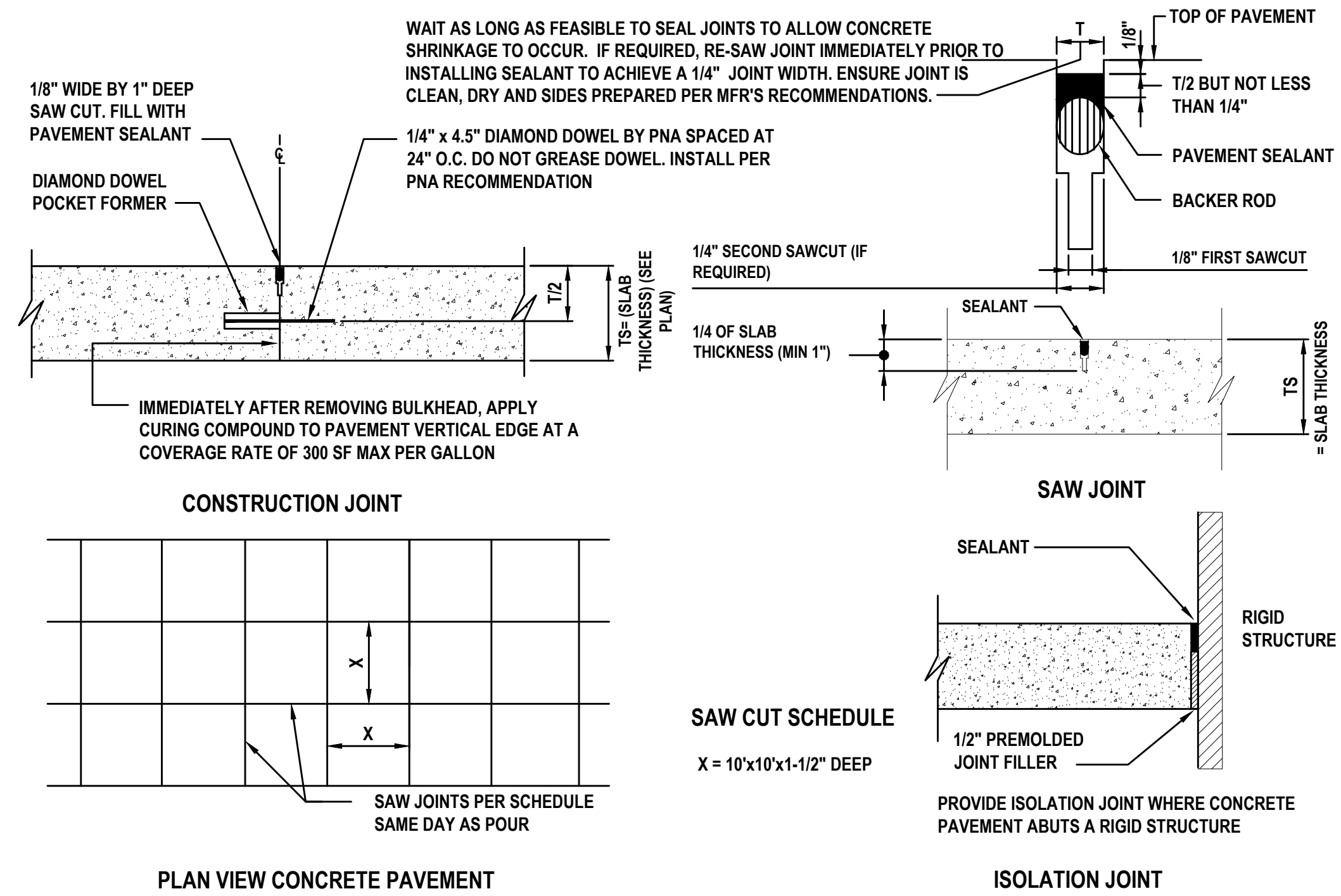
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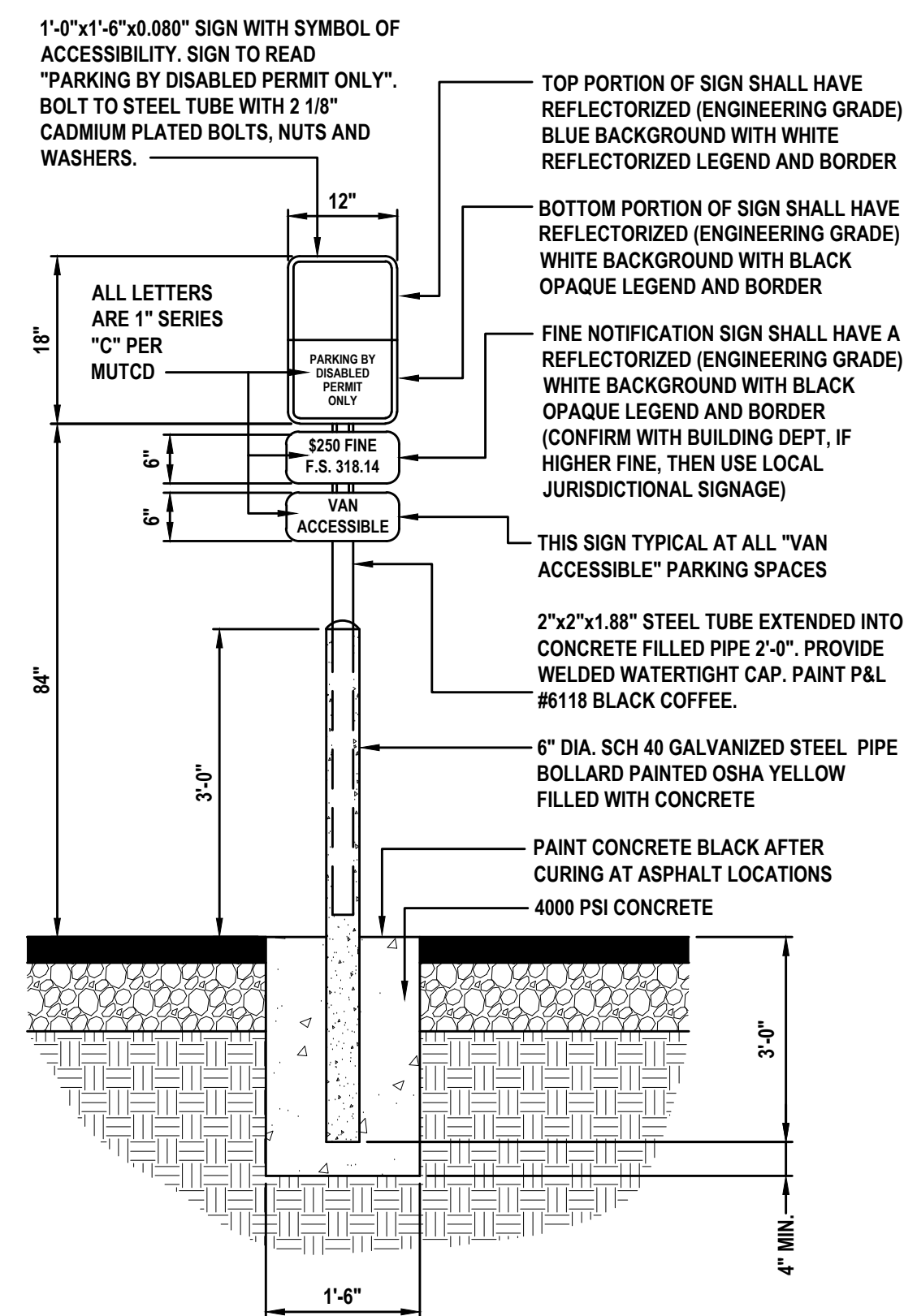
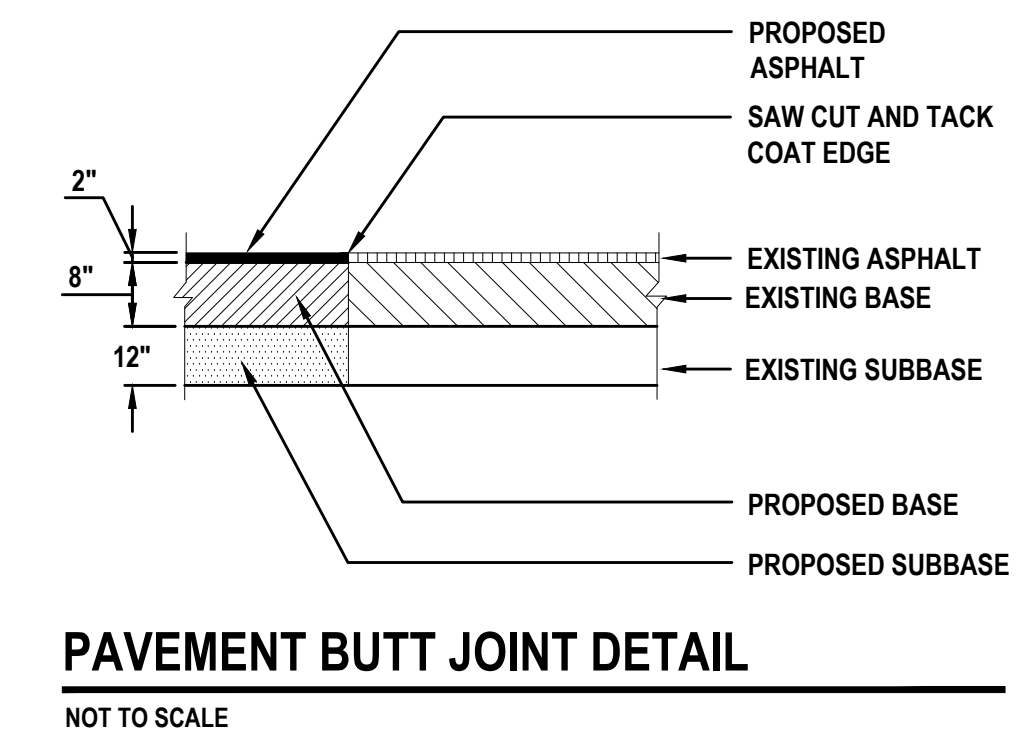
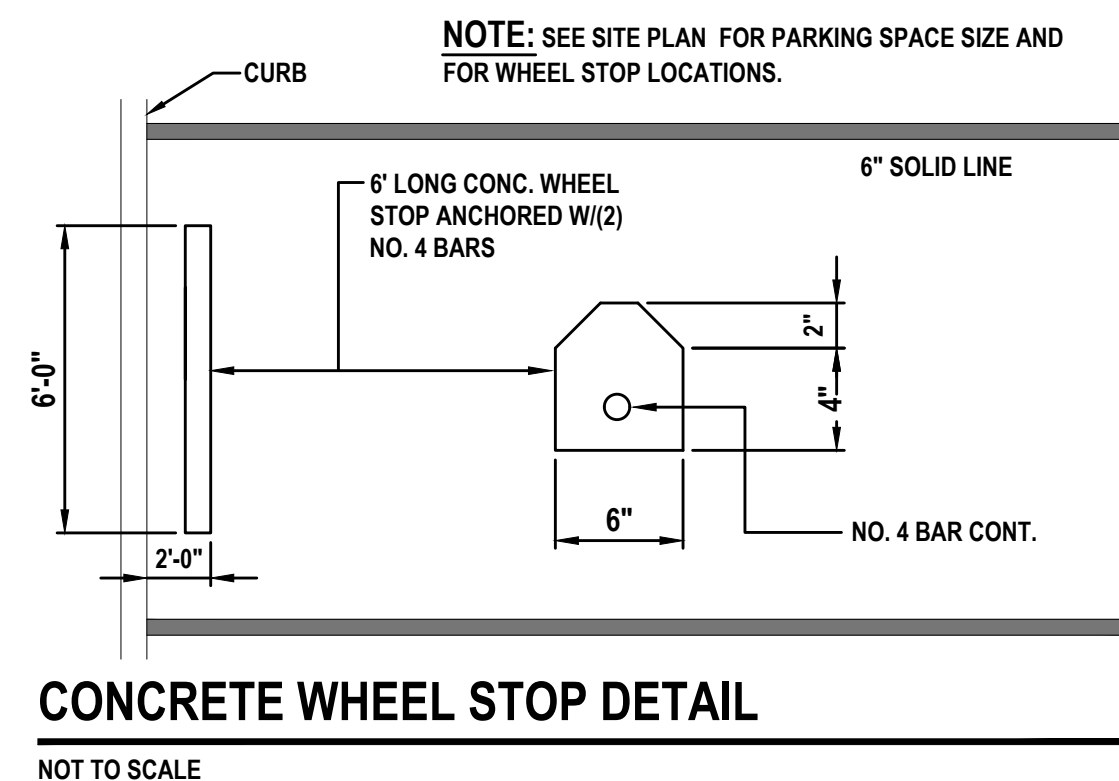
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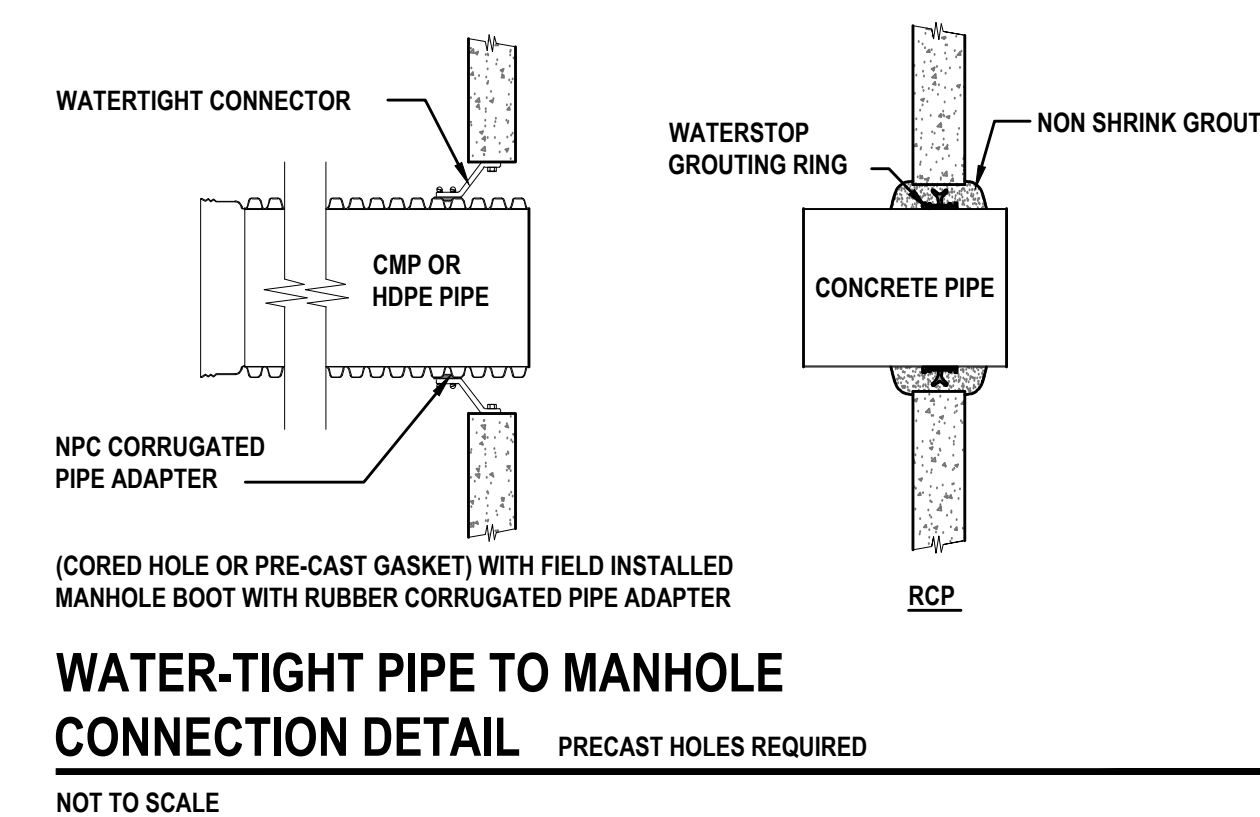
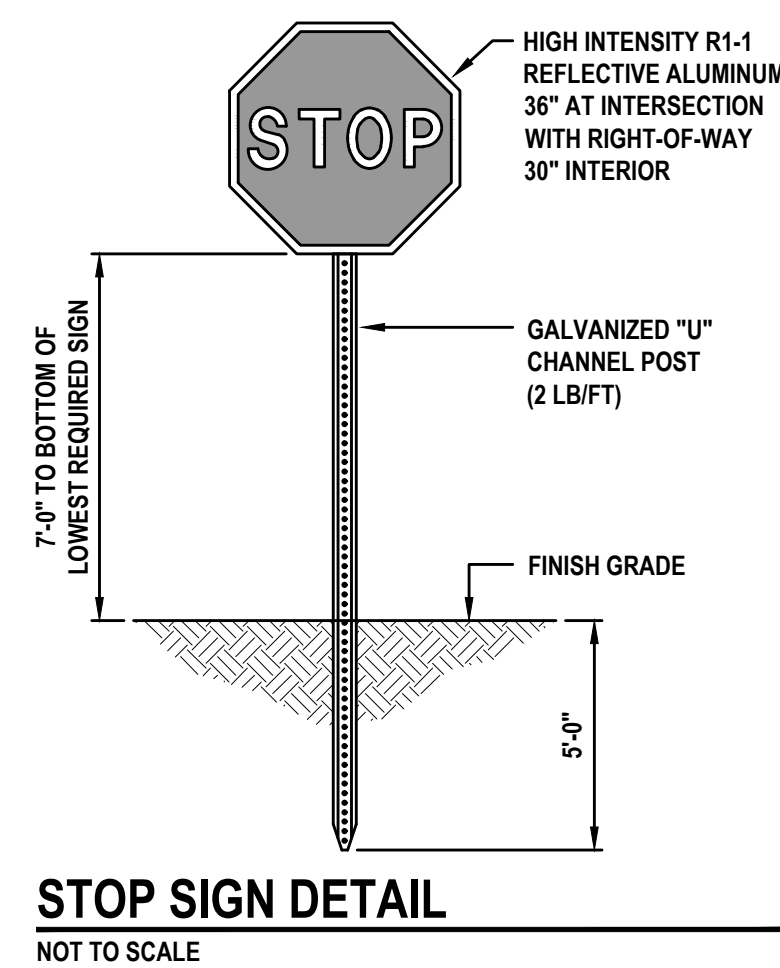


CONCRETE PAVEMENT JOINT DETAILS
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- NOTE:
1. PARKING SPACE IDENTIFICATION SIGN SHALL CONFORM WITH CURRENT STATE, LOCAL AND FEDERAL CODES AND REGULATIONS.
 2. ALL SIGNS SHALL BE DESIGNATED TO WITHSTAND 130 MPH WIND SPEED.

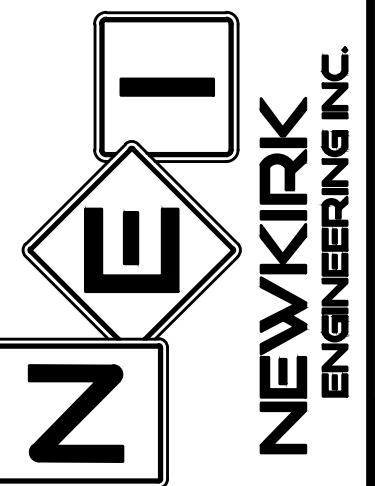
HANDICAP PARKING SIGN
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REVISIONS

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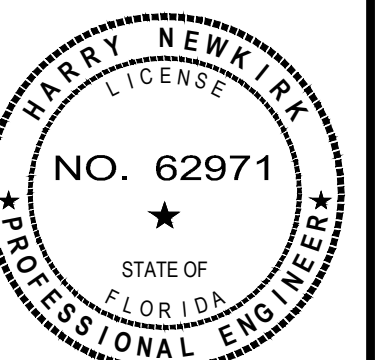
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MISCELLANEOUS
DETAILS AND NOTES
LOT 6 PALM INDUSTRIAL PARK
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BUNNELL, FL 32110

