

**CATHERINE D. ROBINSON
MAYOR**

**JOHN ROGERS
VICE-MAYOR**

**DR. ALVIN B. JACKSON, JR.
CITY MANAGER**



Crossroads of Flagler County

COMMISSIONERS:

ROBERT BARNES

TINA-MARIE SCHULTZ

TONYA GORDON

BUNNELL CITY COMMISSION MEETING

Monday, November 8, 2021

Join Zoom Meeting <http://bunnellcity.us/meeting>

7:00 PM

201 West Moody Boulevard,
City Commission Chambers - Building 3
Bunnell, FL 32110

A. Call Meeting to Order and Pledge Allegiance to the Flag

A.1. To Join the Zoom Meeting

Roll Call

Invocation for our Military Troops and National Leaders

B. Introductions, Commendations, Proclamations, and Presentations: None

C. Consent Agenda:

C.1. Approval of Warrant

a. November 8, 2021 Warrant

C.2. Approval of Minutes

a. October 25, 2021 City Commission Meeting Minutes

D. Public Comments:

Comments regarding items not on the Agenda. Citizens are encouraged to speak; however, comments are limited to four (4) minutes.

E. Ordinances: (Legislative): None

E.1. Ordinance 2021-23 Requesting to change the Future Land Use Map in the Comprehensive Plan for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading

E.2. Ordinance 2021-24 Requesting to change the official zoning map for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from Flagler County, AC-Agriculture to City of Bunnell, AG-

Agricultural District. - Second Reading

- E.3. Ordinance 2021-25 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading
- E.4. Ordinance 2021-26 Requesting to change the official zoning map for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from Flagler County AC-Agriculture to City of Bunnell, Agricultural. - Second Reading
- E.5. Ordinance 2021-29 Request to change the Future Land Use Map in the Comprehensive Plan for 10± acres of land, owned by Gator-Parks LLC, Bearing the Parcel ID:21-13-31-0650-000B0-0110 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - Second Reading
- E.6. Ordinance 2021-30 Request to change the official zoning map for 10± acres of land, owned by Gator-Parks LLC , Bearing the Parcel ID's:21-13-31-0650-000B0-0110 from Flagler County, R-1, Rural Residential to City of Bunnell, AG-Agricultural. - Second Reading
- E.7. Ordinance 2021-31 Request to change the Future Land Use Map in the Comprehensive Plan for 5 ± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID: 21-13-31-0650-000A0-0081 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - Second Reading
- E.8. Ordinance 2021-32 Request to change the official zoning map for 5± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID's: 21-13-31-0650-000A0-0081 from Flagler County, R-1, Rural Residential to City of Bunnell, AG-Agricultural. - Second Reading
- E.9. Ordinance 2021-35 Requesting to change the Future Land Use Map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from "Commercial-Medium Intensity" to "Public". - First Reading
- E.10. Ordinance 2021-36 Requesting to change the official zoning map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from the "B-1, Business" district to the "P, Public" district. - First Reading
- E.11. Ordinance 2021-37 Requesting to change the Future Land Use Map in the Comprehensive Plan for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing the Parcel ID: 21-13-31-0650-000A0-0930 from Flagler County, Residential- Low Density/Rural Estate to City of Bunnell Agriculture. - First Reading
- E.12. Ordinance 2021-38 Requesting to change the official zoning map for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing Parcel ID: 21-13-31-0650-000a0-0930, from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural District." - First Reading

F. Resolutions: (Legislative): None

G. Old Business: None

H. New Business:

- H.1. Request Approval to Set a Closing date for the purchase of Lot 4 Flagler Central Commerce Parkway to be used for the new City Administration and Police Department Complex.
- H.2. Request for Final Plat Approval for Grand Reserve Phase 4
- H.3. Request Approval of Insituform's Slip Lining Phase 4 Proposal

I. **Reports:**

- **City Clerk**
- **City Attorney**
- **City Manager**
- **Mayor and City Commissioners**

J. **Call for Adjournment.**

This agenda is subject to change without notice. Please see posted copy at City Hall, and our website www.BunnellCity.us.