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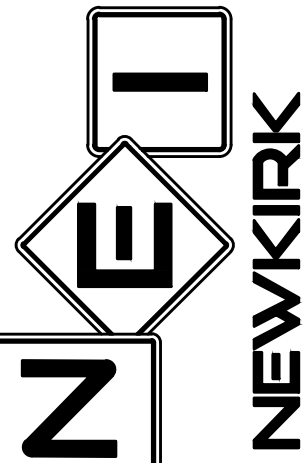
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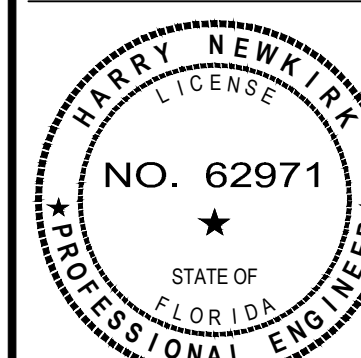
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CITY DETAILS AND NOTES
LOT 6 PALM INDUSTRIAL PARK
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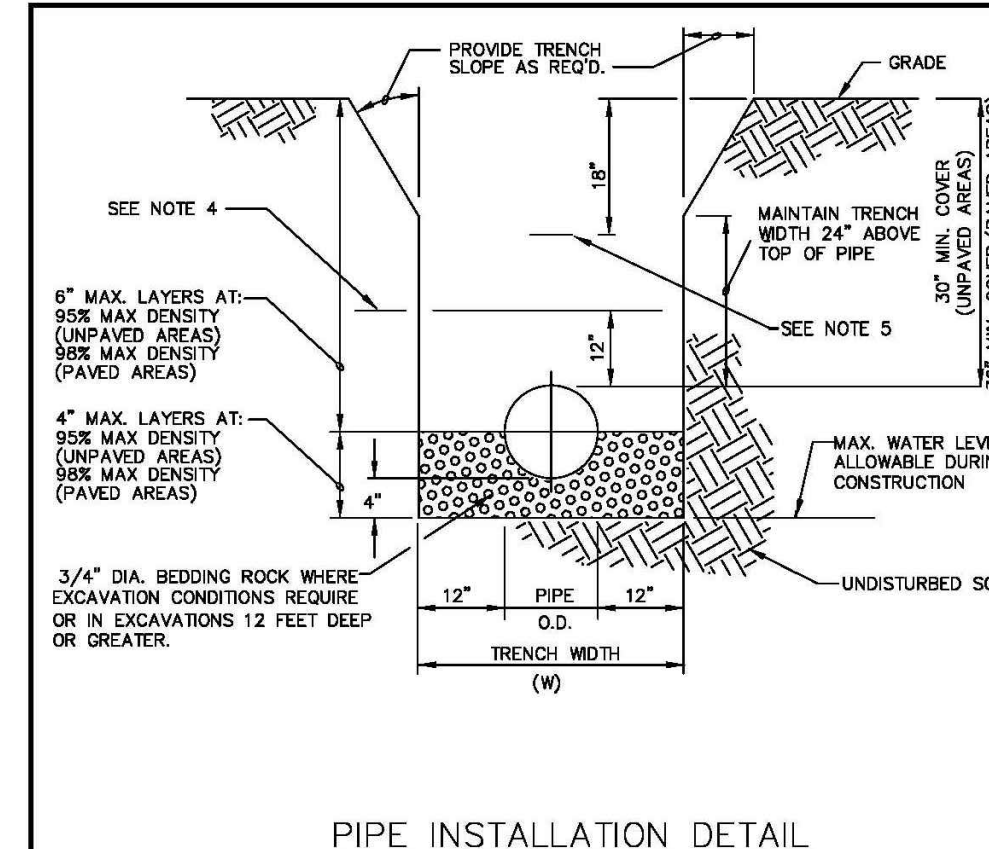
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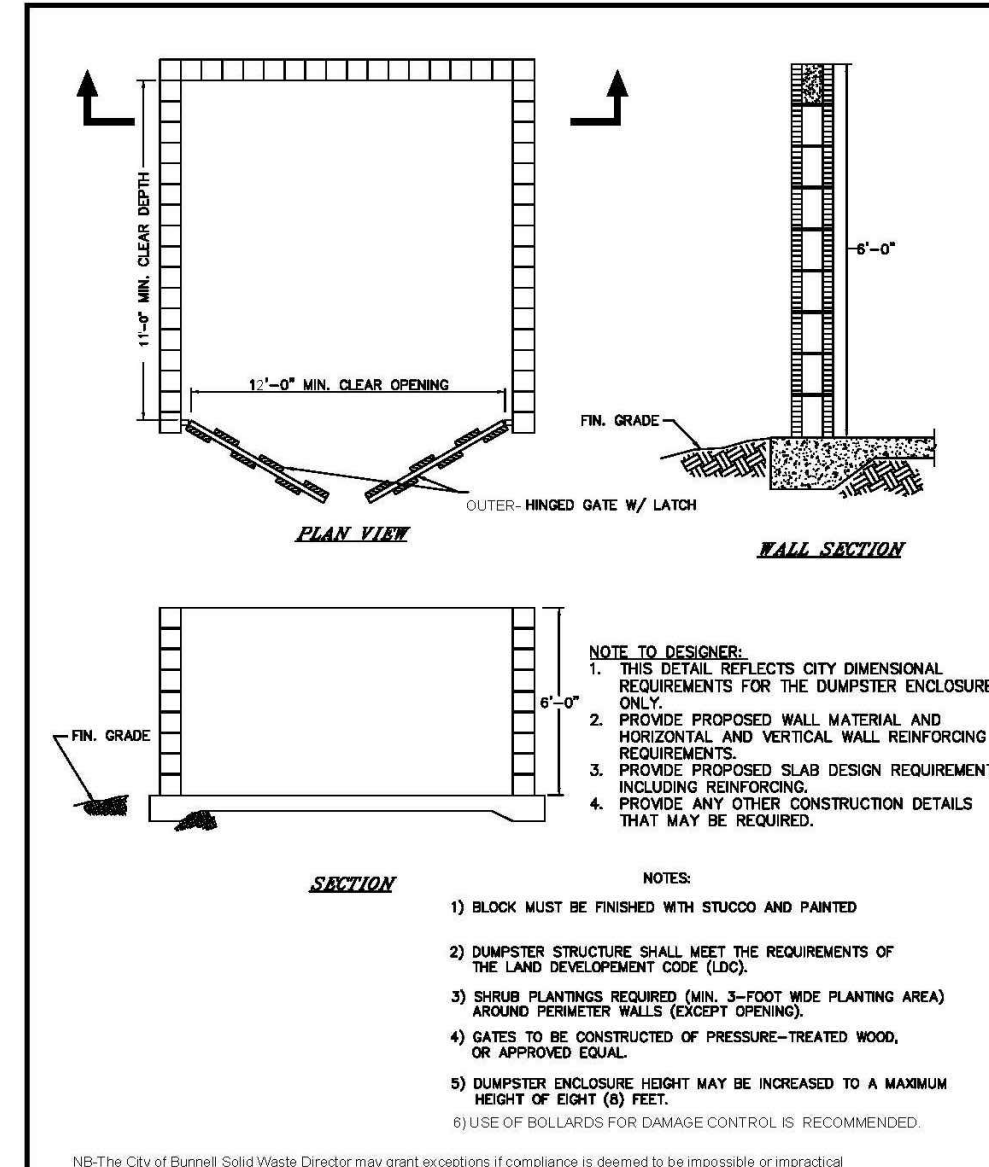
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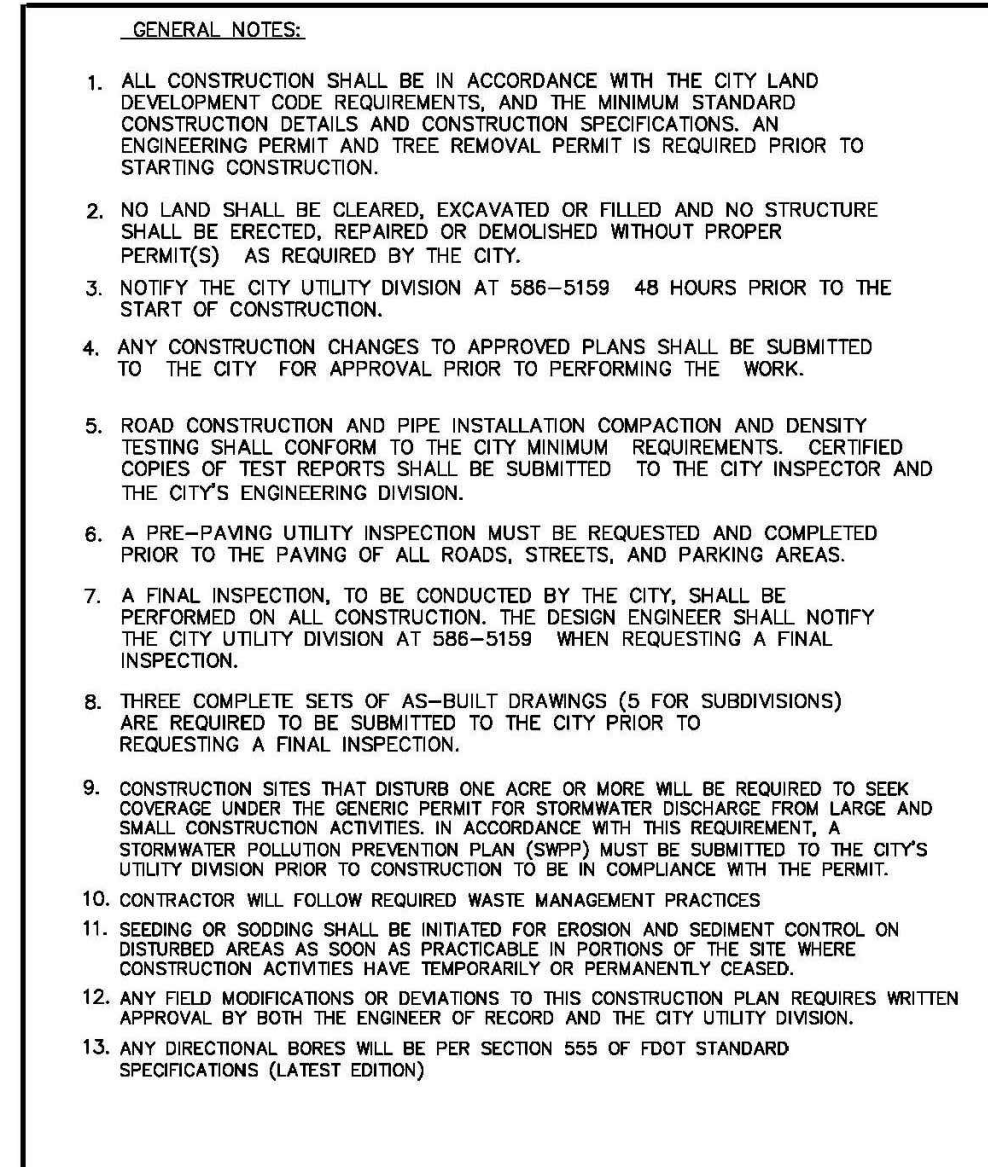
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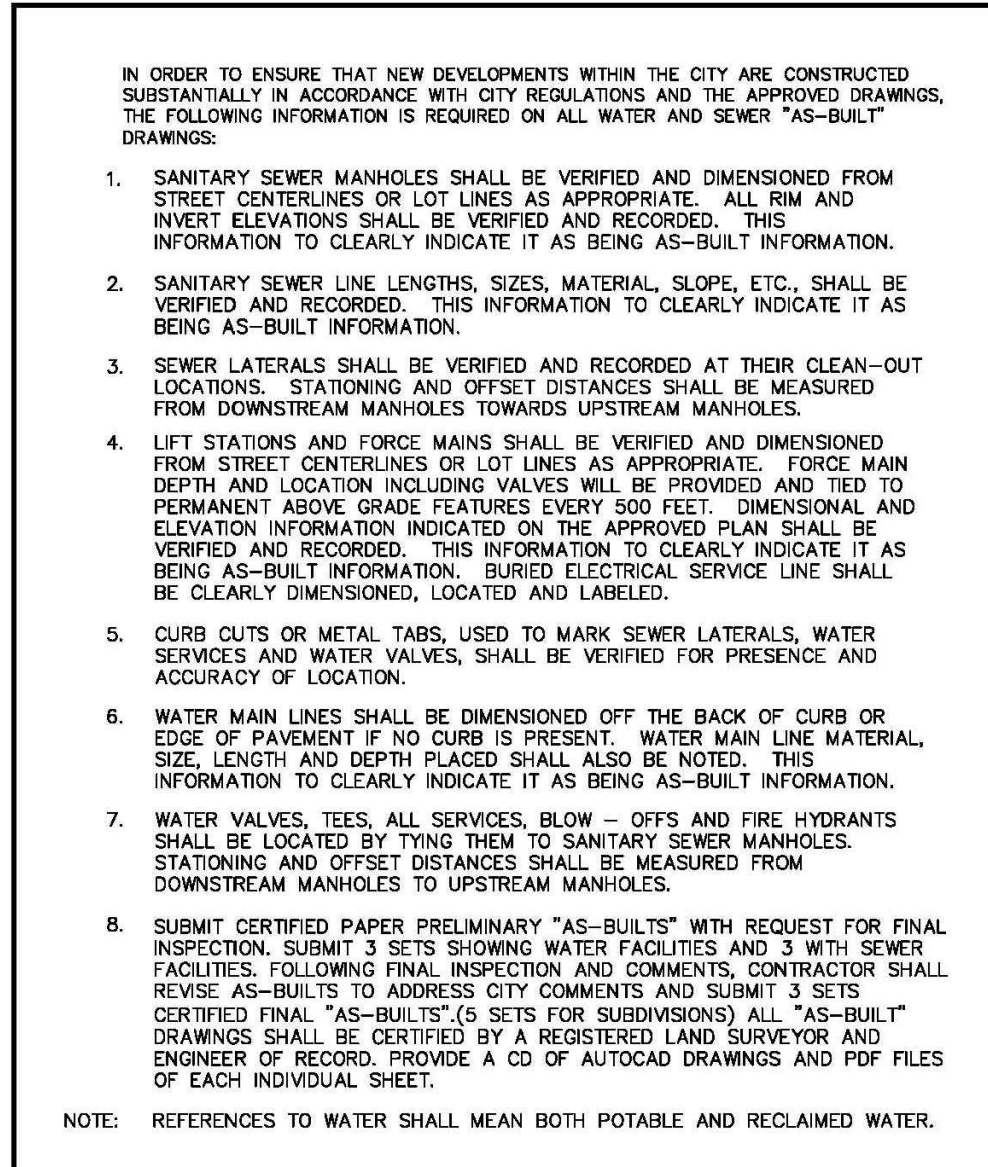
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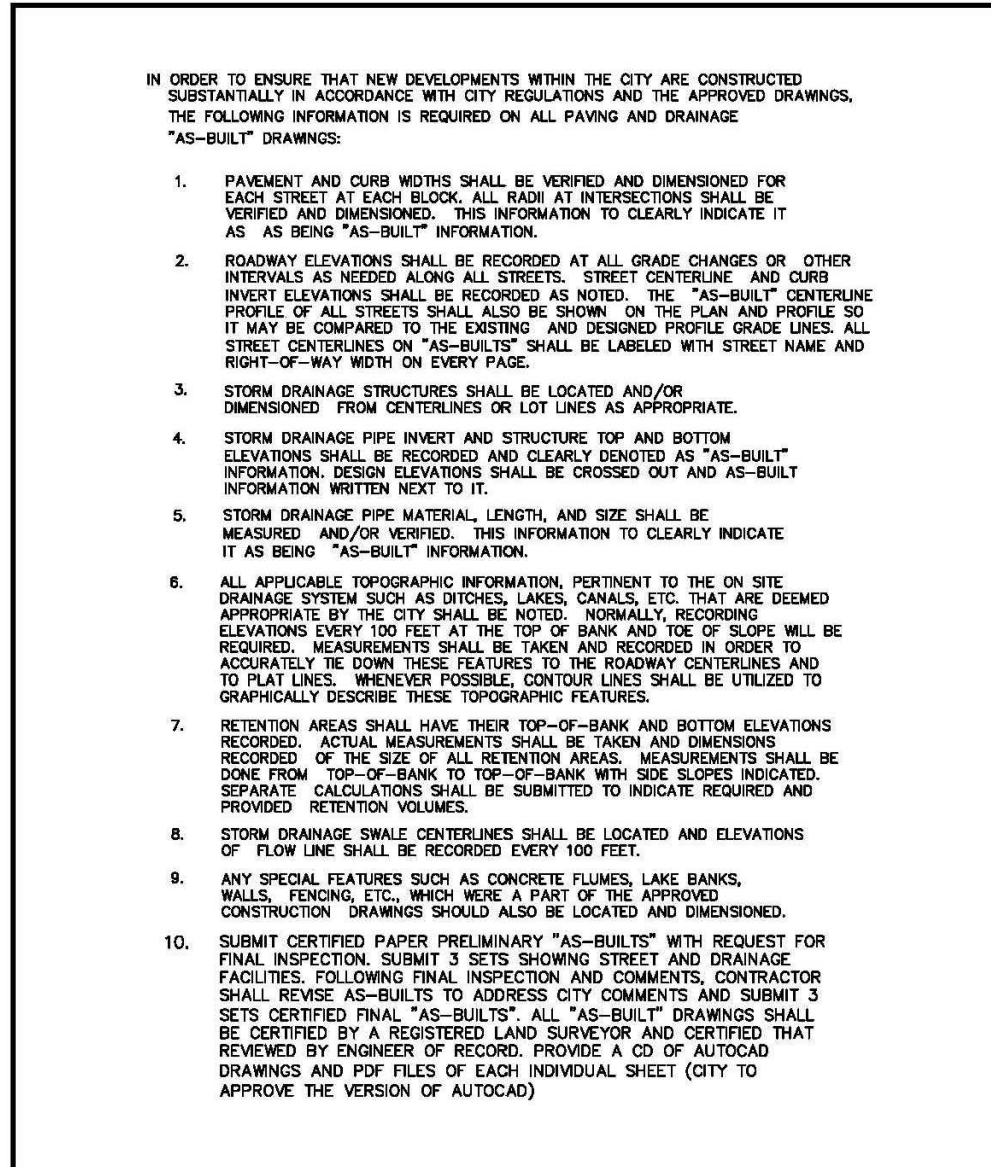
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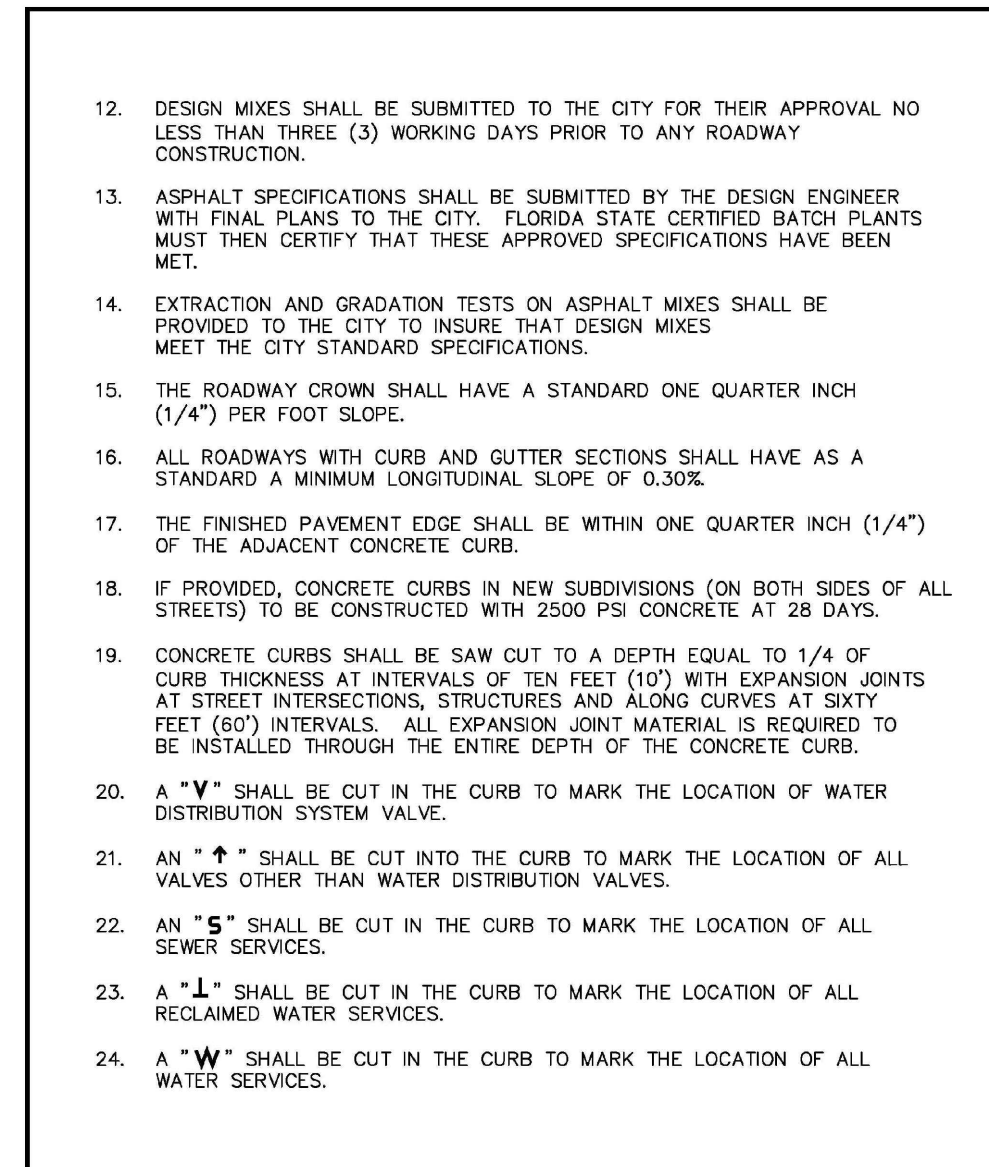
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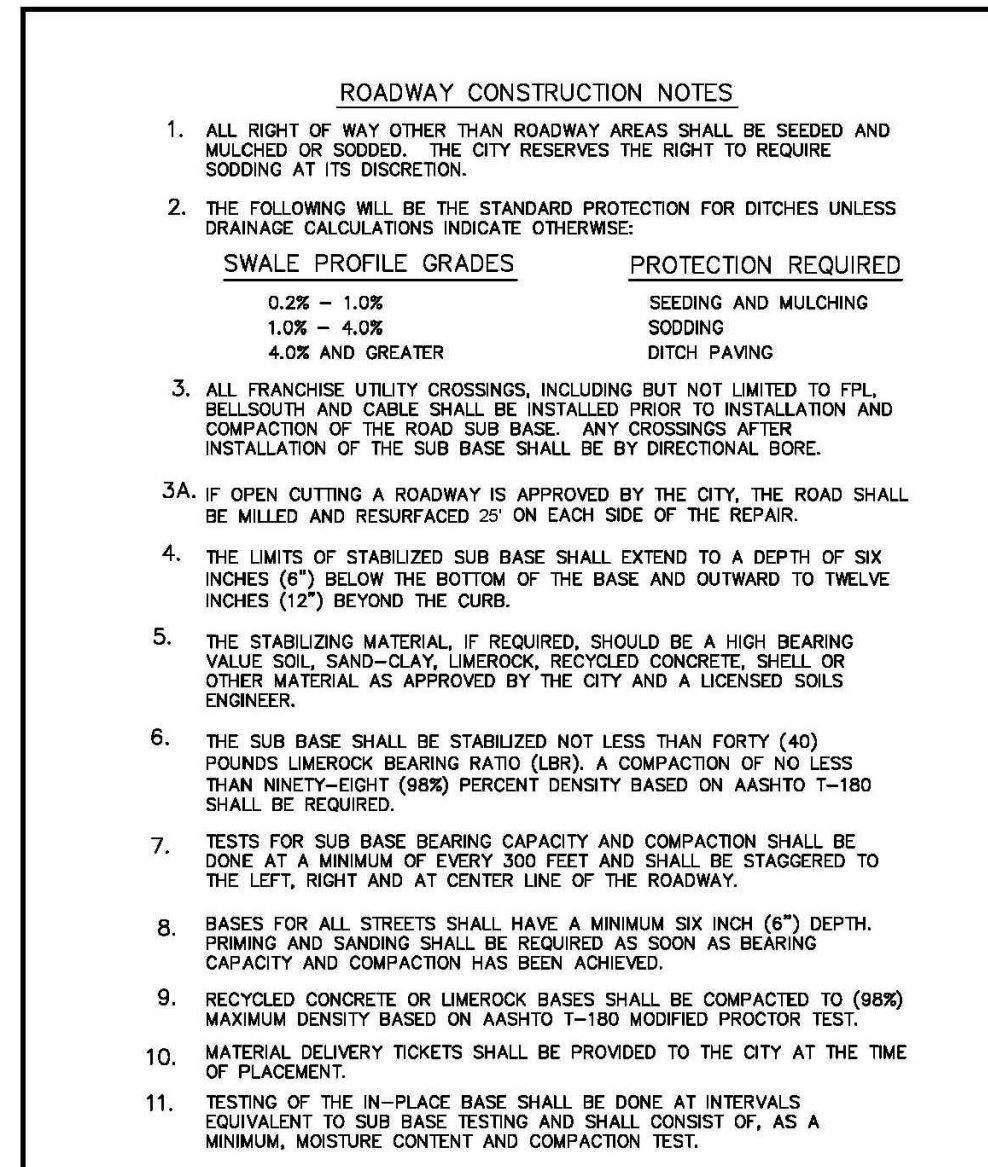
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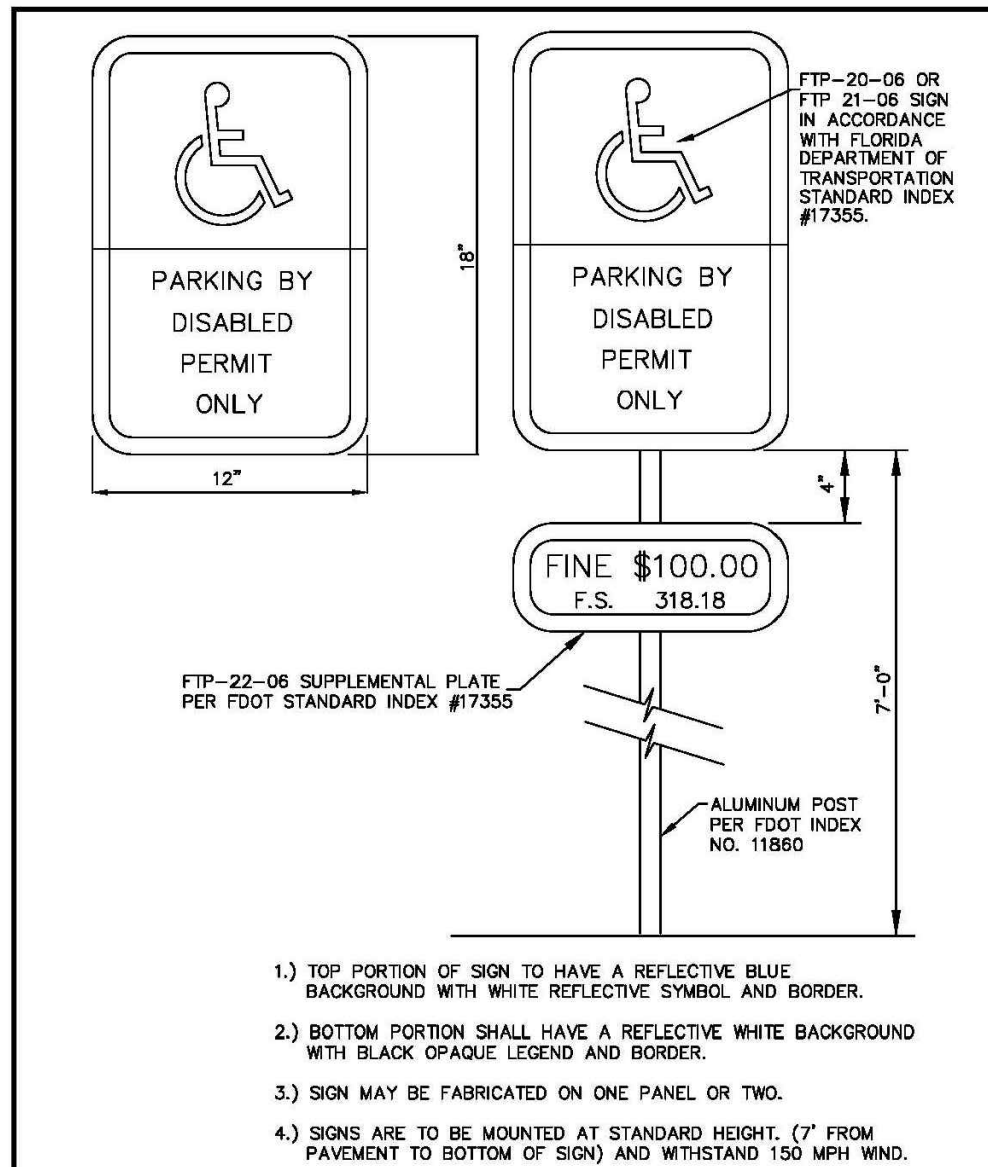
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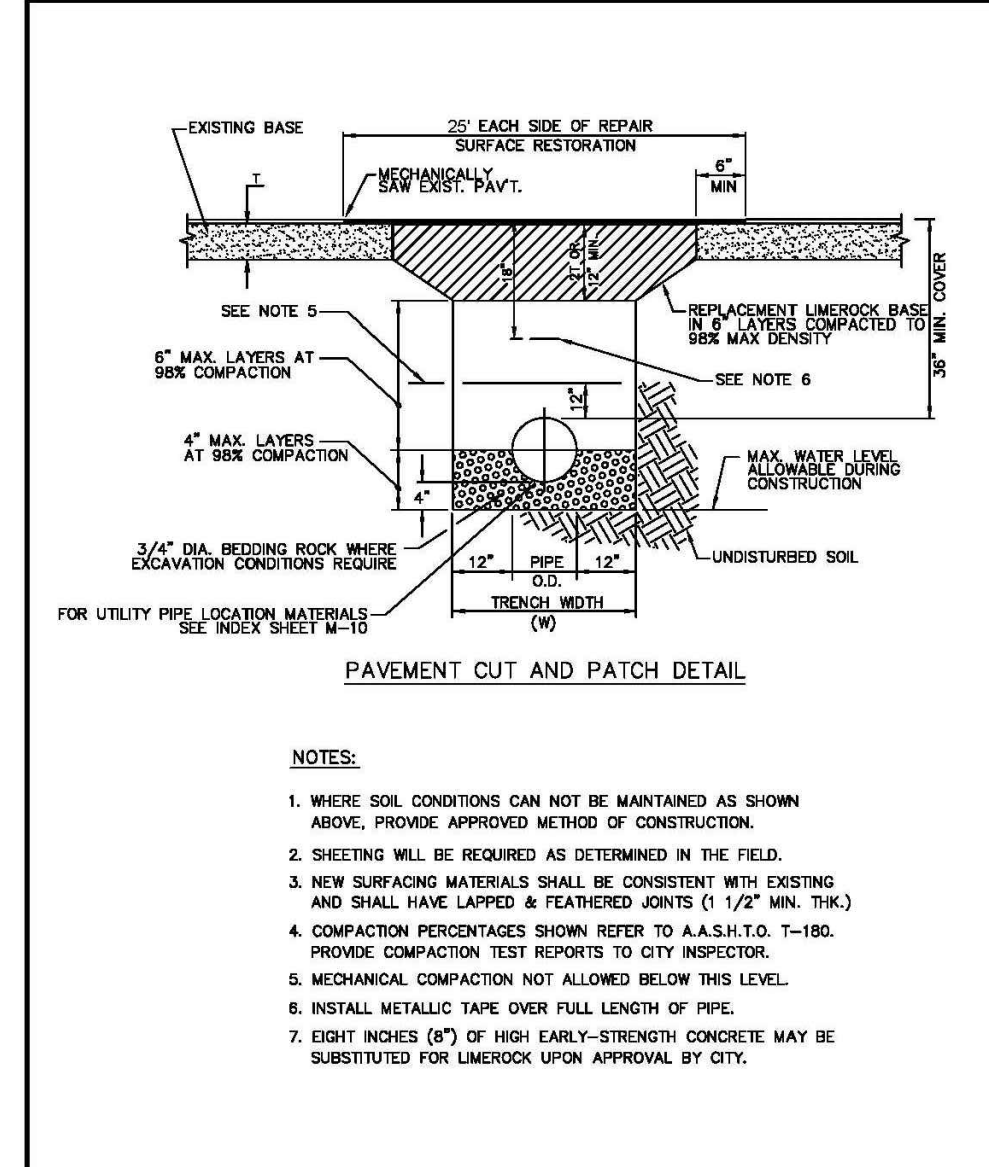
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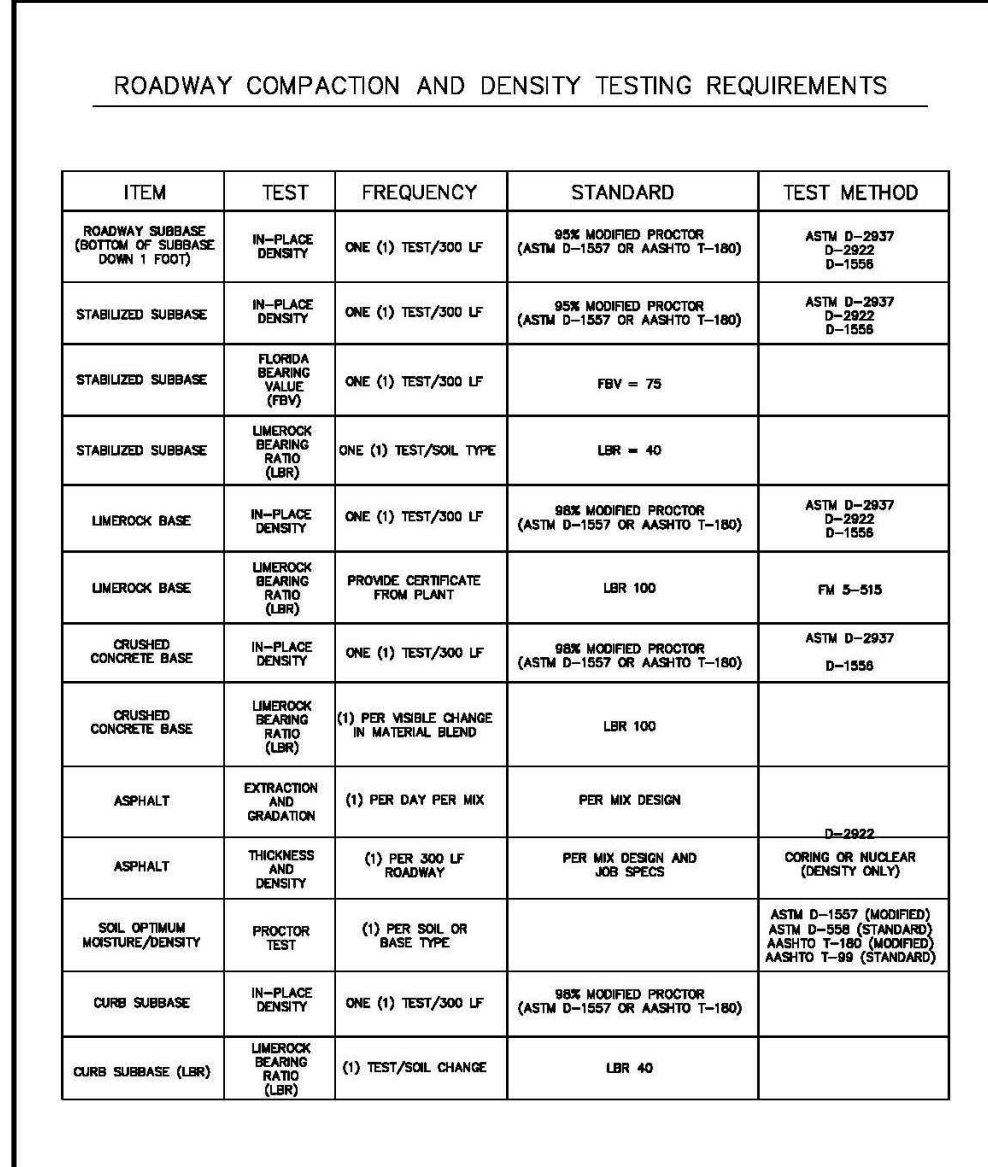
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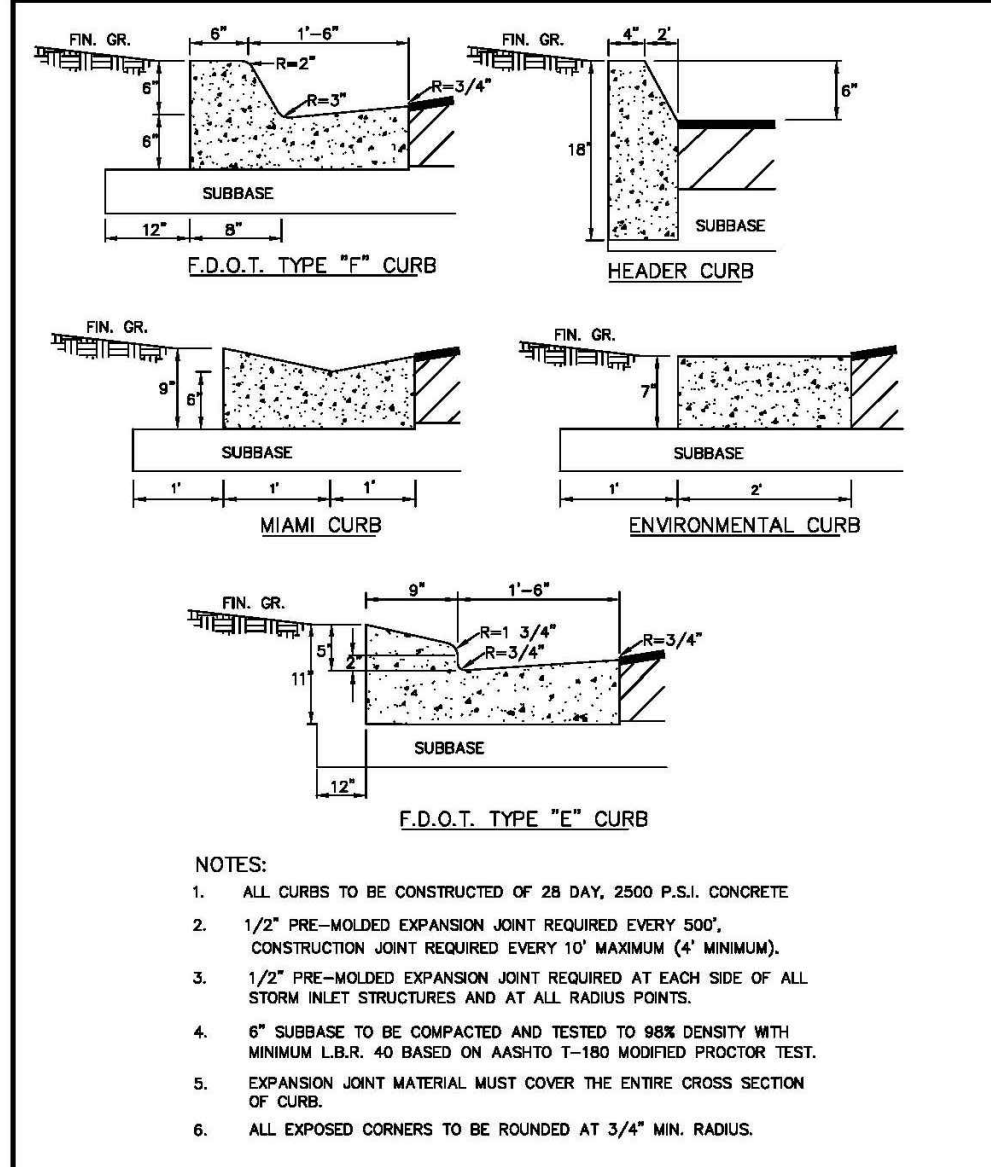
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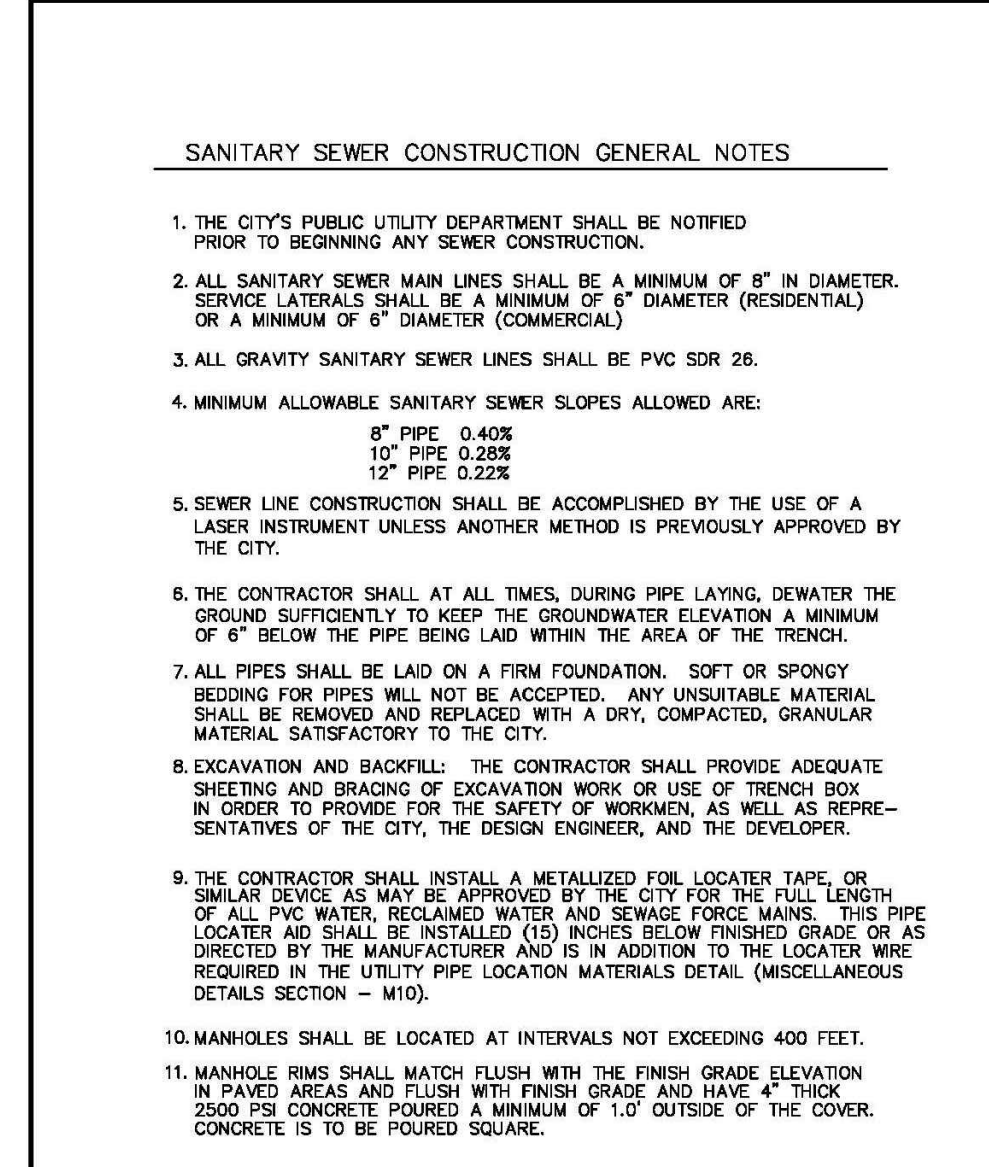
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GENERAL NOTES SANITARY SEWER CONSTRUCTION MTS S-1A April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

- THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER MANHOLES IN SUCH A MANNER THAT SEWER LINES DO NOT INTERSECT SEaled JOINTS BETWEEN SECTIONS OF THE MANHOLE.
- RUBBER BOOT AND STAINLESS STEEL BANDS SHALL BE UTILIZED IN THE CONNECTION OF THE SEWER MAIN TO THE MANHOLES (SEE RUBBER BOOT AND PRECAST JOINT CONNECTION DETAIL).
- INDIVIDUAL SANITARY SERVICE CONNECTIONS ON NEW CONSTRUCTION SHALL NOT BE CONNECTED DIRECTLY INTO MANHOLES, BUT TO SEWER MAIN LINES WITH A RUBBER BOOT AND PRECAST JOINT CONNECTION DETAIL.
- FOR SINGLE FAMILY HOMES, SINGLE FOUR INCH SEWER SERVICES SHALL BE CONSTRUCTED AT EACH LOT OR UNIT AND LOCATED ON THE DOWNSTREAM SIDE OF THE LOT CENTER LINE. THESE SERVICES SHALL BE EXTENDED A FEET ABOVE GROUND AT THE PROPERTY LINE WITH A PVC RISER AND PLUG BEING EASILY VISIBLE FROM THE ROAD. RUBBER SEAL FITTINGS TO BE USED ON ALL LINES, NO GLUED JOINTS.
- FOR MULTI-FAMILY AND COMMERCIAL SITES, SIX INCH MINIMUM SEWER SERVICES AND CLEANOUTS SHALL BE PROVIDED AS APPROVED BY THE CITY.
- SANITARY SEWER LATERALS LONGER THAN 70 FEET, MEASURED FROM THE SEWER MAIN TO THE RIGHT-OF-WAY LINE MAY BE APPROVED ON A CASE BY CASE BASIS. SUCH LATERALS SHALL BE D.I.P. EPOXY LINED OR C-900 PVC.
- SANITARY SEWER MANHOLES WHICH HAVE SEWER FORCE MAINS DISCHARGING DIRECTLY INTO THEM OR ANY MANHOLE WITHIN 200 FEET OF A LIFT STATION, SHALL BE FIBERGLASS OR PVC LINED. RETRO-FITTING OF MANHOLES WITH LINERS SHALL BE REQUIRED WHEN NEW CONNECTIONS SUCH AS THESE ARE MADE. FIBERGLASS SHALL BE A MINIMUM 1/2" THICKNESS UNLESS APPROVED OTHERWISE BY THE CITY. LINING SHALL BE AGRI SURE-GRIP OR PRE-APPROVED EQUAL.
- SEE CHART ON DETAIL INDEX S-1C FOR FORCE MAIN AND REUSE PIPE SIZE AND MATERIALS.
- THE CITY REQUIRES THE DEVELOPER TO TELETYPE ANY AND ALL SANITARY SEWER MAIN LINES AND LATERALS PRIOR TO ANY FINAL ACCEPTANCE, AND RESERVE THE RIGHT TO REQUEST WATER AND AIR TESTING. THERE SHALL BE NO DIPS GREATER THAN 1" AS SEEN WITH A MANHOLE.
- ALL SEWER MAINS PRIOR TO ACCEPTANCE BY THE CITY SHALL BE TELEVIEWED BY A REPUTABLE COMPANY THAT ENGAGES IN THIS TYPE OF WORK. TELEVISION IN ROAD SHALL BE AFTER BASE AND BEFORE PAVING. VIDEO SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING VIEWED. WRITTEN VIDEO LOG DESCRIBING THE CONDITION OF THE LINES SHALL ACCOMPANY THE TAPE SUBMISSION TO THE CITY.
- CONTRACTORS SHALL BE REQUIRED TO TELETYPE ALL SEWER LINES IN THE PRESENCE OF CITY PERSONNEL AND PROVIDED COPIES OF THE VIDEO TAPE TO THE PUBLIC UTILITY DEPT. ANY DEFECTS NOTED SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY THE CITY.

DIAMETER	MATERIAL	STANDARD
2" - 4"	PVC 1120 / SDR 21	ASTM D 2241
> 4" - 12"	PVC 1120 / CLASS 100	AWWA C 900
14" - 36" (16" - 24" DR - 18) (30" - 36" DR - 21)	PVC 1120	AWWA C 905
ALL SIZES	HDPE (DIPS) DR 13.5	ASTM F 714

NOTE: PVC PIPE COLOR SHALL BE GREEN FOR SEWER FORCE MAIN, AND PURPLE FOR REUSE MAIN.

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SANITARY SEWER CONSTRUCTION
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SANITARY SEWER CONSTRUCTION GENERAL NOTES

- ALL SEWER LINES WHICH ARE CONSTRUCTED OFF PUBLIC RIGHTS-OF-WAY WITHIN SEWERABLE BACKYARDS AND ACCESSIBLE AREAS SHALL BE CONSTRUCTED OF C-900 PVC OR EPOXY LINED DUCTILE IRON PIPE. ABSOLUTELY NO USE OF PLASTIC OR UNAPPROVED MATERIALS IS ALLOWED.
- SEWER LATERAL LOCATIONS SHALL BE MARKED ALONG THE OUTSIDE OF THE CURB WITH A SAWCUT S, AND BY A METAL TAB SET INTO THE PAVEMENT.
- CE-WEAR PLASTIC, AS MANUFACTURED BY PRES-SEAL GASKET CORPORATION OR APPROVED EQUAL, SHALL BE USED ON THE OUTSIDE OF ALL MANHOLE AND METHILL JOINTS. APPLY ONE LAYER OF 9" WRAP CENTERED ON EACH JOINT. A CITY INSPECTOR SHALL PERSONALLY INSPECT ALL JOINT SEALS PRIOR TO BACKFILLING OPERATIONS.
- ALL PROPOSED SEWER MAINS, 8" OR GREATER, SHALL BE FLUSHED AND CLEANED.
- ALL SEWER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES. IN SPECIAL CASES WHERE IT IS IMPOSSIBLE OR INAPPROPRIATE TO PROVIDE ADEQUATE COVER, DUCTILE IRON CLASS 350 OR CONCRETE ENCASUREMENT MAY BE USED AS APPROVED BY THE CITY.
- SEWER FORCE MAINS SHALL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS. TESTS SHALL BE CONDUCTED BEFORE FINAL PAVING AND IN THE PRESENCE OF THE CITY'S INSPECTOR. MAXIMUM PRESSURE LOSS SHALL BE 5 PSI ON THE GAUGE.
- ALL SEWER PIPE SYSTEMS SHALL BE TELEVIEWED IN THE PRESENCE OF THE CITY INSPECTOR AND COPIES OF THE VIDEO AND WRITTEN REPORT SHALL BE SUBMITTED IN DVD FORMAT TO THE INSPECTOR AT LEAST FORTY EIGHT (48) HOURS PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY THE CITY.
- ALL SEWER PIPES, PRIOR TO ACCEPTANCE BY THE CITY, SHALL BE TELEVIEWED BY A REPUTABLE COMPANY THAT ENGAGES IN THIS TYPE OF WORK. THE VIDEO SHALL BE IN DVD FORMAT WITH HIGH QUALITY STANDARD RESOLUTION USING A CAMERA WITH SUITABLE LIGHTING TO ALLOW A CLEAR AND FOCUSED PICTURE OF THE ENTIRE INSIDE PIPE CIRCUMFERENCE. THE VIDEO SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING VIEWED. WRITTEN LOG DESCRIBING THE CONDITION OF THE LINES SHALL ACCOMPANY THE DVD SUBMISSION TO THE CITY.

DIAMETER	MATERIAL	STANDARD
2" - 4"	PVC 1120 / SDR 21	ASTM D 2241
> 4" - 12"	PVC 1120 / CLASS 100	AWWA C 900
14" - 36" (16" - 24" DR - 18) (30" - 36" DR - 21)	PVC 1120	AWWA C 905
ALL SIZES	HDPE (DIPS) DR 13.5	ASTM F 714

NOTE: PVC PIPE COLOR SHALL BE GREEN FOR SEWER FORCE MAIN, AND PURPLE FOR REUSE MAIN.

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SANITARY SEWER CONSTRUCTION GENERAL NOTES

- CONSTRUCTION STANDARDS FOR ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO THE LATEST EDITION OF THE "FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND AS SPECIFIED HEREIN.
- ALL STORMWATER PIPES AND STRUCTURES SHALL BE INSTALLED ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW THE COMPONENT BEING INSTALLED.
- ALL PIPES AND STRUCTURES SHALL BE PLACED TRUE TO LINES AND GRADES AS DEPICTED ON THE APPROVED PLANS.
- ALL PIPE JOINTS SHALL BE PROPERLY HONED AND FILTER FABRIC LINED USING A METHOD TO HOLD THE FABRIC IN PLACE DURING BACKFILL.
- BACKFILL AND COMPACT TO THE SPRING-LINE (CENTER OF PIPE) ELEVATION AND REQUEST CITY INSPECTION AND APPROVAL BEFORE CONTINUING.
- ALL WORK COVERED WITHOUT CITY INSPECTION WILL BE REQUIRED TO BE EXCAVATED AND INSPECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCHES SHALL BE BACKFILLED AND COMPACTED WITH CLEAN GRANULAR MATERIAL IN MAX 6" LIFTS WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T190) IN PAVED AREAS AND 96 PERCENT (AASHTO-T190) IN UNPAVED AREAS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS AT POINTS 1' ABOVE THE PIPE AND AT A MAX. 1' VERTICAL INTERVALS TO FINISH GRADE, AT A MAXIMUM SPACING OF 100 FEET, AND TO FURNISH COPIES OF TEST REPORTS PROMPTLY TO THE CITY'S INSPECTOR.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE (RCP) OR GRANULAR CORRODED METAL PIPE (ACMP). HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS APPROVED BY THE CITY.
- STORM DRAINAGE PIPES WITHIN PUBLIC RIGHT-OF-WAY SHALL BE A MINIMUM OF TWELVE (12) INCH RCP DIAMETER OR EQUIVALENT.
- STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER REQUIRED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION.
- ALL SIDE DRAIN AND CROSS DRAIN MITERED ENDS PLACED WITHIN FOOT RIGHT-OF-WAY SHALL BE CAST-IN-PLACE ONLY. ALL MITERED ENDS SHALL MEET REQUIREMENTS OF THE MOST CURRENT FOOT DESIGN STANDARDS AND FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

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SANITARY SEWER CONSTRUCTION GENERAL NOTES

- STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF.
- WET DETENTION PONDS SHALL BE EIGHT (8) FEET MINIMUM TO TWELVE (12) FEET MAXIMUM DEPTH BELOW THE DESIGN LOW OR NORMAL WATER STAGE.
- MAXIMUM DISTANCES BETWEEN INLETS AND/OR JUNCTION BOXES:

PIPES SIZE (INCHES)	LENGTH OF RUN (FEET)
15 OR LESS	150
18	300
24 OR GREATER	400

- ALL SWALES, DITCHES, AND DRY RETENTION POND SIDE SLOPES SHALL BE NO STEEPER THAN 4:1 (H:V) AND SHALL BE SODDED.
- ALL RETENTION POND BACKSLOPES SHALL BE NO STEEPER THAN 3:1 (H:V) AND SHALL BE SODDED.
- NORMAL ROADSIDE SWALES SHALL BE CONSTRUCTED TO A MAXIMUM DEPTH OF 10" BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
- CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.
- A MINIMUM ONE FOOT (1') FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND WET RETENTION PONDS.
- A MINIMUM SIX INCH (6") FREEBOARD ABOVE THE DESIGN HIGH WATER ELEVATION IS REQUIRED AT ALL POINTS AROUND DRY RETENTION PONDS.
- POND INFLOW SHALL GENERALLY BE CONSTRUCTED WITH REINFORCED CONCRETE AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- OUTLET STRUCTURES ARE REQUIRED ON ALL PONDS. ALL OUTLET STRUCTURES SHALL BE PERMANENT CONCRETE OVERFLOW WEIRS OR CONCRETE OUTLET CONTROL STRUCTURES. NO SODDED WEIRS OR OTHER NON-PERMANENT OVERFLOW STRUCTURES SHALL BE ALLOWED.
- SOIL EROSION CONTROL MEASURES SATISFACTORY TO THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION AND UPON COMPLETION OF THE POND.
- THE CITY MAY REQUEST THAT THE DEVELOPER SUBMIT A REPORT BY A QUALIFIED HYDROLOGIST ON THE IMPACT THE POND WILL HAVE ON NEIGHBORING WATER TABLE ELEVATIONS BOTH DURING CONSTRUCTION AND AFTER POND COMPLETION. THE CITY MAY REQUIRE GROUNDWATER MONITORING DURING THE POND EXCAVATION.

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SANITARY SEWER CONSTRUCTION GENERAL NOTES

- ADEQUATE MAINTENANCE ACCESS AS APPROVED BY THE CITY SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF ALL PONDS AND ASSOCIATED OUTFALLS DISCHARGING INTO AND OUT OF PONDS.
- IN GENERAL, ALL RETENTION/DETENTION PONDS MUST BE CONSTRUCTED PRIOR TO ANY ROAD OR BUILDING CONSTRUCTION COMMENCING OR AS CURRENT PERMIT CONDITIONS DICTATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY DEWATERING PERMITS THAT MAY BE REQUIRED.
- CULVERTS CROSSING RIGHT-OF-WAYS SHALL EXTEND FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE UNDER THE ROADWAY.
- ALL STORMWATER DISCHARGE FROM RETENTION/DETENTION PONDS ARE REQUIRED TO BE CHANNIELED INTO DEFINED DRAINAGE PATHS TO EXISTING WATER BODIES, WETLANDS, DITCHES, ETC.
- THE CITY REQUIRES THE DEVELOPER TO TELETYPE ANY AND ALL STORM SEWER PIPE SYSTEMS PRIOR TO ANY FINAL ACCEPTANCE BY THE CITY.
- ALL STORM SEWER PIPE SYSTEMS SHALL BE TELEVIEWED IN THE PRESENCE OF THE CITY INSPECTOR AND COPIES OF THE VIDEO AND WRITTEN REPORT SHALL BE SUBMITTED IN DVD FORMAT TO THE INSPECTOR AT LEAST FORTY EIGHT (48) HOURS PRIOR TO REQUESTING FINAL INSPECTIONS. ANY DEFECTS NOTED SHALL BE CORRECTED PRIOR TO ACCEPTANCE BY THE CITY.
- ALL STORM SEWER PIPES, PRIOR TO ACCEPTANCE BY THE CITY, SHALL BE TELEVIEWED BY A REPUTABLE COMPANY THAT ENGAGES IN THIS TYPE OF WORK. THE VIDEO SHALL BE IN DVD FORMAT WITH HIGH QUALITY STANDARD RESOLUTION USING A CAMERA WITH SUITABLE LIGHTING TO ALLOW A CLEAR AND FOCUSED PICTURE OF THE ENTIRE INSIDE PIPE CIRCUMFERENCE. THE VIDEO SHALL BE NON-STOP WITH AUDIO DESCRIBING WHAT IS BEING VIEWED. WRITTEN LOG DESCRIBING THE CONDITION OF THE LINES SHALL ACCOMPANY THE DVD SUBMISSION TO THE CITY.

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SANITARY SEWER CONSTRUCTION GENERAL NOTES

GENERAL NOTES
WATER SYSTEM CONSTRUCTION

- THE CITY'S PUBLIC UTILITIES DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
- DEWATERING SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW WATER MAIN BEING LAID.
- ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC.) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- TRENCHES SHALL BE BACKFILLED WITH CLEAN GRANULAR MATERIAL IN MAX. 1' LIFTS WITH A MINIMUM COMPACTION OF 98 PERCENT (AASHTO-T190) IN PAVED AREAS OR IN UNPAVED AREAS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TRENCH COMPACTION TESTS BE PROVIDED AT POINTS 1 FOOT ABOVE THE PIPE AND AT 1 FOOT VERTICAL INTERVALS TO FINISH GRADE, AT A MINIMUM SPACING OF EVERY 300 FEET, AND TO FURNISH COPIES OF TEST REPORTS PROMPTLY TO THE CITY UTILITIES DEPARTMENT.
- METALLIZED PIPE LOCATION TAPE SHALL BE LOCATED 15 INCHES BELOW FINISHED GRADE OR AS SPECIFIED BY MANUFACTURER FOR ALL PVC LINES. MARKER TAPE SHALL BE USED ON ALL DUCTILE IRON PIPE.
- WATER SERVICES (SINGLE 1") SHALL BE POLYETHYLENE TUBING (BLUE IN COLOR); POLYBUTYLENE SHALL NOT BE ALLOWED.
- ALL WATER SERVICE ENDINGS SHALL BE MARKED WITH 4" x 4" LUMBER (PRESSURE TREATED) EXTENDING 4 FEET ABOVE GRADE, WITH WATER SERVICES SECURED 24" ABOVE THE GROUND. WIRE TIES SHALL BE USED TO SECURE THE CURB STOPS TO SUPPORT POSTS.
- WATER VALVES SHALL BE PLACED AT ALL STREET INTERSECTIONS AND AT MAXIMUM SPACINGS OF 500 FEET.
- AT ALL WATER MAIN TEES AND CROSSES, VALVES SHALL BE INSTALLED ON ALL LEGS EXCEPT ONE.
- APPROVED WATER VALVE TYPES ARE THE FOLLOWING:
A. STANDARD GATE VALVES LESS THAN 48" DIAMETER RESIDENT SEAT GATE VALVES (AWWA C-500 OR C-515).
B. TAPPING VALVES AND MECHANICAL TAPPING SLEEVE SHALL BE STAINLESS STEEL (AWWA C - 509).

STANDARD CONSTRUCTION DETAIL
GENERAL NOTES
WATER SYSTEM CONSTRUCTION
INDEX
W-1A
April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

GENERAL NOTES
WATER SYSTEM CONSTRUCTION

- ALL WATER VALVE BOXES SHALL BE ADJUSTED TO FINISH GRADE AND THE LIDS PAINTED BLUE TO MAKE THEM PLAINLY VISIBLE.
- WATER VALVES SHALL BE COMPLETELY OPENED BY THE CONTRACTOR UPON FINAL ACCEPTANCE OF NEW WATER SYSTEMS IN THE PRESENCE OF UTILITY DEPARTMENT PERSONNEL.
- HYDRANTS SHALL BE PLACED AT MAXIMUM SPACINGS IN ACCORDANCE WITH NFPA (LATEST EDITION). SPECIAL EXCEPTIONS MAY BE ALLOWED BY FIRE AUTHORITY HAVING JURISDICTION. ALL WATER MAIN TO WHICH HYDRANTS ARE CONNECTED SHALL BE 6 INCHES MINIMUM.
- ALL FIRE HYDRANTS SHALL BE CONSTRUCTED TO MAKE THEM EASILY ACCESSIBLE TO FIRE PERSONNEL IN CASE OF FIRE. THE MAIN LOCATOR CONNECTION SHOULD ALWAYS FACE THE STREET AND BE 18-24" ABOVE GRADE.
- AS STANDARD PRACTICE, WATER MAINS SHALL BE INSTALLED 4 FEET OFF THE BACK OF CURB OR AS APPROVED BY THE CITY.
- ALL WATER MAINS AND APPURTENANCES SHALL BE NSF-APPROVED FOR POTABLE WATER USE, AND SHALL HAVE A MINIMUM COVER OF 36 INCHES. IN SPECIAL CASES WHERE IT IS IMPOSSIBLE OR INAPPROPRIATE TO PROVIDE ADEQUATE COVER, DUCTILE IRON CLASS 350 OR CONCRETE ENCASUREMENT MAY BE USED AS APPROVED BY THE CITY.
- ALL PROPOSED WATER MAINS SHALL BE FLUSHED WITH A FULL PIPE DIAMETER, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
- WATER MAINS SHALL BE AWWA C-900/C-905 CL 150, OR D.I.P. CLASS 350 STANDARD CEMENT LINED.
- UPON CONSTRUCTION COMPLETION AND ACCEPTANCE OF THE SYSTEM, IT SHALL BE THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE SYSTEM IS PROPERLY CERTIFIED AND ACCEPTED BY THE REGULATORY AGENCIES, AND THAT CERTIFIED AS-BUILT DRAWINGS ARE PROVIDED TO THE CITY PRIOR TO PAVING AND AFTER BASE, BEFORE ANY USE OF THE SYSTEM. PROVIDE THREE (3) COPIES AS WELL AS A CD OF AUTOCAD DRAWINGS AND PDF FILES OF EACH INDIVIDUAL SHEET. CITY TO APPROVE VERSION OF AUTOCAD.
- MCCALGUS OR EQUIVALENT, RESTRAINED JOINT SYSTEM MAY BE USED ON ALL RESTRAINED TRENCHES, VALVES, ETC. MINIMUM DEPTH OF BURY ON PIPES NOT MEETING REQUIRED COVER REQUIREMENTS SHALL FOLLOW THE MOST RECENT DIPRA THRUST RESTRAINT DESIGN GUIDELINES.

STANDARD CONSTRUCTION DETAIL
GENERAL NOTES
WATER SYSTEM CONSTRUCTION
INDEX
W-1B
April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

GENERAL NOTES
WATER SYSTEM CONSTRUCTION

- WATER SYSTEMS SHALL BE PRESSURE TESTED AT 150 PSI STATIC PRESSURE FOR A PERIOD OF 2 HOURS PER AWWA STANDARDS. TESTS SHALL BE CONDUCTED BEFORE FINAL PAVING AND AFTER LIME ROCK BASE, AND IN THE PRESENCE OF THE CITY'S INSPECTOR. MAXIMUM PRESSURE LOSS SHALL BE 5 PSI ON THE GAUGE.
- ALL WATER SERVICES SHALL BE MARKED WITH A "W" SAWCUT INTO THE CURB AND BY METAL TABS SET INTO THE PAVEMENT.
- ALL WATER VALVES AND BLOW-OFFS SHALL BE MARKED WITH A "V" SAWCUT INTO THE CURB AND BY METAL TABS SET INTO THE PAVEMENT. LOCATION OF METAL TABS IN INCHES FROM EDGE OF PAVEMENT SHALL EQUAL DISTANCE IN FEET FROM EDGE OF PAVEMENT TO VALVE.
- UNIFLANGE 1300 SERIES PIPE RESTRAINTS AS MANUFACTURED BY FORD OR APPROVED EQUAL MAY BE USED AS APPROPRIATE FOR RESTRAINING LINE PRESSURE PIPE EACH SIDE OF PIPE JOINT, AS REQUIRED BY RESTRAINT TABLE.
- TRACING WIRE SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY PIPE LOCATION MATERIALS DETAIL.
- NO GALVANIZED PIPE, FITTINGS, ETC. ARE ACCEPTED.
- ALL WATER METER BOXES SHALL BE INSTALLED AT THE RIGHT OF WAY LINE ONLY REGARDLESS OF SIZE.
- SUBMIT ASSEMBLY CERTIFICATION FOR ALL BACKFLOW PREVENTERS TO THE CITY'S UTILITIES DEPARTMENT BEFORE FINAL INSPECTION.
- PIPING FOR RAW WATER SHALL BE BLUE FOR ABOVE GROUND PIPING, BURIED PVC PIPING SHALL BE BLUE WITH WHITE COLOR BACKGROUND LOCATOR TAPE PLACED DIRECTLY ON TOP OF THE PIPE AND AT 12" TO 18" ABOVE THE PIPE. THE TAPE SHALL CONTINUOUSLY READ "CAUTION - RAW WATER MAIN BURIED BELOW" OR WHITE WITH LOCATOR TAPE PLACED 12" TO 18" ABOVE THE TOP OF THE PIPE.
- SEE CHART BELOW FOR WATERMAIN SIZE AND MATERIALS.

DIAMETER	MATERIAL	STANDARD
2" - 4"	PVC 1120 / SDR 21	ASTM D 2241
6" - 12"	PVC 1120 / CLASS 100	AWWA C 900
14" - 36" (16" - 24" DR - 18) (30" - 36" DR - 21)	PVC 1120	AWWA C 905
ALL SIZES	HDPE DR 13.5	ASTM F 714

STANDARD CONSTRUCTION DETAIL
GENERAL NOTES
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INDEX
W-1C
April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

STANDARD CONSTRUCTION DETAIL
GATE VALVE AND VALVE BOX
INDEX
W-2
April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

VALVE SCHEDULE
WATER SERVICES

VALVES AT MAIN	VALVES AT METER	VALVES AT MAIN AND REUSE SERVICES
1" F1000-4	BR-2516	1" BRW41-444W
1 1/2" BR1-686 (REG. 084-86 PACK JOINT COUPLING)	1 1/2" BR43-777W	2" BRW41-777W
2" BR1-777 (REG. 084-777 PACK JOINT COUPLING)		

STANDARD CONSTRUCTION DETAIL
WATER LATERAL SERVICE
INDEX
W-3
April 2014

SANITARY SEWER CONSTRUCTION GENERAL NOTES

ACCEPTABLE MANUFACTURERS: HERSEY MODEL FRP II, WILKINS MODEL 975XL, WATTS MODEL 009 QTS

ITEM	QUANT.	DESCRIPTION
1	1	3/4", 1", 1-1/2" OR 2" BACKFLOW PREVENTER ASSEMBLY
2	3	3/4", 1", 1-1/2" OR 2" NOM. NIPPLES - BRASS
3	2	3/4", 1", 1-1/2" OR 2" X 90° ELBOWS - PVC, BRASS, OR COPPER
4	2	3/4", 1", 1-1/2" OR 2" X VARIES RISER - PVC, BRASS, OR COPPER
5	2	3/4", 1", 1-1/2" OR 2" BALL VALVE
6	*	2500 P.S.I. CONCRETE SLAB (MIN. 4" THICK)
7	*	PLASTIC LINER

STANDARD CONSTRUCTION DETAIL
REDUCED PRESSURE BACKFLOW PREVENTER (POTABLE WATER & IRRIGATION)
INDEX
W-6D
April 2014

REVISIONS

DATE	DESCRIPTION

1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 877-7794
www.newkirk-engineering.com
C.A. # 30209
L.C. # 26000584
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Civil Engineering, CEI & Landscape Architecture
TRANSPORTATION

CITY DETAILS AND NOTES
LOT 6 PALM INDUSTRIAL PARK
NINTH STREET
BUNNELL, FL 32110

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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY HARRY NEWKIRK, PE # 62971 ON

HARRY NEWKIRK
LICENSE
NO. 62971
STATE OF FLORIDA
PROFESSIONAL ENGINEER

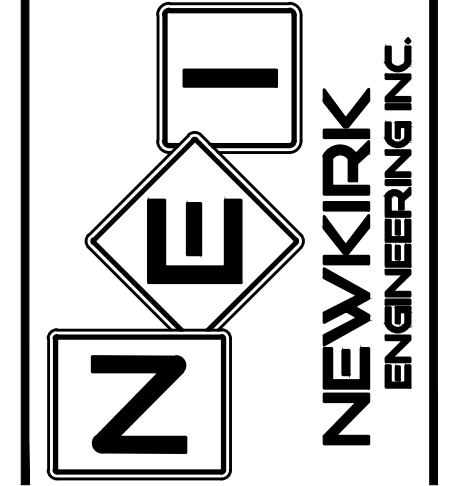
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PROJECT No: 2021-25
DATE: JANUARY 2022
DESIGN BY: HHN
DRAWN BY: NWS
CHECKED BY: HHN
SCALE: AS SHOWN
DRAWING NUMBER

12

REVISIONS	
DATE	DESCRIPTION

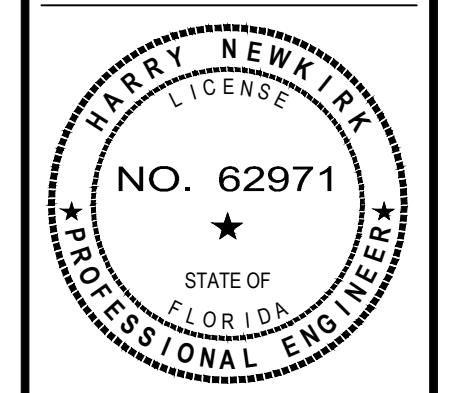
1230 North US1, Suite 3
Ormond Beach, Florida 32174
Phone (386) 872-7794
www.Newkirk-Engineering.com
C.A. # 30209
L.C. # 26000584
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Civil Engineering,
Transportation, CEI &
Landscape Architecture



MAINTENANCE OF TRAFFIC
 LOT 6 PALM INDUSTRIAL PARK
 NINTH STREET
 BUNNELL, FL 32110

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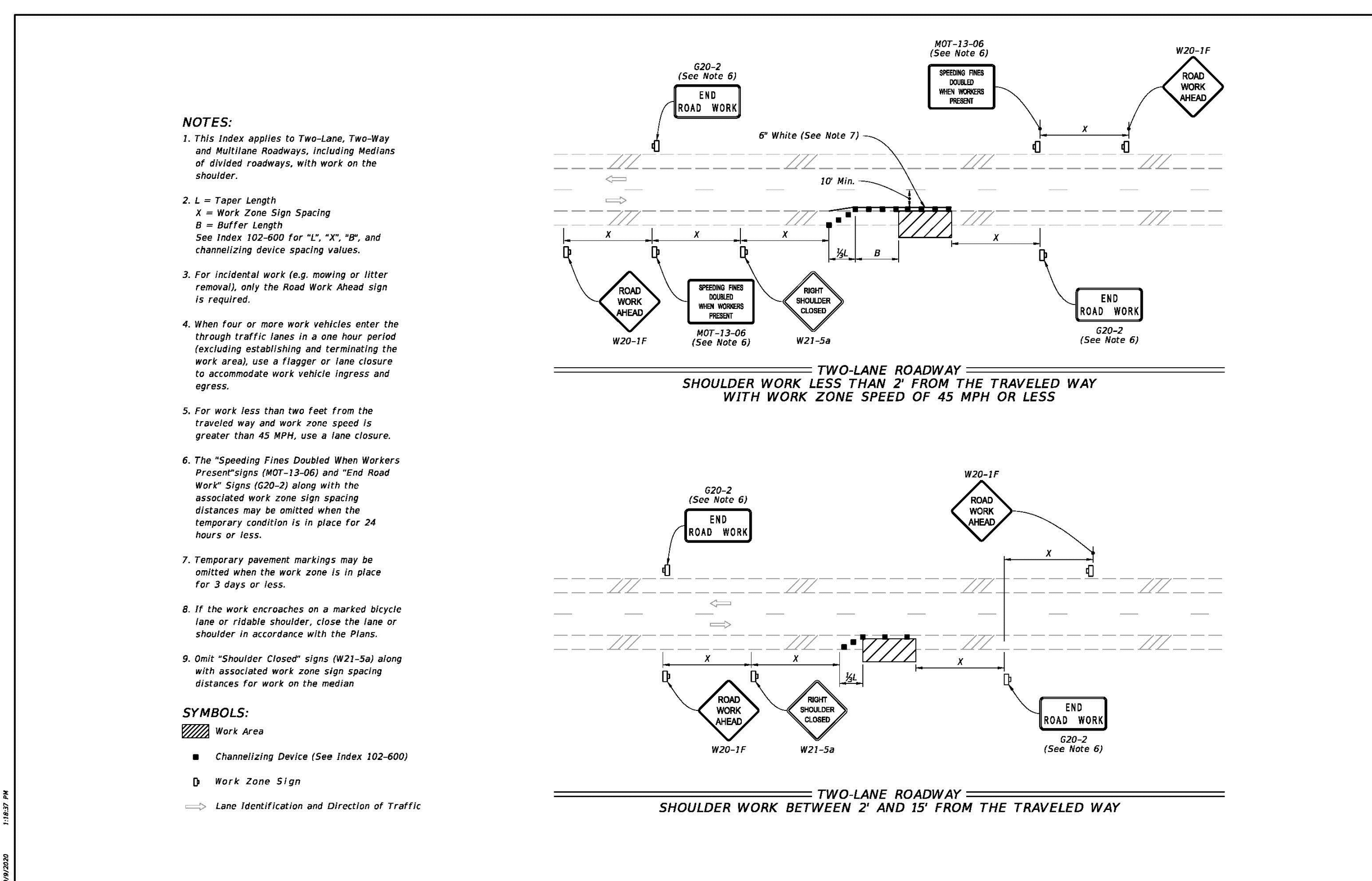
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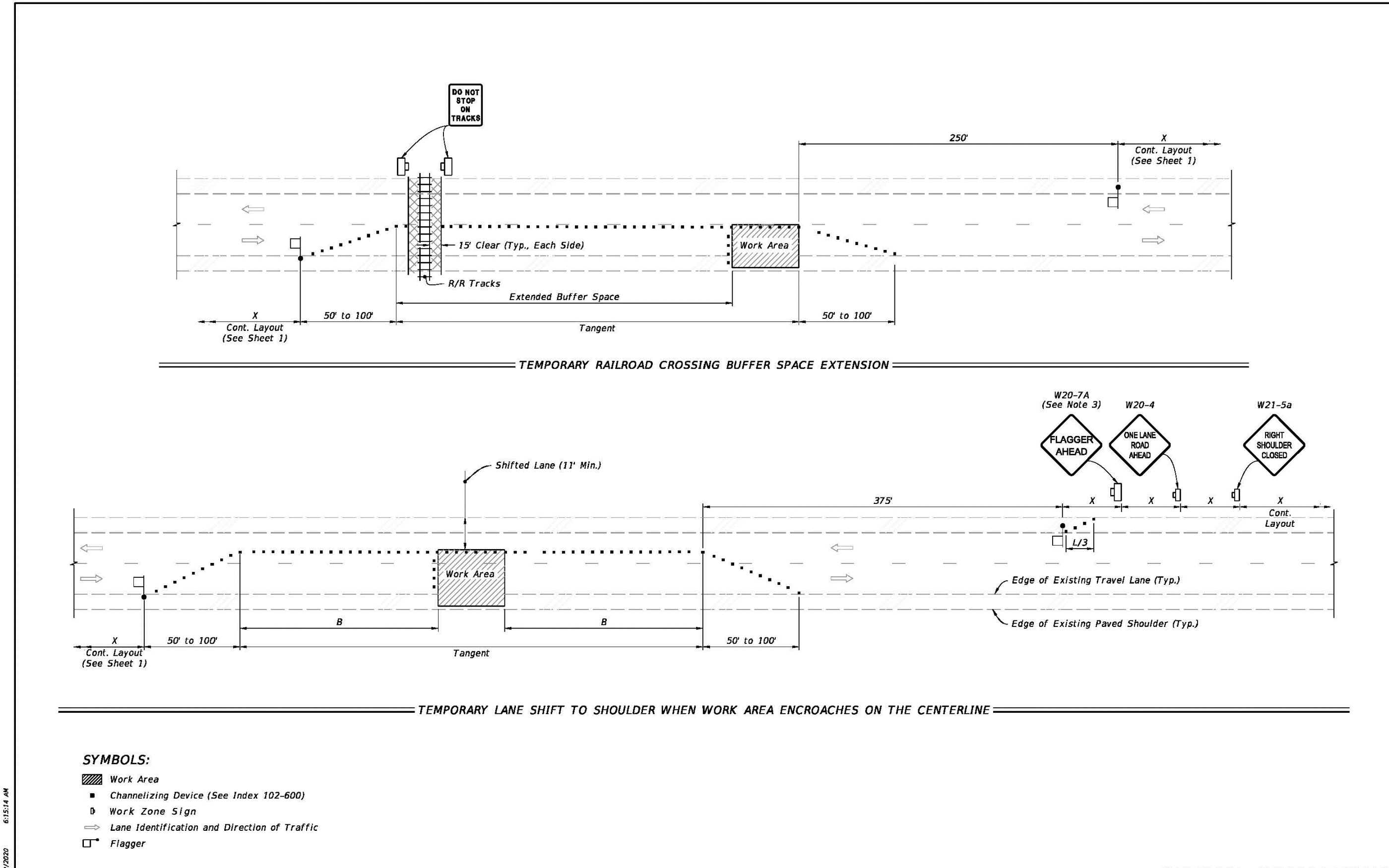
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PROJECT No:	2021-25
DATE:	JANUARY 2022
DESIGN BY:	HHN
DRAWN BY:	NWS
CHECKED BY:	HHN
SCALE:	NOT TO SCALE
DRAWING NUMBER	

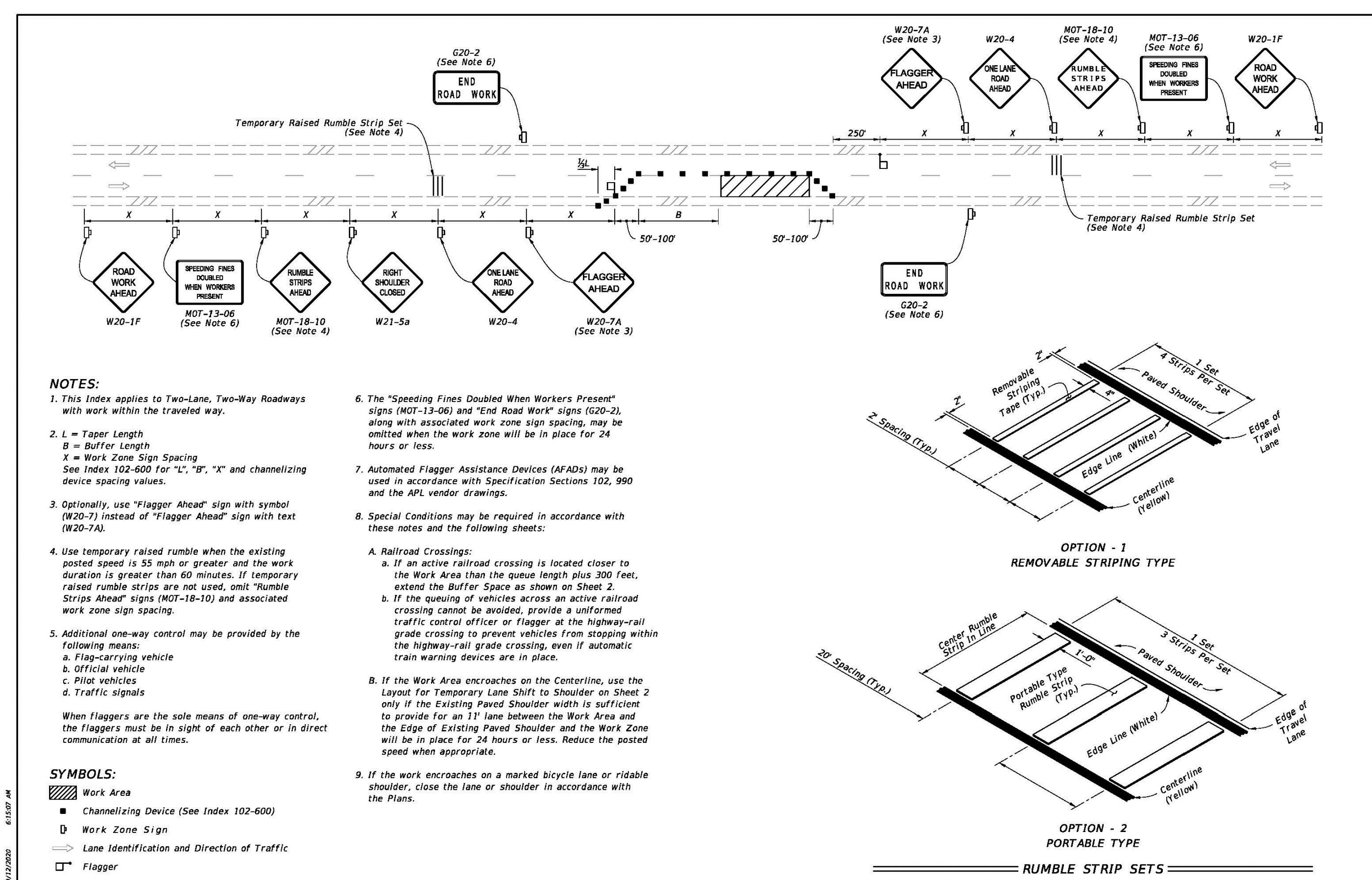
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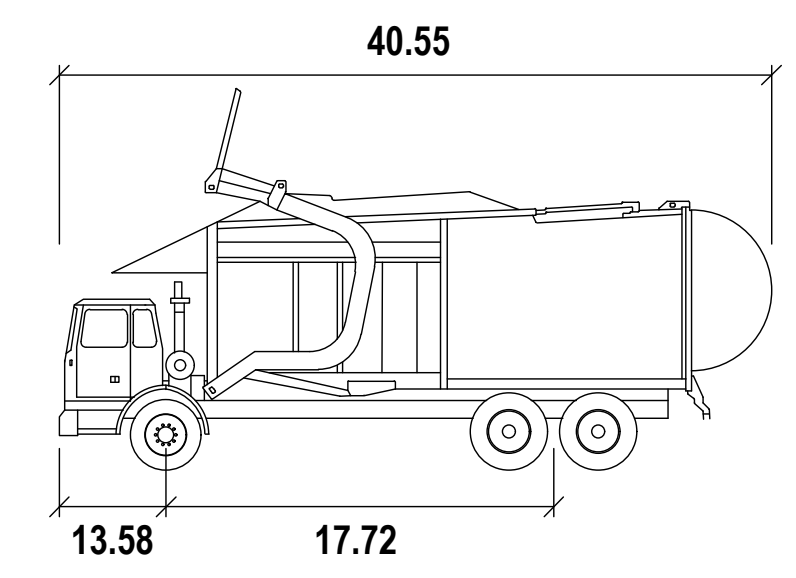
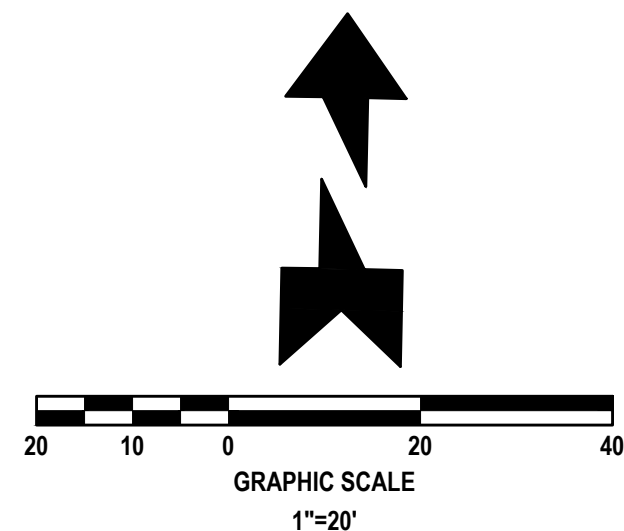
LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX	SHEET
11/01/20			STANDARD PLANS		102-602	1 of 2



LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX	SHEET
11/01/20			STANDARD PLANS		102-603	2 of 2

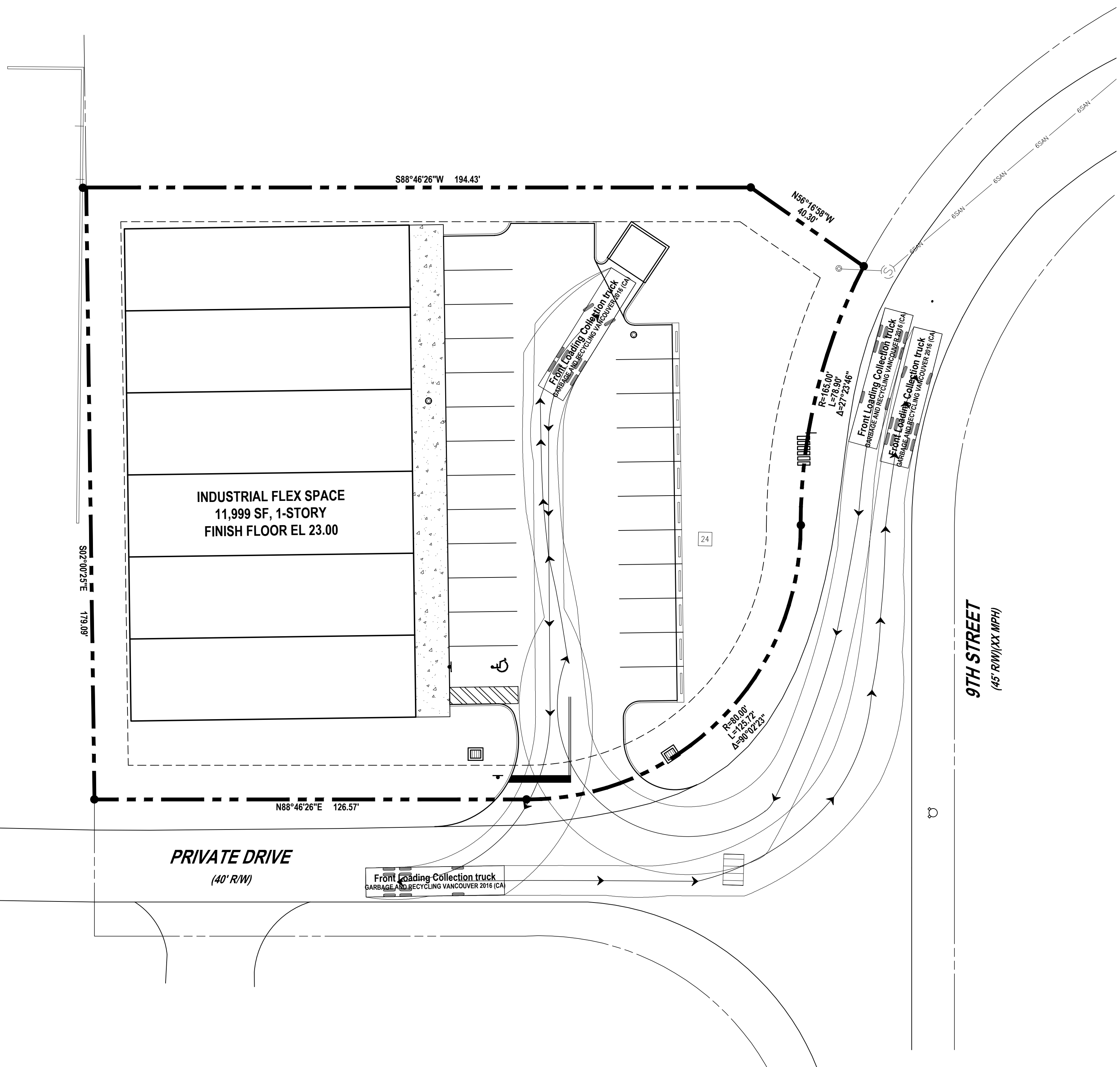


LAST REVISION	DESCRIPTION:	FDOT	FY 2021-22	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX	SHEET
11/01/20			STANDARD PLANS		102-603	1 of 2



Front Loading Collection truck

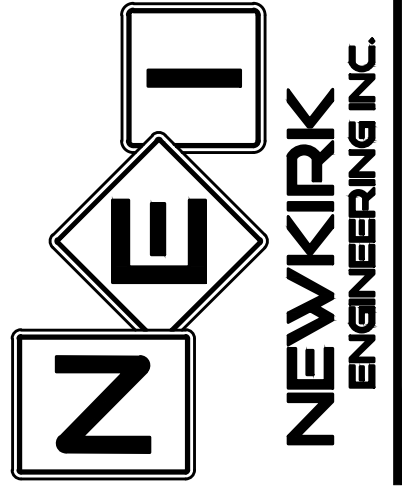
	feet
Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.0
Steering Angle	: 27.7



REVISIONS

DATE	DESCRIPTION
3/4/22	CITY COMMENTS

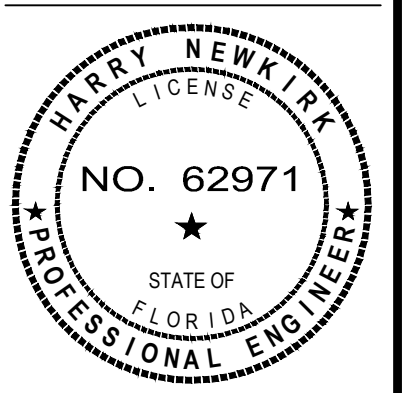
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www.Newkirk-Engineering.com
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L.C. # 26000584
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TRUCK TURN PLAN
LOT 6 PALM INDUSTRIAL PARK
NINTH STREET
BUNNELL, FL 32110

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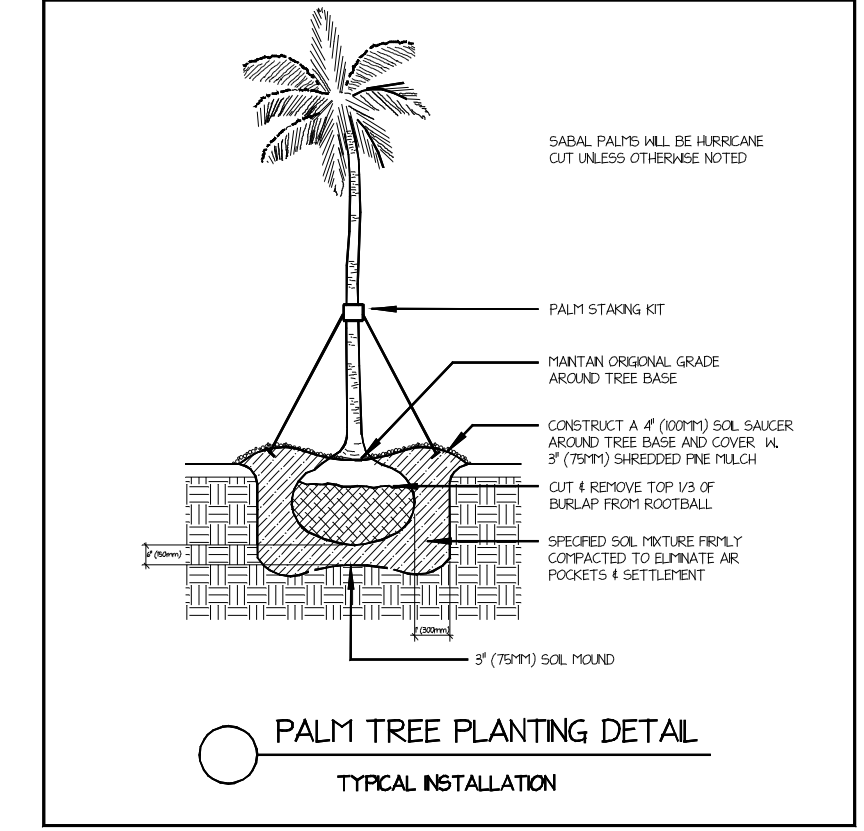
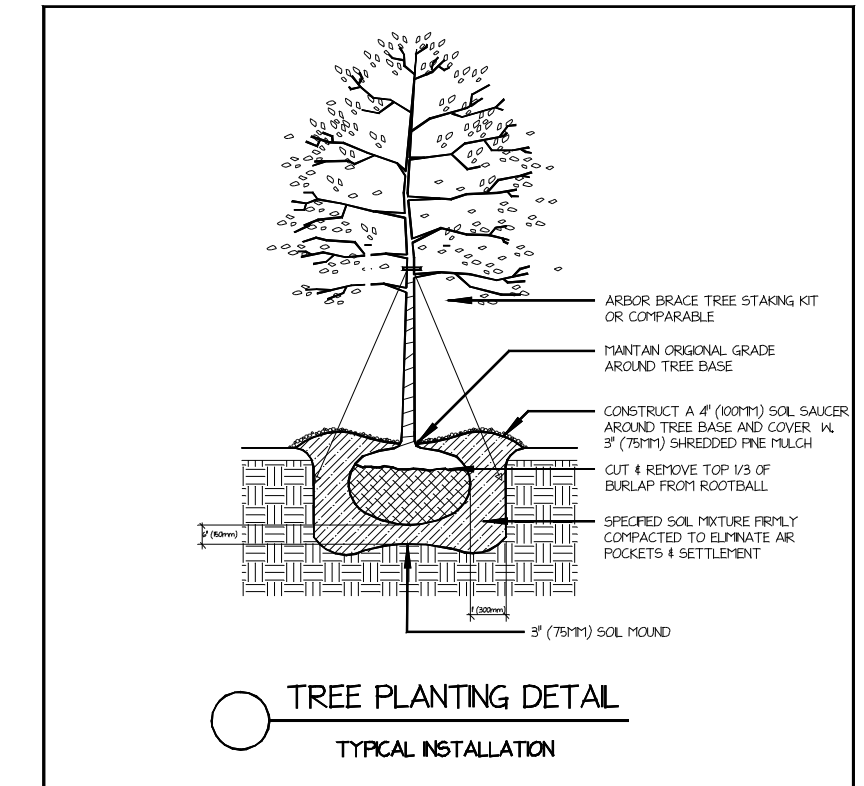
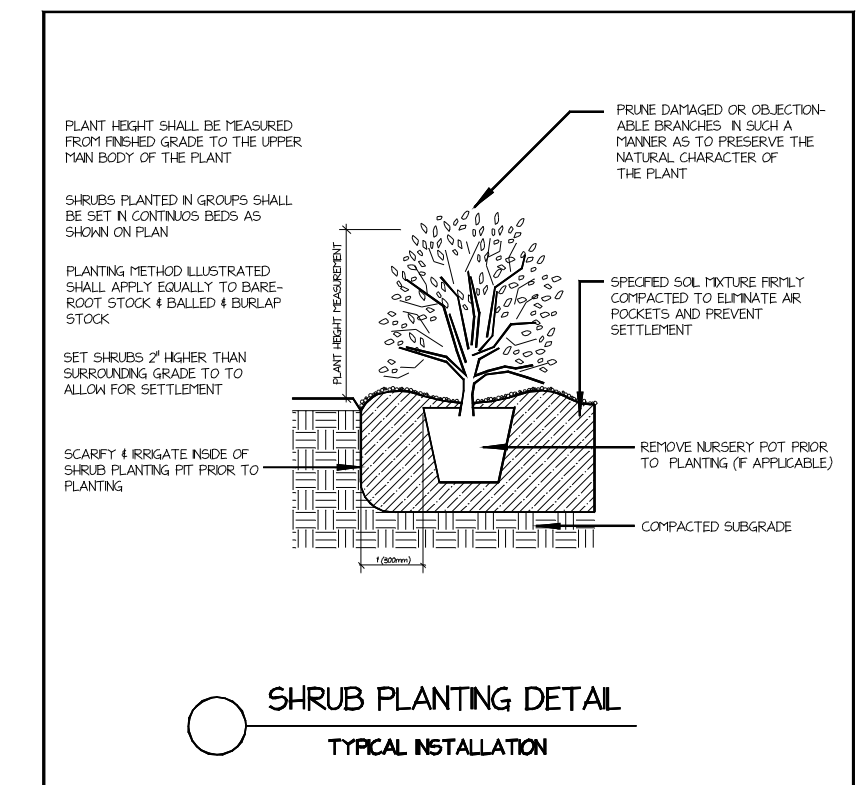
PROJECT No:	2021-25
DATE:	JANUARY 2022
DESIGN BY:	HHN
DRAWN BY:	NWS
CHECKED BY:	HHN
SCALE:	1" = 20'

DRAWING NUMBER

14

Landscape Notes

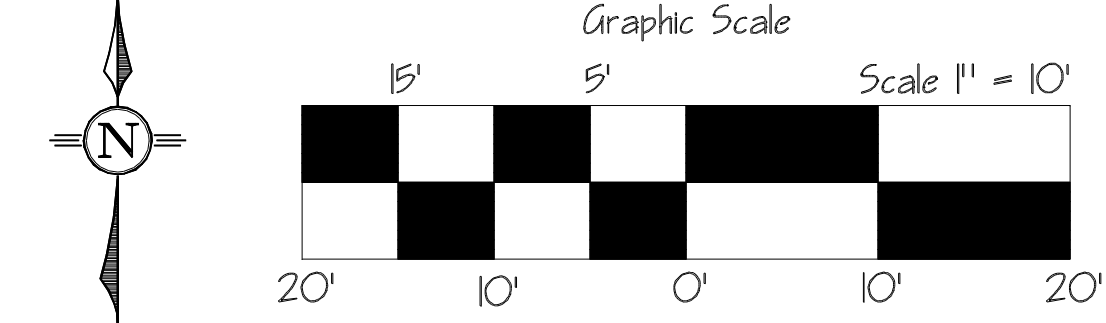
1. All proposed materials shall be Florida #1 or better in quality based on the grades and standards for nursery plants by the Florida Department of Agriculture. All updated amendments apply.
2. All trees and plant materials shall be planted in a professional manner according to the highest nursery standards.
3. Plant list quantities are for convenience only. The landscape contractor is responsible for all materials shown on the landscape plan. The plan always takes precedence over the plant list.
4. All mulch beds are to have a 3" layer.
5. Landscaping contractor is responsible for the stability and plumb condition of all trees planted. All hardwood and palm trees are to be staked.
6. All work performed on site must be done in a professional manner. The landscape contractor is responsible to leave the site clean of all materials and debris within the scope of this work.
7. All plant materials will be trimmed as needed for a finished professional appearance. All labels and tags will be removed.
8. All work performed must meet or exceed all local codes and requirements.



Sod: Argentine Bahia Solid Pieces
 Mulch: Pine Bark Mini Nuggets 3" thick in All Planting Beds
 Irrigation: Irrigation Coverage To All New Shrubs And Trees

Key	Qty	Botanical Name	Common Name	Size/Condition	Spacing
Trees					
b	3	Ilex opaca	HOLLY, EAGLESTON STANDARD	65g 25" cal. DBH 8-10' oa ht	50' oc
Lif	3	Lagerstroemia indica x fauriei 'Tuscarora'	GRAPE MYRTLE 'TUSCARORA' (DARK PINK)	65g 25" cal. DBH 8-10' oa ht	50' oc
Qv	2	Quercus virginiana	SOUTHERN LIVE OAK	65g 25" cal. DBH 8-10' oa ht	50' oc
Palms					
Sp	4	Sabal palmetto	SABAL PALM	12' ct	see plan
Sp	2	Sabal palmetto	SABAL PALM	10' ct	see plan
Shrubs					
Ljv	19	Ligustrum japonicum 'Variegatum'	LIGUSTRUM, JACK FROST	3g 18"x18"	36" oc
Ri	66	Rhaphiolepis indica	INDIAN HAWTHORN	3g 12"x16"	36" oc
Vo	189	Viburnum odoratissimum	VIBURNUM, SWEET	3g 18"x18"	36" oc
Vo	14	Viburnum odoratissimum	VIBURNUM, SWEET	7g 30"x30"	36" oc

Plant Sizes May Vary Based On The Market Availability At The Time Of The Installation



Landscape Design

BUNNELL WAREHOUSE LOT 6
 914 NINTH STREET
 BUNNELL, FL. 32110

Date: 1-28-22

Revisions: 3-11-21

Designer: BP

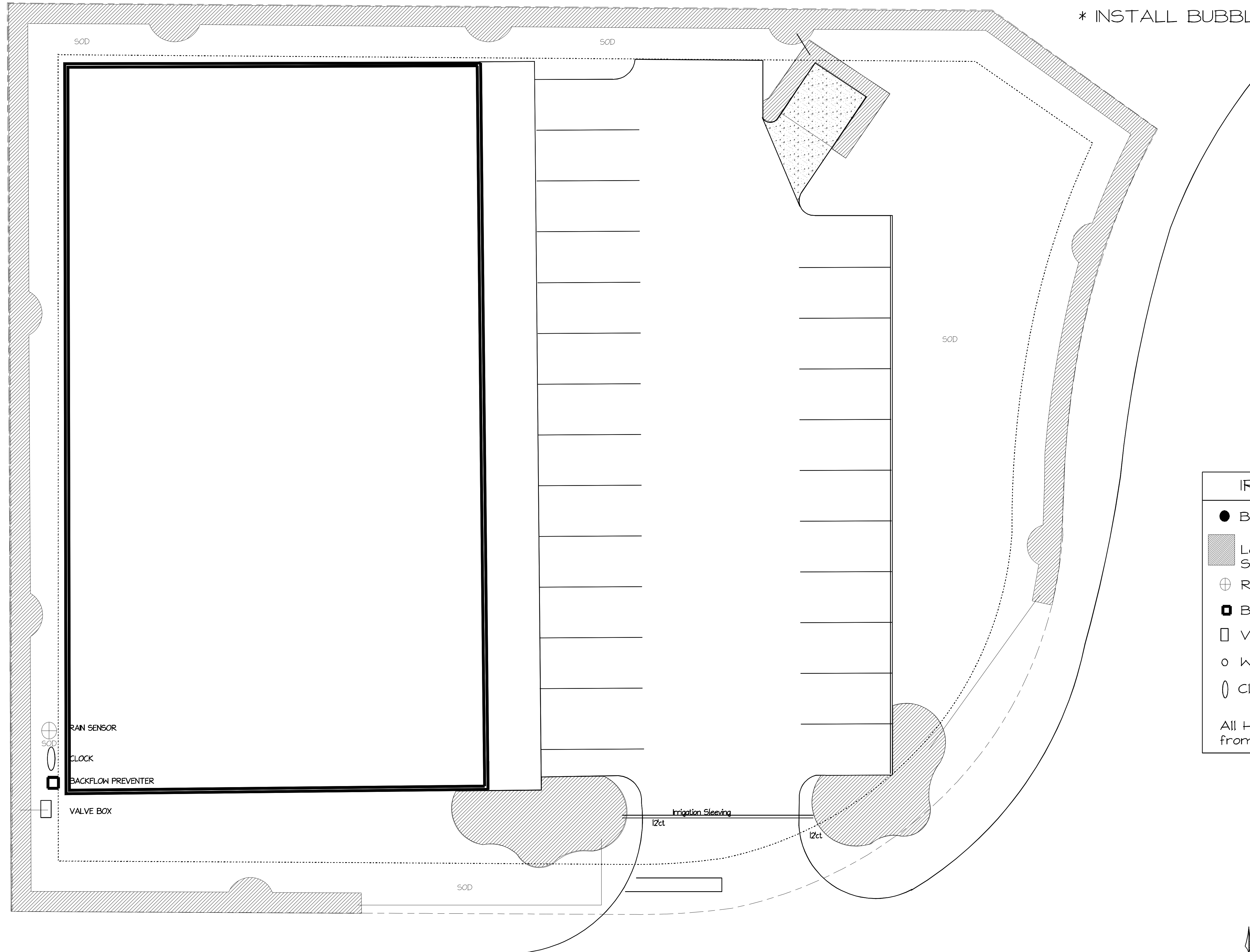
Main Office/Garden Center
 3335 North State Street, Bunnell FL 32110
 P. 386.437.3122 F. 386.437.6883



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IRRIGATION DESIGN

* INSTALL BUBBLERS ON ALL NEW TREES *



IRRIGATION KEY

- Bubblers On All Trees
- ▨ Low Volume Drip To All Shrubs
- ⊕ Rain Sensor; Hunter Mini Click
- Back Flow Preventer
- Valve Box; All Valves are PGV
- Water Source, TBD
- Clock; Hunter X-Core

All Heads are to be 12" away from all concrete surfaces.

IRRIGATION DESIGN

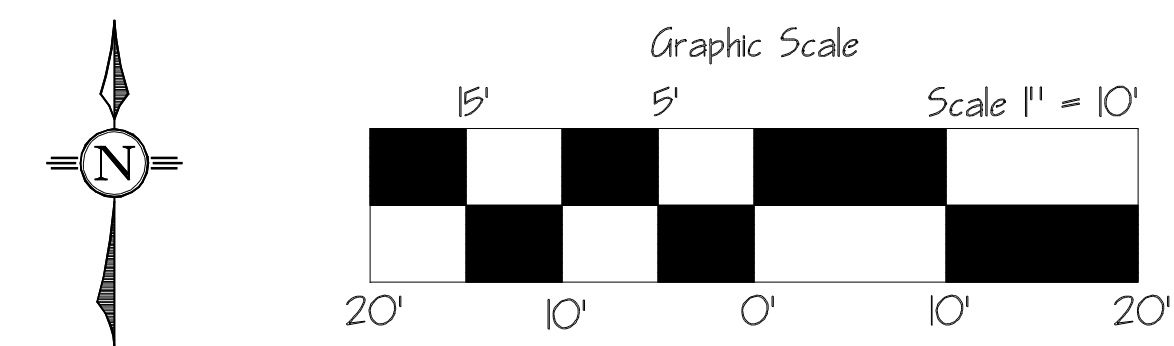
Landscape Design

BUNNELL WAREHOUSE LOT 6
914 NINTH STREET
BUNNELL, FL. 32110

Job #	Plan #
	1-28-22
Revisions	
3-11-22	
Designer	BP

VERDEGO
Design Center

Main Office/Garden Center
3335 North State Street, Bunnell FL 32110
P. 386.437.3122 F. 386.437.6883






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Legend

-  SUBJECT SITE
-  FLAGLER COUNTY PARCELS
-  STREETS



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

100 50 0 100 Feet

Date Saved: 5/27/2022

Created by: eobrien
Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Palm Industrial Park Lot 6\Palm Industrial Park Lot 6 Aerial Map.mxd

Aerial Map Palm Industrial Park Lot 6 Bunnell, Florida


300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. 8.

Document Date: 5/20/2022
Department: Community Development
Subject: Public Hearing: PZA 2022-66 Application by First Coast Roll Off, LLC for a special exception to allow a Source-separated Organics Processing Facility (SOPF) in the AGS, Agricultural & Silviculture district.
Property Address: 10900 State Highway 100 W
Zoning Designation: AG&S, Agricultural & Silviculture
Future Land Use Designation: Agricultural & Silviculture
Agenda Section: Old Business:

ATTACHMENTS:

Description	Type
SOPF Concept Plan	Concept Sketch
SOPF Location Map	Location Map(s)
DEP Email re: Proposed SOPF	Exhibit
Rule 62-709 requirements for SOPF	Exhibit
DEP Sample SOPF Inspection Report	Exhibit

Summary/Highlights:

First Coast Roll-Offs, LLC is requesting a Special Exception to construct and operate a wood chipping & grinding business located at 10900 State Highway 100 W in the AG&S, Agricultural & Silviculture zoning district.