NOTICE: If any person decides to appeal any decision made by the City Commission or any of its boards, with respect to any matter considered at any meeting of such boards or commission, he or she will need a record of the proceedings, and for this purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is based, 286.0105 Florida Statutes.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the City Clerk at (386) 437-7500 at least 48 hours prior to the meeting date.

THE CITY OF BUNNELL IS AN EQUAL OPPORTUNITY SERVICE PROVIDER.

Posted by City Clerk's office on November 1, 2021



City of Bunnell, Florida

Agenda Item No. A.1.

Document Date: 10/20/2021 Amount:
Department: City Clerk Account #:
Subject: To Join the Zoom Meeting
Agenda Section: Call Meeting to Order and Pledge Allegiance to the Flag

Summary/Highlights:

The City is committed to providing opportunities for all citizens to participate in their local government. Therefore, the City is continuing to offer Zoom as a means to participate in City public meetings.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the City Clerk at (386) 437-7500 x 5 at least 2 business days prior to the meeting date.

Background:

Join Zoom Meeting <http://bunnellcity.us/meeting>
Meeting ID: 944 464 2817

Or from the Zoom Mobile App
<https://us02web.zoom.us/j/9444642817>

Or dial by phone for AUDIO ONLY:
+1 253 215 8782 US
+1 301 715 8592 US
Meeting ID: 944 464 2817

Prior to the start of the meeting please make sure you have silenced/muted **all** cell phones or noise-making devices, such as tvs, radios other media devices, faucets, etc., as they can be heard through the meeting audio.

Those in the audience/public have the opportunity to speak during "D. Public Comments," for items not on the agenda, or when the Mayor opens each agenda item to Public Comments.

To participate during Public Comments, those participating virtually, shall:

1. Click the "Raise Hand" button on the bottom of the Zoom Meeting Screen and wait to be recognized by the Mayor.

2. If participating by telephone (AUDIO) only, unmute your line by pressing *6, request to speak by saying "Madame Mayor" then wait to be recognized by the Mayor to continue.

Each person recognized to speak by the Mayor shall speak clearly and state their name and their address into the record before proceeding with their comments.

Public Comments are limited to 4 minutes. When 4 minutes is over "TIME" will be announced.

Written comments regarding items that appear on the agenda can be submitted to the City Clerk's office either by dropping written comments into the payment box located at the Administration Complex, by mail at PO Box 756, Bunnell, FL 32110, by fax at 386-437-8253 or by e-mail at info@bunnellcity.us by **12:00 PM (noon) Friday, November 5, 2021**. Comments will be read into the record or provided to all Commissioners prior to the start of the meeting.

Draft Minutes of this meeting will be available subsequent to the meeting.

The public is advised to check the City website for up-to-date information on any changes to the manner in which the meeting will be held and the location.

Staff Recommendation:

City Attorney Review:

Finance Department Review/Recommendation:

City Manager Review/Recommendation:



City of Bunnell, Florida

ATTACHMENTS:

Description

Warrant 11/8/2021

Type

Warrant



City of Bunnell, FL

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
Vendor: Advance Stores Company, Incorporated					
	10/14/2021	Advance Stores Company, In	(2) Batteries	402-0534-534.4620	236.14
	10/21/2021	Advance Stores Company, In	Relay - Starter Motor	001-0541-541.4620	24.59
			Vendor Advance Stores Company, Incorporated Total:		260.73
Vendor: AG-PRO, LLC					
	10/27/2021	AG-PRO, LLC	Upper/Lower Exhaust Pipe	001-0541-541.4640	448.99
			Vendor AG-PRO, LLC Total:		448.99
Vendor: Alliant Engineering Inc					
	09/30/2021	Alliant Engineering Inc	Engineering Plan Review Sep	001-0524-524.3100	5,005.00
			Vendor Alliant Engineering Inc Total:		5,005.00
Vendor: Blue Cross Blue Shield of Florida					
	10/14/2021	Blue Cross Blue Shield of Flor	FCL Dental - November 2021	001-2184000	1,485.90
	10/14/2021	Blue Cross Blue Shield of Flor	FCL Dental - November 2021	001-2184500	81.17
			Vendor Blue Cross Blue Shield of Florida Total:		1,567.07
Vendor: Boulevard Tire Center					
	10/15/2021	Boulevard Tire Center	Mount/Dismount	402-0534-534.4620	45.00
	10/20/2021	Boulevard Tire Center	Mount & Dismount Tire/Repl	001-0541-541.4640	233.13
			Vendor Boulevard Tire Center Total:		278.13
Vendor: Bunnell Auto Supply, Inc.					
	10/14/2021	Bunnell Auto Supply, Inc.	Mercon	402-0534-534.4620	14.99
	10/15/2021	Bunnell Auto Supply, Inc.	Purple Power Cleaner	402-0534-534.5200	16.99
	10/16/2021	Bunnell Auto Supply, Inc.	400W 12V DC Inverter	001-0572-572.4640	49.99
	10/18/2021	Bunnell Auto Supply, Inc.	LED Clearance Marker	402-0534-534.4620	132.00
	10/18/2021	Bunnell Auto Supply, Inc.	55 Gal DEF	402-0534-534.5200	198.00
	10/19/2021	Bunnell Auto Supply, Inc.	(3) AW 68 Hyd Fluid 5 Gal	001-0541-541.4640	239.97
	10/21/2021	Bunnell Auto Supply, Inc.	Hyd Hose & Fittings/Spring G	402-0534-534.4620	102.22
	10/25/2021	Bunnell Auto Supply, Inc.	Ignition Switch	001-0541-541.4620	25.73
	10/26/2021	Bunnell Auto Supply, Inc.	Ignition Switch	001-0541-541.4620	-25.73
	10/27/2021	Bunnell Auto Supply, Inc.	Hyd Hose Fittings/4mxtxreel	001-0541-541.4620	56.92
			Vendor Bunnell Auto Supply, Inc. Total:		811.08
Vendor: Central Hydraulics, Inc.					
	10/13/2021	Central Hydraulics, Inc.	Tube Assembly/Hose	402-0534-534.4620	167.26
	10/13/2021	Central Hydraulics, Inc.	Cylinder Repair	402-0534-534.5264	228.50
	08/17/2021	Central Hydraulics, Inc.	Cylinder Repair	401-0533-533.4640	202.95
			Vendor Central Hydraulics, Inc. Total:		598.71
Vendor: Charter Communications Holdings LLC					
	10/02/2021	Charter Communications Hol	200 S Church St October 202	001-0572-572.4100	118.98
			Vendor Charter Communications Holdings LLC Total:		118.98
Vendor: City of Bunnell - WS O&M					
	10/28/2021	City of Bunnell - WS O&M	01-0040-01 OCT 2021	001-0572-572.4300	383.13
	10/28/2021	City of Bunnell - WS O&M	01-5270-01 OCT 2021	401-0533-533.4300	196.47
	10/28/2021	City of Bunnell - WS O&M	02-2060-09 OCT 2021	001-0519-519.4300	222.78
	10/28/2021	City of Bunnell - WS O&M	02-2080-08 OCT 2021	001-0519-519.4300	223.94
	10/28/2021	City of Bunnell - WS O&M	02-2503-00 OCT 2021	404-0535-535.4300	83.94
	10/28/2021	City of Bunnell - WS O&M	02-3191-00 OCT 2021	001-0541-541.4300	82.29
	10/28/2021	City of Bunnell - WS O&M	03-0161-00 OCT 2021	404-0535-535.4300	85.31
	10/28/2021	City of Bunnell - WS O&M	03-0320-01 OCT 2021	001-0572-572.4300	351.25
	10/28/2021	City of Bunnell - WS O&M	03-0370-01 OCT 2021	001-0572-572.4300	401.59
	10/28/2021	City of Bunnell - WS O&M	03-0545-00 OCT 2021	404-0535-535.4300	84.31
	10/28/2021	City of Bunnell - WS O&M	03-1541-00 OCT 2021	404-0535-535.4300	82.56
	10/28/2021	City of Bunnell - WS O&M	03-4991-00 OCT 2021	001-0541-541.4300	82.29
	10/28/2021	City of Bunnell - WS O&M	03-5151-00 OCT 2021	001-0541-541.4300	82.29

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
	10/28/2021	City of Bunnell - WS O&M	03-5191-00 OCT 2021	001-0572-572.4300	82.29
	10/28/2021	City of Bunnell - WS O&M	03-5240-01 OCT 2021	404-0535-535.4300	533.90
	10/28/2021	City of Bunnell - WS O&M	03-5260-01 OCT 2021	001-0541-541.4300	844.27
	10/28/2021	City of Bunnell - WS O&M	04-0170-02 OCT 2021	404-0535-535.4300	86.96
	10/28/2021	City of Bunnell - WS O&M	04-1140-01 OCT 2021	001-0572-572.4300	269.03
	10/28/2021	City of Bunnell - WS O&M	04-2181-00 OCT 2021	404-0535-535.4300	83.39
	10/28/2021	City of Bunnell - WS O&M	04-2460-03 OCT 2021	001-0519-519.4300	667.26
	10/28/2021	City of Bunnell - WS O&M	04-3031-00 OCT 2021	001-0541-541.4300	82.29
	10/28/2021	City of Bunnell - WS O&M	04-3032-00 OCT 2021	404-0535-535.4300	84.49
	10/28/2021	City of Bunnell - WS O&M	04-3360-01 OCT 2021	404-0535-535.4300	82.29
	10/28/2021	City of Bunnell - WS O&M	06-0327-01 OCT 2021	404-0535-535.4300	83.11
			Vendor City of Bunnell - WS O&M Total:		5,261.43
Vendor: Colonial Life & Accident Insurance Company					
	10/14/2021	Colonial Life & Accident Insu	Col Life - October 2021	001-2185000	724.40
			Vendor Colonial Life & Accident Insurance Company Total:		724.40
Vendor: Commerce Controls FLA, LLC					
	10/28/2021	Commerce Controls FLA, LLC	Software Reprogramming	401-0533-533.4640	1,419.00
			Vendor Commerce Controls FLA, LLC Total:		1,419.00
Vendor: Compressed Air Systems Inc.					
	09/30/2021	Compressed Air Systems Inc.	Technician Diagnose Air Com	401-0533-533.4640	965.00
			Vendor Compressed Air Systems Inc. Total:		965.00
Vendor: DG Hardware, Inc.					
	10/14/2021	DG Hardware, Inc.	Fastners	402-0534-534.4620	4.48
	10/26/2021	DG Hardware, Inc.	Box of Exterior Screws	001-0541-541.4610	149.39
	10/26/2021	DG Hardware, Inc.	Quickie Deck Brush/ Graffiti	001-0572-572.4640	42.81
	10/27/2021	DG Hardware, Inc.	Cleaner Out 30 Sec	001-0572-572.4640	47.98
			Vendor DG Hardware, Inc. Total:		244.66
Vendor: DMS - Bureau of Financial Management Services					
	09/30/2021	DMS - Bureau of Financial M	Local September 2021	001-0513-513.4100	41.17
	09/30/2021	DMS - Bureau of Financial M	Local September 2021	001-0521-521.4100	23.39
	09/30/2021	DMS - Bureau of Financial M	Local September 2021	001-0541-541.4100	23.39
	09/30/2021	DMS - Bureau of Financial M	Local September 2021	401-0533-533.4100	58.48
	09/30/2021	DMS - Bureau of Financial M	Local September 2021	404-0535-535.4100	58.47
	09/30/2021	DMS - Bureau of Financial M	Long Distance September 20	001-0513-513.4100	0.02
	09/30/2021	DMS - Bureau of Financial M	Long Distance September 20	001-0521-521.4100	0.03
	09/30/2021	DMS - Bureau of Financial M	Long Distance September 20	001-0541-541.4100	0.02
	09/30/2021	DMS - Bureau of Financial M	Long Distance September 20	401-0533-533.4100	0.54
			Vendor DMS - Bureau of Financial Management Services Total:		205.51
Vendor: Environmental Land Services of Flagler County, Inc					
	10/22/2021	Environmental Land Services	Solid Waste Dumping 10/15/	402-0534-534.3400	4,094.76
	10/29/2021	Environmental Land Services	Solid Waste Dumping 10/22-	402-0534-534.3400	3,886.59
			Vendor Environmental Land Services of Flagler County, Inc Total:		7,981.35
Vendor: EQS3N Partners LLC					
	10/18/2021	EQS3N Partners LLC	Rezoning Refund - Applicatio	001-3291000	750.00
			Vendor EQS3N Partners LLC Total:		750.00
Vendor: Ferguson US Holdings, Inc					
	10/25/2021	Ferguson US Holdings, Inc	WTP Water Main Extension	401-0533-533.5205	683.08
			Vendor Ferguson US Holdings, Inc Total:		683.08
Vendor: Flagler Broadcasting LLC					
	10/25/2021	Flagler Broadcasting LLC	Christmas in Bunnell Adverti	001-0511-511.4900	600.00
			Vendor Flagler Broadcasting LLC Total:		600.00
Vendor: Flagler County Innovation Technologies					
	10/01/2021	Flagler County Innovation Te	Public Safety Comm Network	001-0521-521.4400	16,107.92
	10/01/2021	Flagler County Innovation Te	Maintenance for Public Safet	001-0521-521.3400	9,014.84
			Vendor Flagler County Innovation Technologies Total:		25,122.76