These facilities are regulated as a "Source-separated Organics Processing Facility" by the Florida Department of Environmental Protection.

This item was heard at the April 5, 2022 Planning Zoning & Appeals Board meeting. After hearing from the applicant and neighboring property owners that opposed the approval of the Special Exception, the Board members voted to continue the request to their May 3rd meeting.

The Planning Zoning & Appeals Board continued this item to their June 7th meeting at the request of the applicant.

Background:

The subject property is a 15.2± acre property on the north side of State Highway 100 W about

1,400± feet east of John Campbell Drive. The property is vacant and wooded. On the eastern portion of the property about 50 feet inside the property line is a drainage ditch the runs north south across the entire length of the property.

The applicant plans to create a wood chipping/grinding operation that will intake land clearing debris. Land clearing debris is separate and distinct from construction and demolition debris. Land clearing debris means soils, tree remains, trees, and other vegetative matter that normally results from clearing wooded land for a construction project. The applicant plans to process the debris using a diesel operated tub grinder or horizontal grinder into wood chips that will be sold to paper mills and/or a power plant. Some of the debris will be kept on-site longer and reduced to soil. No chemicals will be used in the production of the soil.

This type of operation is regulated by the Florida Department of Environmental Protection as Source-separated Organics Processing Facility. Source-separated means that debris is separated by the land clearing company to screen out any undesirable materials before its brought on-site. Processed material has to be removed from the site within 18-months.

City staff has been contacted by property owners in the vicinity of the site expressing concerns about potential groundwater contamination from leachate and stormwater issues once the site is cleared. Because these SOPF facilities accept only organic materials and are not allowed to process treated wood or other demolition materials, groundwater contamination is not an issue with these facilities. As far as stormwater is concerned, the facility will be required to go through site plan approval through the City and also obtain a SJRWMD Environmental Resource Permit for their buildings, driveways, and vehicle use areas. The applicant will be required to construct a stormwater management system on their property.

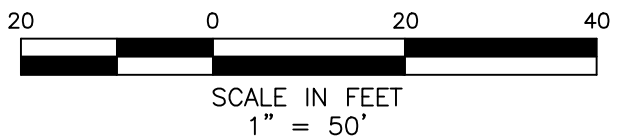
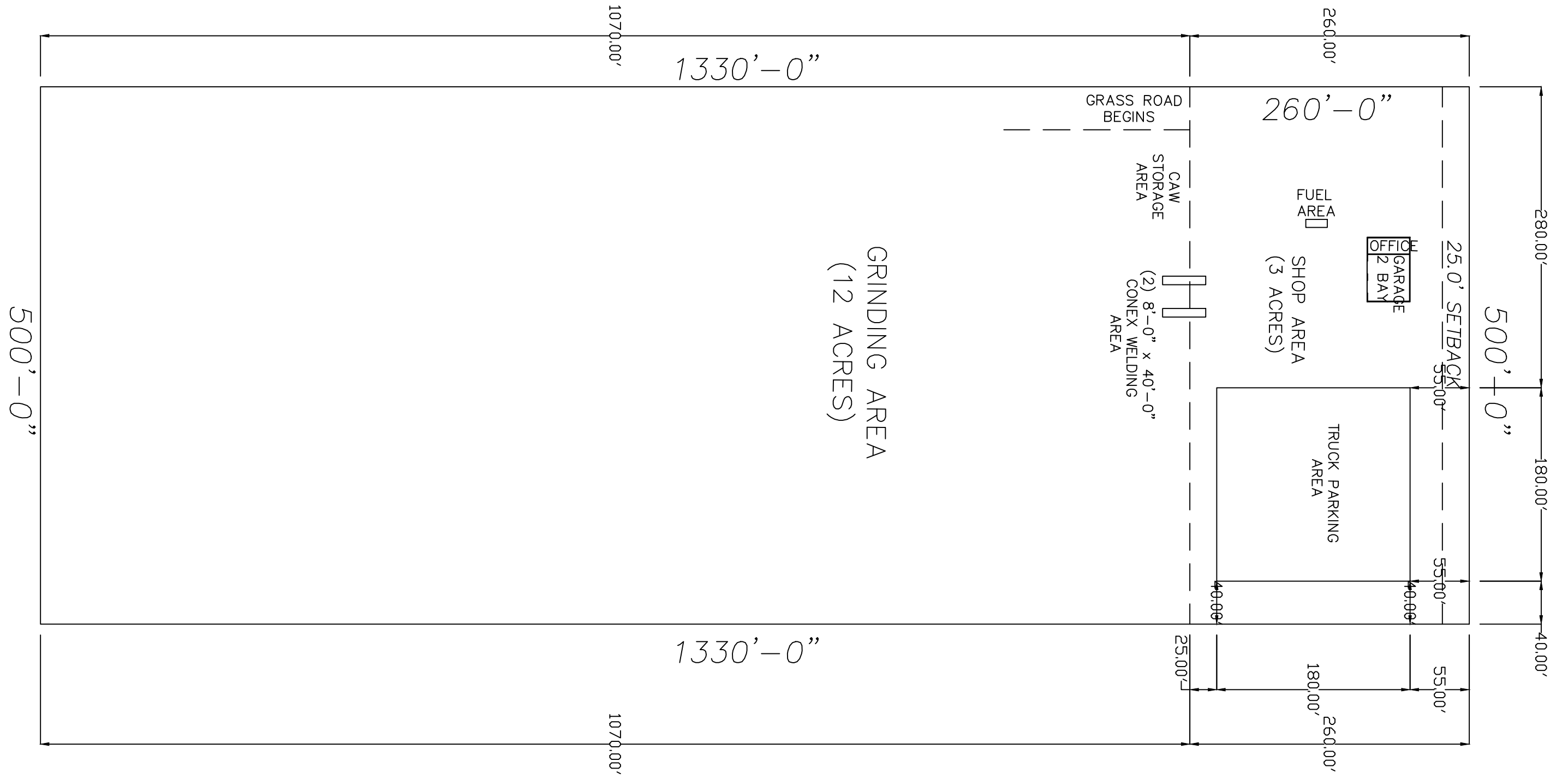
Decisions on Special Exceptions made by the Planning, Zoning & Appeals Board constitute final action on the application. This is subject to a right of appeal by the applicant to the City Commission. The Planning, Zoning & Appeals Board can impose conditions on Special exceptions that may be needed to prevent them from adversely affecting surrounding properties.

Staff Recommendation:

Approve the applicant's request for a Special Exception to operate a SOPF in Case Number 2022-66 upon the condition that the operation of the facility remains in compliance with the FDEP's requirements for Source-separated Organics Processing Facilities at all times.

City Attorney Review:





Approve if the Board finds that the request meets the criteria for special exceptions.

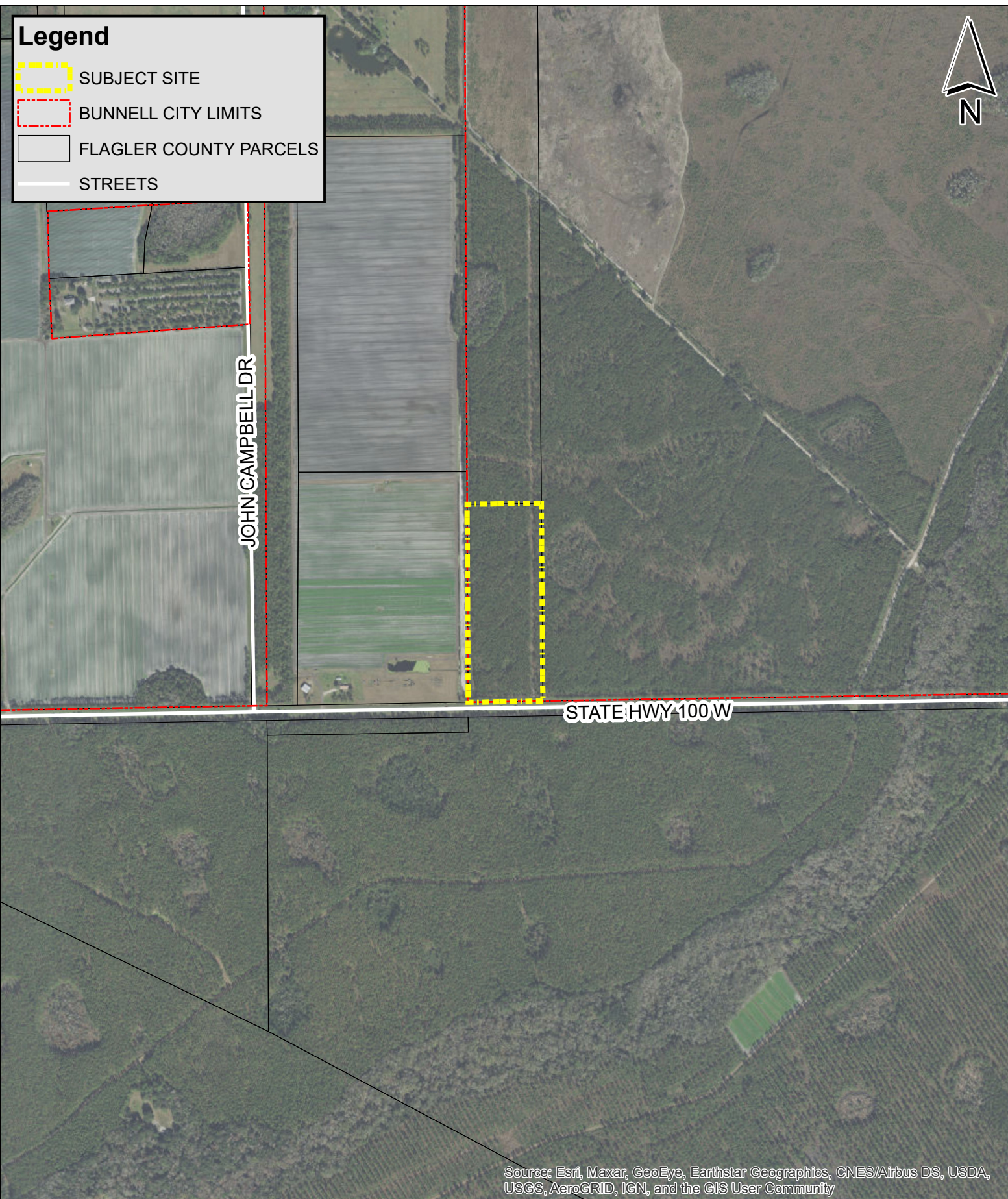


CONTRACTOR:
JOHN ADAMS
 GRINDERS COMMERCIAL AREA
 (904) 237-5759

DRAWN BY: KEB
 DATE: 2-14-22

Legend

-  SUBJECT SITE
-  BUNNELL CITY LIMITS
-  FLAGLER COUNTY PARCELS
-  STREETS



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

500 250 0 500 Feet



Date Saved: 1/19/2022

Created by: eobrien

Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\First Coast Rolloffs Property\First Coast Rolloffs Aerial Location Map.mxd

**Aerial Location Map
First Coast Rolloffs, LLC
Bunnell, Florida**



300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482

Mark Karet

From: Schroer, Jeffrey <Jeffrey.Schroer@FloridaDEP.gov>
Sent: Tuesday, March 1, 2022 6:59 AM
To: Mark Karet
Cc: Bogin, Michael; McClure, Anna C; Schroer, Jeffrey
Subject: RE: First Coast Wood Recycling Center ID 107287 Bunnell 21132
Attachments: 62-709.330 Criteria for Registration.doc; Sample SOPF Inspection Report.pdf

Follow Up Flag: Follow up
Due By: Monday, March 7, 2022 9:00 AM
Flag Status: Flagged

Categories: Important

Mark,

I can't think of any potential negative impacts of this type of facility on agriculture.

I'm sure you already looked, but the first attachment is the criteria for SOPFs and the second is a SAMPLE of the inspection report used to inspect a registered facility, which occurs every 4 years.

Most (all in the Northeast District) SOPFs are only processing yard trash. The inspection report sample shows set back requirements, security of site, processing requirements ect.

Basically a SOPF accepts yard trash (mostly tree debris) and size reduces within 6 months using a diesel operated tub grinder or lateral grinder. This produces wood chips which are not harmful, but must be removed from the property within 18 months of processing. Farming equipment operates on diesel, so the use of a diesel grinder presents no different threat than typical farming equipment.

In my opinion, one of the more challenging issues for the operators of SOPFs is what to do with the wood chips after processing. Mulch is the primary result as the facilities that use wood chips for fuel is very limited that market already saturated. The challenge of where the processed material goes is not for us to consider.

Note that there are currently three other registered SOPFs in the Bunnell area. Environmental Land Services, Bunnell Land Holdings, LLC and Darrell Cone Dozer Service.

Let me know if you want to talk by phone. I am currently telecommuting, but can give you a call from my personnel cell if desired.

Sincerely,

Jeff Schroer, Environmental Specialist
Florida Department of Environmental Protection
8800 Baymeadows Way West, Suite 100
Jacksonville, FL 32256
Phone: 904-256-1576
email: Jeffrey.Schroer@floridadep.gov



Please Note: Florida has a very broad public records law. Most written communications to or from state officials regarding state business are public records available to the public and media upon request. Your e-mail communications may therefore be subject to public disclosure.

 Please consider the environment before printing this email.

From: Bogin, Michael <Michael.Bogin@FloridaDEP.gov>
Sent: Monday, February 28, 2022 2:58 PM
To: Schroer, Jeffrey <Jeffrey.Schroer@FloridaDEP.gov>
Subject: FW: First Coast Wood Recycling Center ID 107287 Bunnell 21132

Jeff,
Based on your experience, could you provide more information to Mr. Karet regarding a SOPF?
Thank you.
Michael

From: Mark Karet <mkaret@zevcohen.com>
Sent: Monday, February 28, 2022 2:15 PM
To: Bogin, Michael <Michael.Bogin@FloridaDEP.gov>
Subject: First Coast Wood Recycling Center ID 107287 Bunnell 21132

EXTERNAL MESSAGE

This email originated outside of DEP. Please use caution when opening attachments, clicking links, or responding to this email.

Michael –

I am a planning consultant for the City of Bunnell. The owner of the above referenced perspective business, John Adams, has applied for a special exception through the City. Some neighbors have expressed concerns about impact on nearby agriculture. I would like to get a better understanding of what a SOPF is allowed to do and if there is any basis to have concerns about locating this facility in an active agricultural area. I have left you a voicemail. I would like few minutes of your time to get a better understanding of these issues, since I will shortly have to make a recommendation regarding this proposed facility. My telephone number is below.

Mark

Mark P. Karet, AICP | Director Planning and Landscape Architecture



300 Interchange Blvd. | Suite C
Ormond Beach, FL. 32174
P: 386-677-2482 | F: 386-677-2505



Requirements for source-separated organics facilities qualifying for registration - Chapter 62-709, F.A.C.

Rule/Referenced Rule	Provision
Specific to all	
62-709.300(7)(a)	No person shall cause or allow objectionable odor in violation of Chapter 62-296, F.A.C.
62-709.300(7)(b)	Rule 62-701.300, and subsection 62-701.320(13) apply to facilities regulated under 62-709.
62-701.300(1)(b)	Stored or processed in a way or location that does not violate air quality or water quality standards.
62-701.300(2)(a)	Geological formations or subsurface features must provide support for the facility
62-701.300(2)(c)	Not in a dewatered pit unless permanent leachate containment and special design techniques used.
62-701.300(2)(d)	Not in any natural or artificial water body(e.g., ground water and wetlands within DEP jurisdiction).
62-701.300(2)(f)	Not be placed on the right of way of any public highway, road, or alley.
62-701.300(3)	No open burning in the recycling area of the facility and controlled burning complies with DEP rules.
62-701.300(14)	No CCA treated wood in material applied as a ground cover, soil or soil amendment.
62-701.300(15)	No unconfined emissions of particulate matter in violation of paragraph 62-296.320(4)(c), F.A.C.
62-709.320(2)(a)	Have the necessary operational features and equipment - unless otherwise specified, including
62-709.320(2)(a)1.	effective barrier to prevent unauthorized entry and dumping
62-709.320(2)(a)2.	Dust and litter control methods
62-709.320(2)(a)3.	Fire protection and control provisions to deal with accidental burning of solid waste, including
62-709.320(2)(a)3.a.	20-foot all-weather access road all around the perimeter
62-709.320(2)(a)3.b.	No material shall be mechanically compacted
62-709.320(2)(a)3.c.	No material shall be more than 50 feet from access by motorized firefighting equipment
62-709.320(2)(b)	Operate in a manner to control vectors
62-709.320(2)(c)	Operate in a manner to control objectionable odors per with Rule 62-296.320(2), F.A.C.
62-709.320(2)(d)	Keep any installed drains and leachate or condensate conveyances cleaned
62-709.320(2)(e)	Process received solid waste timely as follows
62-709.320(2)(e)1.	Size-reduce or remove yard trash within 6 months or time needed to receive 3,000 tons or 12,000 cubic yards, whichever is greater. Separated logs with 6 inch diameter or greater can be stored for up to 12 months before being size-reduced or removed.
62-709.320(2)(e)2.	Putrescible waste (e.g., vegetative wastes, animal byproducts or manure) shall be processed and incorporated into the composting material, or removed from the facility, within 48 hours.
62-709.320(2)(f)	Containerized and removed immediately any treated or untreated biomedical waste; hazardous waste; or any materials having (PCB) concentration of 50 ppm or greater.
62-709.320(2)(g)	All residuals, solid waste and recyclable materials removed and recycled or disposed upon ceasing operations. Any remaining processed material shall be properly used or disposed.
62-709.320(4)(a)	Keep monthly records of incoming and outgoing material for at least three years..
62-709.320(4)(b)	If temperature used to show disinfection or vector attraction achieved, keep records for 3 years.

Specific to yard trash only facilities	
62-709.300(7)(b)	Rule 62-701.300, and subsection 62-701.320(13) apply to facilities regulated under 62-709.
62-701.300(12)(a)	At least 100 feet from off-site potable water well that existed before facility registered.
62-701.300(12)(b)	At least 50 feet from any body of water, including wetlands. Not including parts of permitted stormwater system, or water bodies totally within facility with no discharge to surface waters.
62-709.330(2)	Processed material gone from facility within 18 months, unless longer storage authorized by permit.
62-709.330(3)	Accept only yard trash, and bags used to collect yard trash. Containerized any other material

Specific to composting of vegetative wastes, animal byproducts or manure, or blending manure	
62-709.300(7)(b)	Rule 62-701.300, and subsection 62-701.320(13) apply to facilities regulated under 62-709.
62-701.300(2)(b)	Be more than 500 feet off-site potable water well that existed before facility registered
62-701.300(2)(e)	Within 200 feet from any body of water, including wetlands. Not including parts of permitted stormwater system, or water bodies totally within facility with no discharge to surface waters.
62-701.320(13)(b)	Not within 10,000 feet of any licensed and operating airport runway used by turbine powered aircraft, or within 5,000 feet of any licensed and operating airport runway used only by piston engine aircraft, unless applicant demonstrates that the facility is designed and will be operated so that it does not pose a bird hazard to aircraft.
62-709.350(2)	Carbon:nitrogen ratio of the blended feedstocks shall be greater than 20.
62-709.350(3)	Piles do not exceed 12 feet in height.
62-709.350(5)	All material removed within 18 months, unless longer storage authorized by permit.
62-709.350(6)	Show that disinfection achieved. not required if made from only pre-consumer vegetative waste
62-709.350(7)	Vector attraction reduction controls shall include either (a) or (b) below:
62-709.350(7)(a)	Composted for at least 14 days, with temperature no lower than 40 degrees Celsius and average temperature of the material being composted higher than 45 degrees Celsius; or
62-709.350(7)(b)	Specific oxygen uptake rate (SOUR) for material being composted or blended shall be equal to or less than 1.5 milligrams of oxygen per hour per gram of total solids (dry weight basis) at a temperature of 20 degrees Celsius



Florida Department of
Environmental Protection
Inspection Checklist

DRAFT

FACILITY INFORMATION:

Facility Name: ENVIRONMENTAL LAND SERVICES
On-site Inspection Start Date: 03/01/2022
On-site Inspection End Date: 03/01/2022
WACS No.: 100977
Facility Street Address: 1841 STATE STREET NORTH
City: BUNNELL
County Name: FLAGLER
Zip: 32110

INSPECTION PARTICIPANTS:

(Include ALL Landfill and Department Personnel with Corresponding Titles)

Principal Inspector: Jeff Schroer, Inspector

Other Participants:

INSPECTION TYPE:

Routine Operation Inspection for WPF - Source-Separated Organics Proc Fac (SOPF)

ATTACHMENTS TO THE INSPECTION CHECKLIST:

This Cover Page to the Inspection Checklist may include any or all of the following attachments as appropriate.

Note: Checklist items with shaded boxes are for informational purposes only.

10.0 - SECTION 10.0 - REGISTERED SOURCE-SEPARATED ORGANICS PROCESSING FACILITIES

10.0 - SECTION 10.0 - REGISTERED SOURCE-SEPARATED ORGANICS PROCESSING FACILITIES

Requirements:

The requirements listed in this section provide an opportunity for the Department's inspector to indicate the conditions found at the time of the inspection. A "Not Ok" response to a requirement indicates either a potential violation of the corresponding rule or an area of concern that requires more attention. Both potential violations and areas of concern are discussed further at the end of this inspection report.

- | | | | |
|--|--|---|---|
| FACILITY TYPE(S) | MATERIAL(S) PROCESSED | PRODUCTS | METHOD OF COMPOSTING |
| <input type="checkbox"/> Yard Trash Transfer Station | <input checked="" type="checkbox"/> Yard Trash | <input checked="" type="checkbox"/> Mulch | <input type="checkbox"/> Windrow |
| <input checked="" type="checkbox"/> Yard Trash Recycling | <input type="checkbox"/> Manure | <input type="checkbox"/> Firewood | <input type="checkbox"/> Passive aerated windrows |
| | <input type="checkbox"/> Animal byproducts | <input type="checkbox"/> Fuel | <input type="checkbox"/> Aerated static piles |
| | <input type="checkbox"/> Pre-consumer vegetative waste | <input type="checkbox"/> Compost | <input type="checkbox"/> In-vessel composting |
| | <input type="checkbox"/> Vegetative waste | <input type="checkbox"/> Soil Amendment | |
| | | <input type="checkbox"/> Soil | |
| | | <input checked="" type="checkbox"/> Other | |

Item No.	REQUIREMENTS AND PROHIBITIONS APPLICABLE TO ALL REGISTERED SOURCE-SEPARATED ORGANICS PROCESSING FACILITIES	Ok	Not Ok	Unk	N/A
10.1	Unauthorized storage, processing, or disposal of solid waste except as authorized at a permitted or registered solid waste management facility or other exempt facility? 62-701.300(1)(a)				
10.2	Have objectionable odors been caused or allowed in violation of Chapter 62-296, F.A.C.? 62-709.300(7)(a)				
10.3	Unauthorized storage or processing in a way or location that violates air quality or water quality standards? 62-709.300(7)(b), 62-701.300(1)(b)				
10.4	Do geological formations or subsurface features provide support for the facility? 62-709.300(7)(b), 62-701.300(2)(a)				
10.5	Unauthorized disposal or storage prohibited, except yard trash, within 200 feet of any natural or artificial body of water, including wetlands without permanent leachate controls, except impoundments or conveyances which are part of an on-site, permitted stormwater management system or on-site water bodies with no off-site discharge? 62-701.300(2)(e), 62-709.320(3)				
10.6	Unauthorized storage or processing in any natural or artificial water body (e.g. ground water and wetlands within DEP jurisdiction)? 62-709.300(7)(b), 62-701.300(2)(d)				
10.7	Unauthorized storage or processing on the right of way of any public highway, road, or alley? 62-709.300(7)(b), 62-701.300(2)(f)				
10.8	Unauthorized open burning of solid waste except in accordance with Department requirements? 62-709.300(7)(b), 62-701.300(3)				
10.9	Unauthorized incorporation of CCA treated wood into material that will be applied as a ground cover, soil or soil amendment? 62-709.300(7)(b), 62-701.300(14)				
10.10	Unauthorized unconfined emissions of particulate matter in violation of paragraph 62-296.320(4)(c), F.A.C.? 62-709.300(7)(b), 62-701.300(15)				
10.11	Does the facility have the necessary operational features and equipment - unless otherwise specified? Including: 62-709.320(2)(a)				
10.11.1	Effective barrier to prevent unauthorized entry and dumping? 62-709.320(2)(a)1				
10.11.2	Dust and litter control methods? 62-709.320(2)(a)2				
10.12	Does the facility have the necessary fire protection and control provisions to deal with accidental burning of solid waste? Including 62-709.320(2)(a)3				
10.12.1	20-foot all-weather access road all around the perimeter? 62-709.320(2)(a)3.a.				
10.12.2	No material mechanically compacted? 62-709.320(2)(a)3.b.				

Inspection Date: 03/01/2022

Item No.	REQUIREMENTS AND PROHIBITIONS APPLICABLE TO ALL REGISTERED SOURCE-SEPARATED ORGANICS PROCESSING FACILITIES	Ok	Not Ok	Unk	N/A
10.12.3	No material more than 50 feet from access by motorized firefighting equipment? 62-709.320(2)(a)3.c.				
10.13	Is the facility operated in a manner to control vectors? 62-709.320(2)(b)				
10.14	Is the facility operated in a manner to control objectionable odors per with Rule 62-296.320(2), F.A.C.? 62-709.320(2)(c)				
10.15	Are any installed drains and leachate or condensate conveyances kept cleaned? 62-709.320(2)(d)				
10.16	Is the received solid waste processed timely as follows? 62-709.320(2)(e)				
10.16.1	Is yard trash size-reduced or removed within 6 months or time needed to receive 3,000 tons or 12,000 cubic yards, whichever is greater? (Separated logs with 6 inch diameter or greater can be stored for up to 12 months before being size-reduced or removed.) 62-709.320(2)(e)1				
10.16.2	Is putrescible waste (e.g. vegetative wastes, animal byproducts or manure) processed and incorporated into the composting material, or removed from the facility, within 48 hours? 62-709.320(2)(e)2				
10.17	Is any treated or untreated biomedical waste; hazardous waste; or any materials having (PCB) concentration of 50 ppm or greater containerized and removed immediately? 62-709.320(2)(f), 62-701.300(4), 62-701.300(5), 62-701.300(6)				
10.18	Have all residuals, solid waste and recyclable materials been removed and recycled or disposed and has any remaining processed material been properly used or disposed upon the facility ceasing operations? 62-709.320(2)(g)				
10.19	If temperature is used to show disinfection or vector attraction achieved, are records kept for at least three years? 62-709.320(4)(b)				
10.20	Is the registration for the facility current and on file with the Department? 62-709.320(3)(b)				
10.21	Are renewal applications for annual registration of the facility submitted to the Department by July 1st, if applicable? 62-709.320(3)(c)				
10.22	Are monthly records of incoming and outgoing material kept on-site or at another location as indicated on the registration form for at least three years? 62-709.320(4)(a)				
10.23	Are Annual Reports, based upon the preceding calendar year, summarizing monthly records, submitted to the Department as required? 62-709.320(4)(a)				
Item No.	REQUIREMENTS AND PROHIBITIONS APPLICABLE TO YARD TRASH ONLY FACILITIES	Ok	Not Ok	Unk	N/A
10.24	Unauthorized storage or processing within 100 feet from off-site potable water well that existed before facility registered? 62-709.300(7)(b) and 62-701.300(12)(a)				
10.25	Unauthorized storage or processing within 50 feet from any body of water, including wetlands? (Does not include parts of permitted stormwater system, or water bodies totally within facility with no discharge to surface waters.) 62-709.300(7)(b), 62-701.300(12)(b)				
10.26	Is processed material removed from facility within 18 months, unless longer storage authorized by permit? 62-709.330(2)				
10.27	Is the facility accepting only yard trash, and bags used to collect yard trash and containerizing any other material? 62-709.330(3)				
Item No.	REQUIREMENTS AND PROHIBITIONS APPLICABLE TO ONLY THOSE FACILITIES THAT BLEND MANURE OR COMPOST VEGETATIVE WASTES, ANIMAL BYPRODUCTS OR MANURE	Ok	Not Ok	Unk	N/A
10.28	Unauthorized storage or processing within 500 feet off-site potable water well that existed before facility registered? 62-709.300(7)(b) and 62-701.300(2)(b)				
10.29	Unauthorized storage or processing within 200 feet from any body of water, including wetlands? (Does not include parts of permitted stormwater system, or water bodies totally within facility with no discharge to surface waters.) 62-709.300(7)(b), 62-701.300(2)(e)				
10.30	Unauthorized storage or processing within 10,000 feet of any licensed and operating airport runway used by turbine powered aircraft, or within 5,000 feet of any licensed and operating airport runway used only by piston engine aircraft, unless applicant demonstrates that the facility is designed and will be operated so that it does not pose a bird hazard to aircraft? 62-709.300(7)(b), 62-701.320(13)(b)				
10.31	Is the carbon:nitrogen ratio of the blended feedstocks greater than 20? 62-709.350(2)				

Item No.	REQUIREMENTS AND PROHIBITIONS APPLICABLE TO ONLY THOSE FACILITIES THAT BLEND MANURE OR COMPOST VEGETATIVE WASTES, ANIMAL BYPRODUCTS OR MANURE	Ok	Not Ok	Unk	N/A
10.32	Do piles exceed 12 feet in height? 62-709.350(3)				
10.33	Is all material removed within 18 months, unless longer storage authorized by permit? 62-709.350(5)				
10.34	Is there documentation showing that disinfection has been achieved? Note that this is not required if they are composting only pre-consumer vegetative waste with or without yard trash. 62-709.350(6)				
10.35	<p>Is there vector attraction reduction controls that include one of the following? 62-709.350(7)</p> <ul style="list-style-type: none"> <input type="checkbox"/> Temperature monitoring records showing the waste was composted for at least 14 days, with temperature no lower than 40 degrees Celsius and average temperature of the material being composted higher than 45 degrees Celsius. or 62-709.350(7)(a) <input type="checkbox"/> Results of testing showing the specific oxygen uptake rate (SOUR) for material being composted or blended equal to or less than 1.5 milligrams of oxygen per hour per gram of total solids (dry weight basis) at a temperature of 20 degrees Celsius. 62-709.350(7)(b) 				

Signed:

Jeff Schroer _____

Inspector _____

PRINCIPAL INSPECTOR NAME

PRINCIPAL INSPECTOR TITLE

DEP _____

PRINCIPAL INSPECTOR SIGNATURE

ORGANIZATION

DATE

Report Approvers:

Approver: _____

Inspection Approval Date: _____



City of Bunnell, Florida

Agenda Item No. 9.

Document Date: 5/20/2022
Department: Community Development
Subject: Ordinance 2022-16 Requesting to change the official zoning map for 17,527± acres of land within the City of Bunnell.
Property Address: Various
Zoning Designation: Various
Future Land Use Designation: Various
Agenda Section: Old Business:

ATTACHMENTS:

Description	Type
Ordinance 2022-16 Mass Rezoning	Ordinance
Ordinance Exhibit "A" Parcels to be Rezoned	Exhibit
Ordinance Exhibit "B" - Map Series	Exhibit

Summary/Highlights:

This is an administrative request to amend the official zoning map for 17,527± acres of land in various ownerships to assign City of Bunnell zoning classifications to the subject properties that are consistent with the City's adopted Future Land Use Map.

In its original form this item involved the rezoning of 84,060± acres. The item was continued to the June 7th meeting by the Planning, Zoning & Appeals Board at the request of staff. Staff requested the continuance in order to allow time for the removal all the parcels of land that have a "Conservation" future land use designation from this proposed rezoning. These "Conservation" parcels will be part of a separate process that will address both their future land use designations and recommended zoning.

Background:

In 2006-2007, the City of Bunnell annexed many thousand of acres into its corporate limits. At the time of the annexation, the City's comprehensive plan was amended to provide City of Bunnell future land use designations for the annexed lands. These City land use designations were, in almost all cases, a one-to-one translation from the Flagler County's future land use designations that were on the property at the time of annexation. The County zoning was left in place. Today almost all of the annexed lands still retain their obsolete Flagler County zoning. Some other properties within the City have no zoning at all which are shown on the official zoning map as "ND-No Designation"

This is a problem because land without City of Bunnell zoning is not covered by the City's land development code nor does the City have the authority to administer the County's land development code within its jurisdiction. This has meant that many property owners have been required to go through unanticipated zoning changes just when thought they were ready to build. This has played havoc with schedules, financing and constructions costs for many landowners.

In order to remedy this situation, the City's planning consultant was directed to assign proposed City zoning based on the City's Future Land Use Map in the *City of Bunnell Comprehensive Plan 2035*. This is in conformance with state law which requires that all land development regulations (which includes zoning) to be consistent with the City's comprehensive plan.

Individual public hearing notices have been prepared and sent to the affected property owners. The notices identified the affected parcel numbers, their existing City future land use designations and their obsolete County zoning categories as well as their new proposed City zoning categories. The notice also told land owners that they can opt of this mass zoning amendment if they wish to do so. They will have to rezone at their own expense prior to building.

City staff has received quite a bit of feedback since the notices have gone out to the property owners. Most of the negative feedback that has been received has come from land owners that were unaware of their existing future land designations or believe those designations to be wrong. Addressing changes or adjustments to the Future Land Use Map is outside of the scope of this effort due to the timeframes involved in amending the comprehensive plan. No future land uses designations are proposed to be changed as a part of this effort. All proposed zoning, as required by law, is based on the most current Future Land Use Map.

Staff Recommendation:

Approve Ordinance 2022-16 changing the official zoning map for 17,527± acres of land within the City of Bunnell to be consistent with the adopted comprehensive plan.

City Attorney Review:

Approved as to form and legality.

ORDINANCE 2022-16

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 17,527± ACRES WITHIN THE CITY OF BUNNELL AS DESCRIBED IN EXHIBIT “A” PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the properties to be rezoned are certain parcels of real property, which land totals approximately 17,527± acres, and which parcels are identified by Parcel Identification Numbers in the attached Exhibit “A”; and

WHEREAS, the City of Bunnell has petitioned to rezone said parcels of real property from various Flagler County and undesignated zoning classifications to the zoning classifications shown in Exhibit “A” as corresponding to each specified parcel, all in accordance with the City of Bunnell Comprehensive Plan, and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the general planning and land development issues should the subject rezoning be approved and has otherwise reviewed and evaluated the rezoning to determine whether it comports with sound and generally accepted land use planning practices and principles as well as whether the rezoning is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on May 3, 2022 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject properties as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

(a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject properties as well as the recitals (whereas clauses) to this Ordinance.

(b) The subject properties, which are approximately 17,527± acres in size, are those parcels identified by Parcel Identification Numbers as shown within Exhibit “A”.

(c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

(a) Upon enactment of this Ordinance the following described properties, as depicted in the map attached to this Ordinance, and totaling approximately 17,527± acres in size, shall be rezoned to the zoning classifications shown in Exhibit “A” as corresponding to each specified parcel and as depicted in the maps attached to this ordinance from various Flagler County and undesignated zoning classifications; and

(b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.

(c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached as Exhibit “B” to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon adoption.

First Reading: Approved on this _____ day of _____ 2022.

Second/Final Reading: adopted on this _____ day of _____ 2022.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

Attest:

Kristen Bates, CMC, City Clerk

Seal:

Exhibit "A"

List of Parcels & Proposed Zoning Classifications

Exhibit “B”

Proposed Zoning Map Series

EXHIBIT A - PARCELS TO BE REZONED

Table with 16 columns: PROP ID, PARCEL ID, PROPERTY USE, FUTURE LAND USE, CURRENT ZONING, PROPOSED ZONING, LEGAL ACREAGE, PRIMARY OWNER, ADDRESS LINE 1, ADDRESS LINE 2, ADDRESS LINE 3, ADDRESS (CITY), ADDRESS (STATE), ADDRESS (ZIP). Contains detailed parcel information and zoning changes.

EXHIBIT A - PARCELS TO BE REZONED

PROP ID	PARCEL ID	PROPERTY USE	FUTURE LAND USE	CURRENT ZONING	PROPOSED ZONING	LEGAL ACREAGE	PRIMARY OWNER	ADDRESS LINE 1	ADDRESS LINE 2	ADDRESS LINE 3	ADDRESS (CITY)	ADDRESS (STATE)	ADDRESS (ZIP)
6234	10-12-29-0000-04070-0000	SOD	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	40	STRICKLAND SHANNON S		PO BOX 2288		BUNNELL	FL	32110
6234	10-12-29-0000-04070-0000	SOD	COMM-MED COMMERCIAL-MEDIUM	AC (F) AGRICULTURE (FLAGLER)	B-2 BUSINESS-2	40	STRICKLAND SHANNON S		PO BOX 2288		BUNNELL	FL	32110
10279	10-12-30-0650-00080-0190	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	17.6	Q17 HOLDINGS LLC		8600 NW 36 AVENUE		MIAMI	FL	33147
10287	10-12-30-0650-00000-0110	VACANT	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	5	CARNEIRO MANUEL & CATHERINE	ANNE SMITH H&W TRUSTEES	4 CLASSIC CT S		PALM COAST	FL	32137
11116	10-12-30-5139-00000-0010	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.287	GREENSLADE BROS LLC		205 W LAMBERT STREET		BUNNELL	FL	32110
11117	10-12-30-5139-00000-0020	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.46	EDWARDS RICHARD R	& TERESA DAWN MCMAHAN & MICHAEL RUBIN EDWARDS JTWROS	PO BOX 565		BUNNELL	FL	32110
11118	10-12-30-5139-00000-0040	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.23	CREWS JOYCE		PO BOX 63		BUNNELL	FL	32110
11119	10-12-30-5139-00000-0050	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.475	EDWARDS RICHARD		P.O. BOX 1637		BUNNELL	FL	32110
11121	10-12-30-5139-00000-0070	CHURCHES	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.521	DOMINION LIFE WORSHIP CENTER	INC	808 FOURTH STREET		BUNNELL	FL	32110
11122	10-12-30-5139-00000-0080	MUNICIPAL	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.225	CITY OF BUNNELL		PO BOX 756		BUNNELL	FL	32110
11123	10-12-30-5139-00000-0090	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.574	WILCOX DAN A &	JUANA	436 CR 140		BUNNELL	FL	32110
11124	10-12-30-5139-00000-0100	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.375	DOMINION LIFE WORSHIP CENTER	INC	808 FOURTH STREET		BUNNELL	FL	32110
11125	10-12-30-5139-00000-010A	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.25	TOUMAJEAN JEBRAN		812 FIFTH ST		BUNNELL	FL	32110
11126	10-12-30-5139-00000-0110	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.327	SLS FOUNDATION TRUST		PO BOX 1155		BUNNELL	FL	32110
11127	10-12-30-5139-00000-0120	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.25	COLEMAN MATTHEW DAVID		809 5TH STREET		BUNNELL	FL	32110
11128	10-12-30-5139-00000-0130	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.23	MAZZATTO LOUISE C		904 DEEN ROAD		BUNNELL	FL	32110
11129	10-12-30-5139-00000-0140	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.215	WOLFF EMMALYN MAELLARO		PO BOX 1820		BUNNELL	FL	32110
12357	10-13-30-0000-03010-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	152.93	WEYERHAEUSER COMPANY	ATTN: TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
12363	10-13-30-0000-03010-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	115.66	WEYERHAEUSER COMPANY	ATTN: TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
2862	11-11-28-0000-01010-0040	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	312.81	M.L. SPALDING LTD PARTNERSHIP	% TAYLOR SPALDING	744 ATTITUDE AVE		DAYTONA BEACH	FL	32124
2863	11-11-28-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	356.66	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
11164	11-12-30-0000-00352-0042	NO AG ACREAGE	SF-LOW SINGLE FAMILY - LOW DENSITY	AC (F) AGRICULTURE (FLAGLER)	R-1 SINGLE-FAMILY RESIDENTIAL	21.19	MAYES JOE J		1 PINE FOREST BLVD		BUNNELL	FL	32110
11167	11-12-30-0000-10352-0034	TIMBERLAND UNCLAS	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	20.74	OARE ASSOCIATES LLC	C/O SHUFFIELD, LOWMAN & WILSON, P.A.	PO BOX 612		DELAND	FL	32721
11184	11-12-30-0650-0000A-0220	VACANT	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	3.75	CARNEIRO MANUEL & CATHERINE	ANNE SMITH H&W TRUSTEES	4 CLASSIC CT S		PALM COAST	FL	32137
11188	11-12-30-0650-00080-0210	CHURCHES	PUB PUBLIC	ND UNDESIGNATED	P PUBLIC	5	CHURCH OF JESUS CHRIST OF	LATTER-DAY SAINTS	C/O TAX ADMIN 22ND FLOOR	50 EAST NORTH TEMPLE	SALT LAKE CITY	UT	84150
11188	11-12-30-0650-00080-0210	CHURCHES	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	5	CHURCH OF JESUS CHRIST OF	LATTER-DAY SAINTS	C/O TAX ADMIN 22ND FLOOR	50 EAST NORTH TEMPLE	SALT LAKE CITY	UT	84150
11200	11-12-30-0650-00000-0040	COUNTY	PUB PUBLIC	ND UNDESIGNATED	P PUBLIC	83.19	BOARD OF COUNTY COMMISSIONERS	OF FLAGLER COUNTY	1769 E MOODY BLVD		BUNNELL	FL	32110
11206	11-12-30-0650-00000-0110	STATE	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	1	STATE OF FLORIDA DEPARTMENT	OF TRANSPORTATION	719 SOUTH WOODLAND BLVD		DELAND	FL	32720
11417	12-12-30-0650-0000A-0080	MUNICIPAL	PUB PUBLIC	IND (F) INDUSTRIAL (F)	P PUBLIC	0.257	CITY OF BUNNELL		PO BOX 756		BUNNELL	FL	32110
11453	12-12-30-0650-00000-0070	TIMBERLAND 90+	MU MIXED USE	COM-1 (COPC) COMMERCIAL-1 (CITY OF PALM COAST)	RMU RESIDENTIAL MIXED USE	74.98	OARE ASSOCIATES LLC	JANET E MARTINEZ, ESQ SHUFFELD LOWMAN WILSON	PO BOX 612		DELAND	FL	32721
5200	13-12-28-1800-01280-0190	MANUFACTURED HOME	COMM-MED COMMERCIAL-MEDIUM	MH-1 (F) RURAL MOBILE HOME (FLAGLER)	B-2 BUSINESS-2	0.505	ROBINSON FRED JR &	CHERYL ROBINSON	266 WELLINGTON DRIVE		PALM COAST	FL	32164
5220	13-12-28-1800-01280-0390	STORES, 1 STORY	COMM-MED COMMERCIAL-MEDIUM	C-1 (F) COMMERCIAL (FLAGLER)	B-2 BUSINESS-2	0.505	MOTSINGER JODEE H		P O BOX 640		BUNNELL	FL	32110
5221	13-12-28-1800-01280-0400	VACANT COMMERCIAL	COMM-LOW COMMERCIAL-LOW	C-1 (F) COMMERCIAL (FLAGLER)	B-1 BUSINESS-1	0.505	SWANSON PAMELA & JOSEPH	ARTHUR ARSENAUT III JTWROS	3636 CITRUS AVE		BUNNELL	FL	32110
5222	13-12-28-1800-01280-0410	STORES, 1 STORY	COMM-LOW COMMERCIAL-LOW	C-1 (F) COMMERCIAL (FLAGLER)	B-1 BUSINESS-1	0.905	SWANSON PAMELA & JOSEPH	ARTHUR ARSENAUT III JTWROS	3636 CITRUS AVE		BUNNELL	FL	32110
5397	13-12-28-1800-01380-0130	VACANT	COMM-MED COMMERCIAL-MEDIUM	MH-1 (F) RURAL MOBILE HOME (FLAGLER)	B-2 BUSINESS-2	0.505	ROBINSON FRED JR & CHERYL H&W		266 WELLINGTON DRIVE		PALM COAST	FL	32164
6294	13-12-29-1250-00010-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	25	ALLEN LANDS LLC		C/O TAX DEPT		BRUNSWICK	GA	31525
6295	13-12-29-1250-00100-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	2	ALLEN LANDS LLC		C/O TAX DEPT		BRUNSWICK	GA	31525
6300	13-12-29-5550-00010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	ALLEN LANDS LLC		C/O TAX DEPT		BRUNSWICK	GA	31525
6302	13-12-29-5550-00020-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	40	DIMOV PAVEL & OLEKSANDR &	UNDERHAY GERHARDI	38 BRUCE LANE		PALM COAST	FL	32137
6322	13-12-29-5550-00050-0010	IMPROVED AG	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	STRICKLAND SHANNON S		380 CR 80		BUNNELL	FL	32110
6323	13-12-29-5550-00050-0030	SOD	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	STRICKLAND SHANNON S	& ANGELA C H&W	PO BOX 2288		BUNNELL	FL	32110
6329	13-12-29-5550-00070-0010	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	10	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6330	13-12-29-5550-00080-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	120	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6339	13-12-29-5550-00150-0000	TIMBERLAND 90+	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	80	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6347	14-12-29-5550-00010-0000	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	TUCKER ALFRED R JR	LIFE ESTATE C/O ART TUCKER	5 COURTNEY CT		PALM COAST	FL	32137
6348	14-12-29-5550-00010-0020	IMPROVED AG	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	ANDREW KING MOBILE	WELDING INC	PO BOX 2425		BUNNELL	FL	32110
6349	14-12-29-5550-00020-0000	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	30	TUCKER ALFRED R JR	LIFE ESTATE C/O ART TUCKER	5 COURTNEY CT		PALM COAST	FL	32137
2001052	14-12-29-5550-00020-0010	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	10	HAWKINS BRETT M	& LORI A H&W	59 BEAUFORD LANE		PALM COAST	FL	32137
6353	14-12-29-5550-00070-0000	SOD	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	40	STRICKLAND SHANNON S	& ANGELA C H&W	PO BOX 2288		BUNNELL	FL	32110
6354	14-12-29-5550-00080-0000	SOD	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	40	STRICKLAND SHANNON S	& ANGELA C H&W	PO BOX 2288		BUNNELL	FL	32110
6355	14-12-29-5550-00090-0000	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	40	STRICKLAND SHANNON S	& ANGELA C H&W	PO BOX 2288		BUNNELL	FL	32110
6356	14-12-29-5550-00100-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	30	STRICKLAND SHANNON S		PO BOX 2288		BUNNELL	FL	32110
6357	14-12-29-5550-00100-0030	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	10	STRICKLAND SHANNON S	& ANGELA C H&W	PO BOX 2288		BUNNELL	FL	32110
6363	14-12-29-5550-00130-0030	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	STERLING DOROTHY ANN	STERLING DOROTHY ANN	PO BOX 1784		BUNNELL	FL	32110
6364	14-12-29-5550-00140-0000	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	STERLING DOROTHY ANN	STERLING DOROTHY ANN	PO BOX 1784		BUNNELL	FL	32110
6365	14-12-29-5550-00140-0020	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	20	STERLING DOROTHY ANN	STERLING DOROTHY ANN	PO BOX 1784		BUNNELL	FL	32110
6366	14-12-29-5550-00150-0000	Improved pasture land	AG&S AGRICULTURE & SILVICULTURE	AC (F) AGRICULTURE (FLAGLER)	AG&S AGRICULTURAL & SILVICULTURE	80	STERLING DOROTHY ANN TUCKER		PO BOX 1784		BUNNELL	FL	32110
11766	14-12-30-0000-10352-0034	TIMBERLAND UNCLAS	IND INDUSTRIAL	ND UNDESIGNATED	L-1 LIGHT INDUSTRIAL	18.27	OARE ASSOCIATES LLC	C/O SHUFFIELD, LOWMAN & WILSON, P.A.	PO BOX 612		DELAND	FL	32721
11769	14-12-30-0650-0000A-0012	TIMBERLAND 80-89	IND INDUSTRIAL	ND UNDESIGNATED	L-1 LIGHT INDUSTRIAL	60.76	OARE ASSOCIATES LLC	C/O SHUFFIELD, LOWMAN & WILSON, P.A.	PO BOX 612		DELAND	FL	32721
11773	14-12-30-0650-00080-0010	NO AG ACREAGE	IND INDUSTRIAL	ND UNDESIGNATED	L-1 LIGHT INDUSTRIAL	5.55	OARE ASSOCIATES LLC	C/O SHUFFIELD, LOWMAN & WILSON, P.A.	PO BOX 612		DELAND	FL	32721
11779	14-12-30-0650-00080-0151	VACANT	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.2101	LANG DOROTHY MAE	C/O MARY MORRIS	PO BOX 1562		ST AUGUSTINE	FL	32085
11780	14-12-30-0650-00080-0152	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.2101	BRYANT JAMES D & GLADYS	% GLADENA & VERNON BRYANT	PO BOX 986		BUNNELL	FL	32110
11781	14-12-30-0650-00080-0153	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.2101	COOPER GEORGE & PATRICIA	COOPER JTWROS	PO BOX 1585		BUNNELL	FL	32110
11782	14-12-30-0650-00080-0154	VACANT	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.2101	HALL MATTIE ET AL	C/O ELJAH-ISAIAH X	PO BOX 2505		SUMMERSVILLE	SC	29484
11783	14-12-30-0650-00080-0155	SINGLE FAMILY	SF-LOW SINGLE FAMILY - LOW DENSITY	ND UNDESIGNATED	R-1 SINGLE-FAMILY RESIDENTIAL	0.2381	HALL MATTIE ET AL	C/O ELJAH-ISAIAH X	PO BOX 2505		SUMMERSVILLE	SC	29484
11784	14-12-30-0650-0												

EXHIBIT A - PARCELS TO BE REZONED

PROP ID	PARCEL ID	PROPERTY USE	FUTURE LAND USE	CURRENT ZONING	PROPOSED ZONING	LEGAL ACREAGE	PRIMARY OWNER	ADDRESS LINE 1	ADDRESS LINE 2	ADDRESS LINE 3	ADDRESS (CITY)	ADDRESS (STATE)	ADDRESS (ZIP)
83036	16-13-31-0000-04090-0030	VACANT	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	1.21	CARTWRIGHT FREDERICK JAMES & RAYONIER FOREST RESOURCES LP	MELODY RAY H&W	733 ALDEN DRIVE		ORMOND BEACH	FL	32174
2873	17-11-28-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	0.54	DUPONT LANDHOLDING LLC	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
83231	17-13-31-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	6.67	DUPONT LANDHOLDING LLC	TRUSTEE	PO BOX 550		BUNNELL	FL	32110
83232	17-13-31-0000-01010-0020	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	314	DUPONT LANDHOLDING LLC TRUSTEE	AG TWO LAND TRUST	PO BOX 550		BUNNELL	FL	32110
83233	17-13-31-0000-01010-0030	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	91.61	AG ONE LLC		PO BOX 1998		BUNNELL	FL	32110
83234	17-13-31-0000-01010-0040	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	39.47	LAND TRUST PROPERTIES LLC	TRUSTEE	PO BOX 2993		BUNNELL	FL	32110
83235	17-13-31-0000-01020-0000	SOD	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	30	DUPONT LANDHOLDING LLC		PO BOX 550		BUNNELL	FL	32110
2876	18-11-28-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	320.82	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		BUNNELL	FL	32097
12053	18-12-30-5550-00030-0010	Timberland site ind 70-79	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
12058	18-12-30-5550-00040-0020	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
12060	18-12-30-5550-00120-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	30	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
2880	19-11-28-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	181.39	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
2881	19-11-28-0000-01010-0020	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	102.18	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
12066	19-12-30-5550-00010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	19.5	DODGEN CHARLES H & MONA M H&W		PO BOX 1449		BUNNELL	FL	32110
12070	19-12-30-5550-00080-0020	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5.5	TOSI JESSICA		607 N CHERRY STREET		BUNNELL	FL	32110
12072	19-12-30-5550-00080-0030	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	SINK COREY R		1400 BLACK POINT RD		BUNNELL	FL	32110
12073	19-12-30-5550-00080-0031	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	SINK JESSE		1500 W BLACK POINT ROAD		BUNNELL	FL	32110
12428	19-13-30-1650-01060-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	63.6	BUNDY EVE T & ELROY A	TRUSTEES	1580 E 2108 ROAD		HUGO	OK	74743
12429	19-13-30-1650-03010-0000	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	288.37	SORENSEN COLLEEN T & DELLAS H	SORENSEN -TRUSTEES	PO BOX 85		GLENDALE	UT	84729
2888	20-11-28-0000-01010-0010	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	119.97	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
12078	20-12-30-0650-00080-0010	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	110	ALLEN LANDS LLC		720 COUNTY ROAD 304		BUNNELL	FL	32110
12079	20-12-30-0650-00080-0080	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	ALLEN LANDS LLC		720 COUNTY ROAD 304		BUNNELL	FL	32110
83241	20-13-31-0000-04010-0020	NO AG ACREAGE	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	1.06	DUPONT LANDHOLDING LLC	TRUSTEE	PO BOX 550		BUNNELL	FL	32110
6459	21-12-29-5550-00160-0000	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	40	KING HERSCHEL C JR	TRUSTEE	801 CR 25		BUNNELL	FL	32110
83245	21-13-31-0650-000A0-0002	VACANT	RE RURAL ESTATES	MH-1 (F)	RURAL MOBILE HOME (FLAGLER)	1.048	COWMAN SHAWN & DEBBIE H&W		200 RIVER BLUFF DRIVE		ORMOND BEACH	FL	32174
83246	21-13-31-0650-000A0-0003	MANUFACTURED HOME	RE RURAL ESTATES	MH-1 (F)	RURAL MOBILE HOME (FLAGLER)	1.048	FOX PHILIP J & SHANNON B	H&W	4 ZENOBLE PLACE		PALM COAST	FL	32164
83247	21-13-31-0650-000A0-0004	VACANT	RE RURAL ESTATES	MH-1 (F)	RURAL MOBILE HOME (FLAGLER)	1.048	GATLIN MATTHEW &	TRACY GATLIN H & W	290 BOOTH ROAD		ORMOND BEACH	FL	32174
83248	21-13-31-0650-000A0-0005	VACANT	RE RURAL ESTATES	MH-1 (F)	RURAL MOBILE HOME (FLAGLER)	1.048	VOLPE VIVIANA		23 PRICHARD DRIVE APT B		PALM COAST	FL	32164
83262	21-13-31-0650-000A0-0090	PASTURELAND 2	RE RURAL ESTATES	R-1 (F)	RURAL RESIDENTIAL (FLAGLER)	9.34	STRICKLAND MARCUS C		PO BOX 248		BUNNELL	FL	32110
83271	21-13-31-0650-000A0-0101	VACANT	RE RURAL ESTATES	R-1 (F)	RURAL RESIDENTIAL (FLAGLER)	5	R&B AUTO TRANSPORT INC		15 VILLAGE DRIVE		ORMOND BEACH	FL	32174
2001059	21-13-31-0650-000A0-0920	VACANT	RE RURAL ESTATES	MH-1 (F)	RURAL MOBILE HOME (FLAGLER)	1.1	LIEBERT RYAN JON		421 MIRIAM AVE		HOLLY HILL	FL	32117
83273	21-13-31-0650-00080-0011	MOBILE HOME	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	JAM 2018 LLC		3481 OLD KINGS RD S		FLAGLER BEACH	FL	32136
83274	21-13-31-0650-00080-0020	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	MATHEN DAVID K & THEA HEIN-	MATHEN H&W	PO BOX 190		BUNNELL	FL	32110
83276	21-13-31-0650-00080-0031	MANUFACTURED HOME	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	MATHEN DAVID K &	THEA HEIN-MATHEN	PO BOX 190		BUNNELL	FL	32110
83277	21-13-31-0650-00080-0032	MANUFACTURED HOME	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	MATHEN STACEY		760 SECRET TRAIL		PALM COAST	FL	32164
2896	22-11-28-0000-01010-0030	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	70.46	RAYONIER FOREST RESOURCES LP	C/O RAYONIER TAX COORDINATOR	1 RAYONIER WAY		WILDLIGHT	FL	32097
6463	22-12-29-5550-00090-0010	IMPROVED AG	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	40	TUCKER ELBERT F &	PAMELA M H&W	926 CR 90 E		BUNNELL	FL	32110
6464	22-12-29-5550-00090-0020	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	40	TUCKER ELBERT F & PAMELA M H/W		926 CR 90 E		BUNNELL	FL	32110
6465	22-12-29-5550-00100-0010	Timberland site ind 70-79	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	30	TUCKER ELBERT F &	PAMELA M H/W	926 CR 90 E		BUNNELL	FL	32110
6470	22-12-29-5550-00150-0010	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	TUCKER ELBERT F &	PAMELA M H&W	926 CR 90 E		BUNNELL	FL	32110
6471	22-12-29-5550-00150-0030	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	TUCKER ELBERT F & PAMELA M H&W		926 CR 90 E		BUNNELL	FL	32110
12086	22-12-30-0650-000A0-0050	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	ND	UNDESIGNATED	5	FLYNT JAMES & RENEE H&W		PO BOX 2676		BUNNELL	FL	32110
2001220	22-12-30-0650-00080-0011	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	3.03	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
2001220	22-12-30-0650-00080-0011	TIMBERLAND 80-89	SF-LOW SINGLE FAMILY - LOW DENSITY	AC (F)	AGRICULTURE (FLAGLER)	3.03	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
2001220	22-12-30-0650-00080-0011	TIMBERLAND 80-89	SF-LOW SINGLE FAMILY - LOW DENSITY	ND	UNDESIGNATED	3.03	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
2000919	22-12-30-0650-000C0-0121	VACANT	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	STOVER ASHLEY DANIELLE		142 E COUNTY ROAD 90		BUNNELL	FL	32110
6472	23-12-29-5550-00010-0010	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	STERLING DOROTHY T		PO BOX 1784		BUNNELL	FL	32110
6473	23-12-29-5550-00010-0020	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	STERLING DOROTHY T		PO BOX 1784		BUNNELL	FL	32110
6474	23-12-29-5550-00010-0030	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	THOMPSON ROGER MARK & CAROLY	THOMPSON H&W	1330 COUNTY ROAD 75		BUNNELL	FL	32110
6475	23-12-29-5550-00020-0000	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	320	STERLING DOROTHY T		PO BOX 1784		BUNNELL	FL	32110
6476	23-12-29-5550-00080-0020	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	THOMPSON ROGER MARK &	CAROLY THOMPSON H&W	1330 COUNTY ROAD 75		BUNNELL	FL	32110
6477	23-12-29-5550-00080-0030	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	THOMPSON ROGER MARK & CAROLY	THOMPSON H&W	1330 COUNTY ROAD 75		BUNNELL	FL	32110
6479	23-12-29-5550-00090-0020	CROPLAND CLASS 3	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	STERLING DOROTHY T		PO BOX 1784		BUNNELL	FL	32110
6480	23-12-29-5550-00090-0021	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	TUCKER ELBERT F &	PAMELA M TUCKER H/W	926 CR 90 E		BUNNELL	FL	32110
6481	23-12-29-5550-00100-0010	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	200	TUCKER ELBERT F & PAMELA M H/W		926 CR 90 E		BUNNELL	FL	32110
6482	23-12-29-5550-00150-0010	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	TUCKER ELBERT F &	PAMELA M H&W	926 CR 90 E		BUNNELL	FL	32110
12123	23-12-30-0650-00000-0070	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	WEYERHAEUSER COMPANY	ATTN: TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6567	24-12-29-5550-00080-0020	HARDWOOD/CYPRESS II	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6569	24-12-29-5550-00090-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	135	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6576	24-12-29-5550-00150-0010	TIMBERLAND 90+	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	ALLEN LANDS LLC	C/O TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6577	24-12-29-5550-00150-0030	TIMBERLAND 90+	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	20	WEYERHAEUSER COMPANY	ATTN: TAX DEPT	100 PROFESSIONAL CENTER DR		BRUNSWICK	GA	31525
6584	25-12-29-0000-01020-0000	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	80	ALLEN LANDS LLC		720 COUNTY ROAD 304		BUNNELL	FL	32110
12178	25-12-30-1650-00100-0000	VACANT	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5,825.54	PRYOR HUGH CHRISTOPHER	& CARYN STUFF H&W	60 PRYOR LANE		BUNNELL	FL	32110
6586	26-12-29-0000-01010-0000	PASTURELAND 2	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	268.35	ALLEN OPERATING CO		PO BOX 245		BUNNELL	FL	32110
6588	26-12-29-0000-01010-0020	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5.92	RUSSO ANTHONY LAWRENCE &	RAQUEL JANETTE RUSSO H&W	1310 COUNTY RD 90		BUNNELL	FL	32110
6590	26-12-29-5550-00040-0000	TIMBERLAND 80-89	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	10	TUCKER ELBERT FRANKLIN		926 CR 90 E		BUNNELL	FL	32110
6594	26-12-29-5550-00040-0013	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	5	CONNOR LLOYD M & TERRY M		1166 COUNTY RD 90 E		BUNNELL	FL	32110
6595	26-12-29-5550-00040-0014	SINGLE FAMILY	AG&S AGRICULTURE & SILVICULTURE	AC (F									

EXHIBIT A - PARCELS TO BE REZONED

PROP ID	PARCEL ID	PROPERTY USE	FUTURE LAND USE		CURRENT ZONING	PROPOSED ZONING		LEGAL ACREAGE	PRIMARY OWNER	ADDRESS LINE 1	ADDRESS LINE 2	ADDRESS LINE 3	ADDRESS (CITY)	ADDRESS (STATE)	ADDRESS (ZIP)
12260	36-12-30-0650-000A0-0050	NO AG ACREAGE	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	21	SARMENTO TRACY	& JOHNATHAN PATRICK SARMENTO JTWROS	PO BOX 1094	BUNNELL	FL	32110
12261	36-12-30-0650-000A0-0051	VACANT	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	2.584	SARMENTO TRACY ANN	& JOHNATHAN P SARMENTO JTWROS	PO BOX 1094	BUNNELL	FL	32110
12262	36-12-30-0650-000A0-0052	TIMBERLAND 80-89	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	1.114	DUPONT LANDHOLDING LLC TRUSTEE	DUPONT LAND TRUST	PO BOX 550	BUNNELL	FL	32110
12264	36-12-30-0650-000A0-0111	VEH SALE/REPAIR	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	0.616	SARMENTO TRACY ANN & JOHNATHAN	PATRICK SARMENTO JTWROS	PO BOX 1094	BUNNELL	FL	32110
12266	36-12-30-0650-000A0-0113	TIMBERLAND UNCLAS	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	4.3	DUPONT LANDHOLDING LLC TRUSTEE	DUPONT LAND TRUST	PO BOX 550	BUNNELL	FL	32110
12267	36-12-30-0650-000B0-0000	TIMBERLAND 80-89	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	9.88	ALLEN LANDS LLC	720 COUNTY ROAD 304		BRUNSWICK	GA	31525
2001228	36-12-30-0650-000B0-0020	TIMBERLAND 80-89	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	144	BROWN & JOHNSTON & JOLY & DURSHIMER	C/O TAX DEPT	100 PROFESSIONAL CENTER DR	BRUNSWICK	GA	31525
12269	36-12-30-0650-000C0-0010	SINGLE FAMILY	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	10	GIBBS ROBERT CRAIG & NANCY	LORRAINE GIBBS H&W	1215 COUNTY RD 304	BUNNELL	FL	32110
12270	36-12-30-0650-000C0-0020	TIMBERLAND 80-89	AG&S	AGRICULTURE & SILVICULTURE	AC (F)	AGRICULTURE (FLAGLER)	AG&S	AGRICULTURAL & SILVICULTURE	36.49	BROWN & JOHNSTON & JOLY & DURSHIMER	C/O TAX DEPT	100 PROFESSIONAL CENTER DR	BRUNSWICK	GA	31525

17567.4653

PROPOSED ZONING CITY OF BUNNELL MAIN MAP



2 1 0 2 Miles

LEGEND

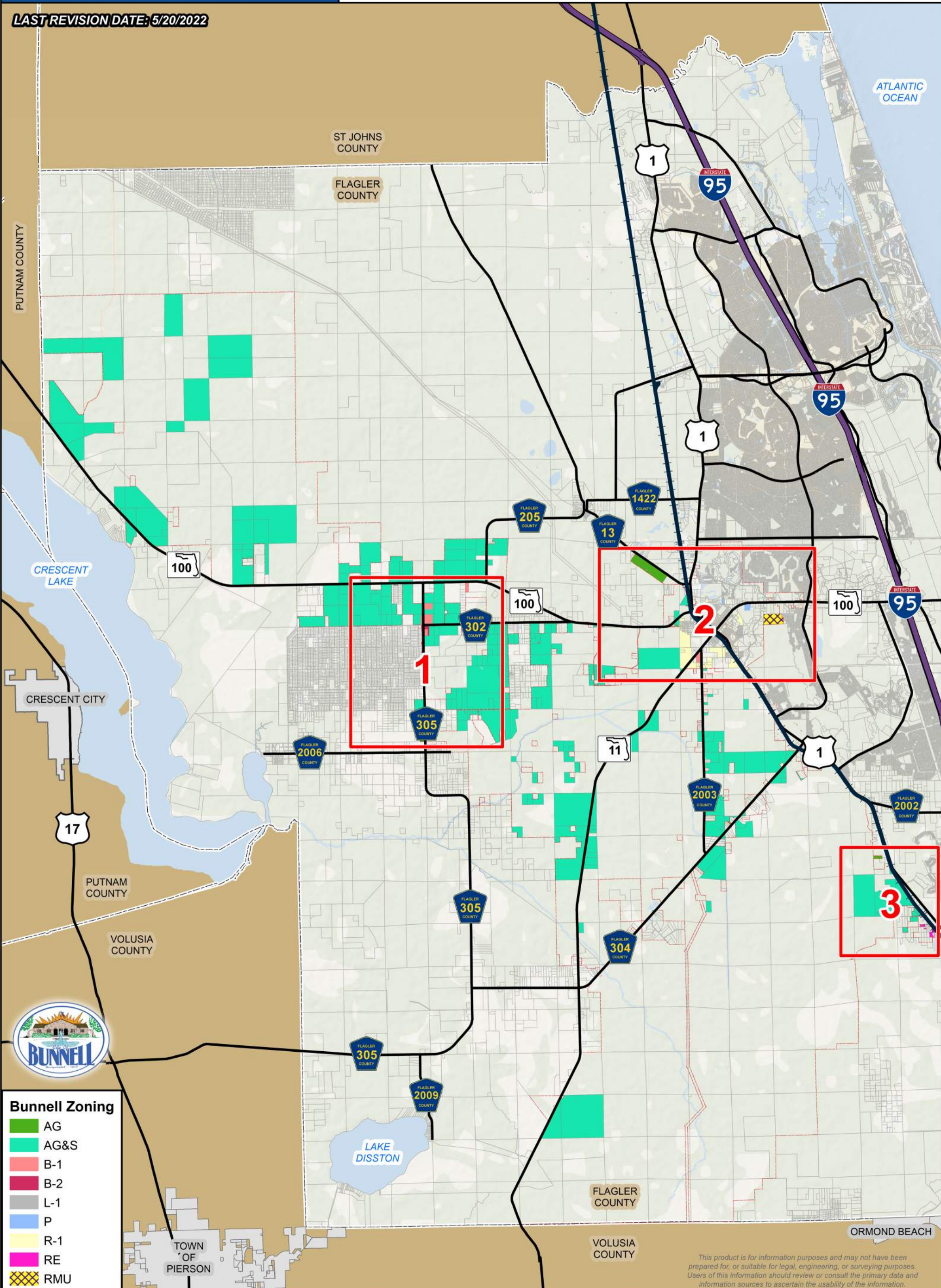
- CITY OF BUNNELL
- FLAGLER COUNTY PARCELS
- MAJOR HYDROLOGY
- CITIES
- FLORIDA COUNTIES
- INTERSTATES
- MAJOR ROADS
- RAILROAD
- FOCUS AREAS

300 Interchange Blvd
Ormond Beach, FL 32174
ph 386-677-2482

DATA SOURCES: CITY OF BUNNELL,
FLAGLER COUNTY PROPERTY APPRAISER,
NORTH EAST FLORIDA REGIONAL COUNCIL

THIS MAP WAS CREATED FROM AND REPRESENTS THE BEST AVAILABLE DATA THROUGH MAY 2022.
* BOUNDARY LINES WERE DIGITIZED FROM A MAP PROVIDED BY THE CITY OF BUNNELL AND UPDATED TO INCLUDE RECENTLY ANNEXED AND/OR DE-ANNEXED PARCELS.

LAST REVISION DATE: 5/20/2022



- #### Bunnell Zoning
- AG
 - AG&S
 - B-1
 - B-2
 - L-1
 - P
 - R-1
 - RE
 - RMU

This product is for information purposes and may not have been prepared for, or suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.

EXHIBIT B

PROPOSED ZONING CITY OF BUNNELL FOCUS AREA 1



0.5 0.25 0 0.5 Miles



LEGEND

- CITY OF BUNNELL
- MAJOR HYDROLOGY
- FLAGLER COUNTY PARCELS
- ROADS



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DATA SOURCES: CITY OF BUNNELL,
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LAST REVISION DATE: 5/20/2022



Bunnell Zoning

- AG
- AG&S
- B-1
- B-2

EXHIBIT B

PROPOSED ZONING CITY OF BUNNELL FOCUS AREA 2



LEGEND

- CITY OF BUNNELL
- MAJOR HYDROLOGY
- FLAGLER COUNTY PARCELS
- ROADS
- RAILROAD



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LAST REVISION DATE: 5/20/2022



- ### Bunnell Zoning
- AG
 - AG&S
 - B-1
 - L-1
 - P
 - R-1
 - RMU

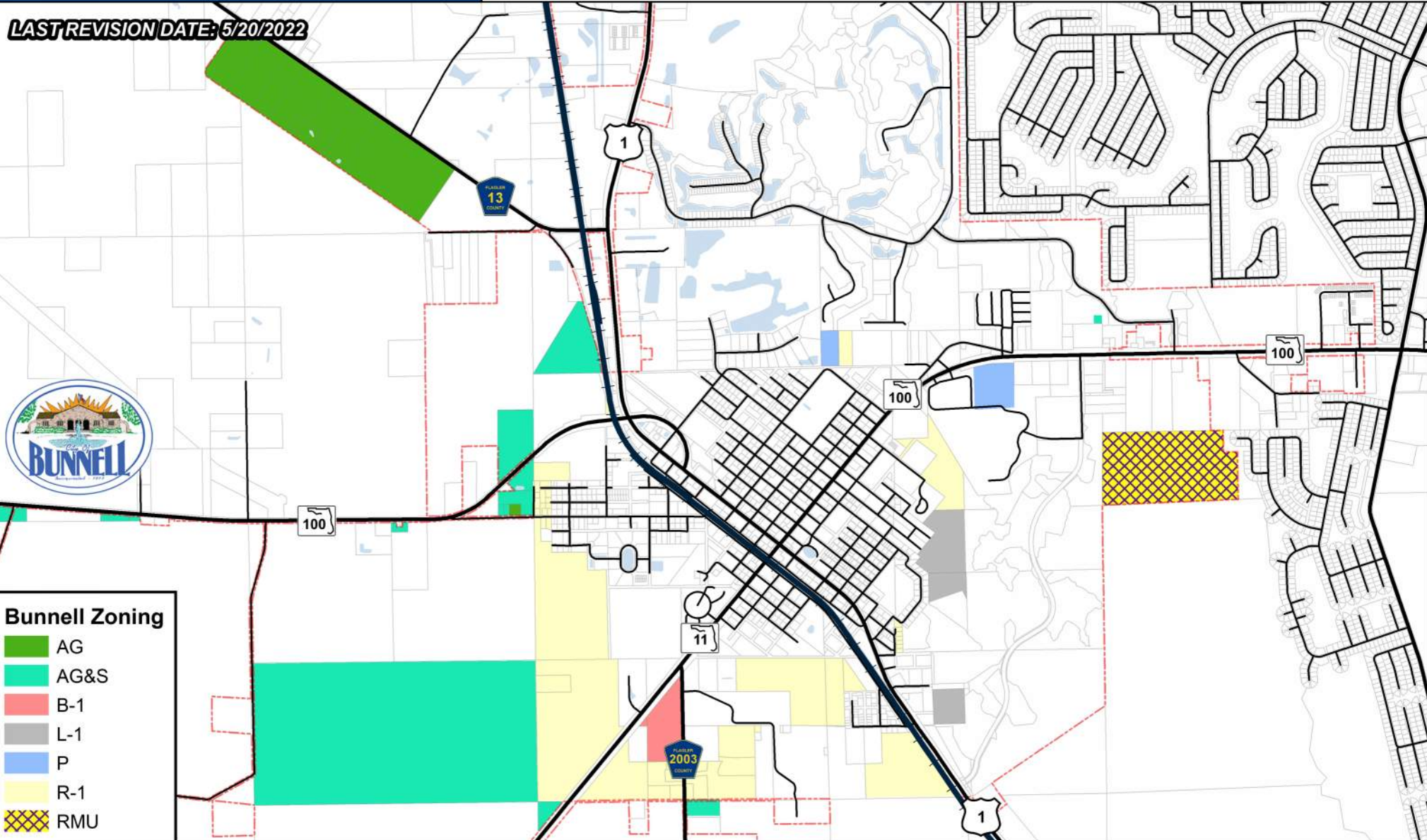


EXHIBIT B

PROPOSED ZONING CITY OF BUNNELL FOCUS AREA 3



0.25 0.125 0 0.25 Miles

LEGEND

- CITY OF BUNNELL
- MAJOR HYDROLOGY
- FLAGLER COUNTY PARCELS
- ROADS
- RAILROAD

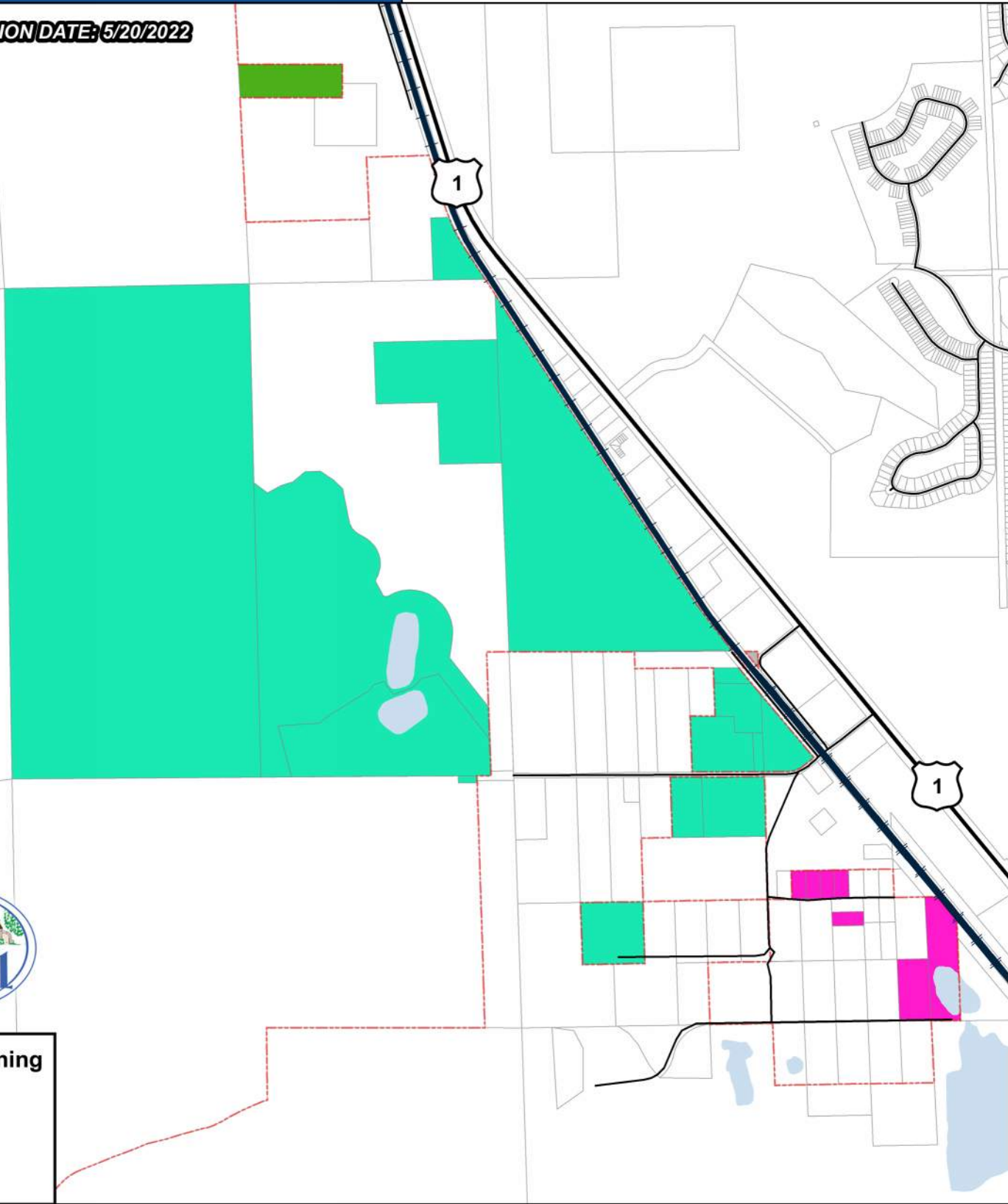


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Ormond Beach, FL 32174
ph 386-677-2482

DATA SOURCES: CITY OF BUNNELL,
FLAGLER COUNTY PROPERTY APPRAISER,
NORTH EAST FLORIDA REGIONAL COUNCIL

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INCLUDE RECENTLY ANNEXED AND DE-ANNEXED PARCELS.

LAST REVISION DATE: 5/20/2022



Bunnell Zoning

- AG
- AG&S
- L-1
- RE