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
Vendor: Florida Bullet, Inc.					
	10/12/2021	Florida Bullet, Inc.	Speer Bonded Duty, 223 Re	001-0521-521.5200	627.80
Vendor Florida Bullet, Inc. Total:					627.80
Vendor: Florida Health Care Plans, Inc.					
	10/19/2021	Florida Health Care Plans, In	FHCP November 2021 - T66	001-2184000	32,983.26
	10/19/2021	Florida Health Care Plans, In	FHCP November 2021 - Retir	001-2184500	1,985.93
	10/19/2021	Florida Health Care Plans, In	FHCP November 2021 - T23	001-2184000	3,323.72
Vendor Florida Health Care Plans, Inc. Total:					38,292.91
Vendor: Gannett Media Corp					
	09/30/2021	Gannett Media Corp	September 2021 Invoice	001-0512-512.4800	233.16
	09/30/2021	Gannett Media Corp	September 2021 Invoice	001-0513-513.4800	172.96
	09/30/2021	Gannett Media Corp	September 2021 Invoice	001-0524-524.4800	1,121.12
Vendor Gannett Media Corp Total:					1,527.24
Vendor: Grand Reserve Subdivision					
	11/01/2021	Grand Reserve Subdivision	VLMCC Deposit Refund	001-2201000	125.00
Vendor Grand Reserve Subdivision Total:					125.00
Vendor: Granicus LLC					
	10/27/2021	Granicus LLC	NovusAGENDA 11/28/21-11/	001-0512-512.3400	3,640.00
Vendor Granicus LLC Total:					3,640.00
Vendor: Hawkins Inc					
	10/22/2021	Hawkins Inc	WWTP Chemicals	404-0535-535.5200	600.00
	10/22/2021	Hawkins Inc	WTP Chemicals	401-0533-533.5205	885.00
Vendor Hawkins Inc Total:					1,485.00
Vendor: HD Supply Facilities Maintenance Ltd					
	10/25/2021	HD Supply Facilities Mainten	Stenner Econ T Pump	404-0535-535.5264	348.48
Vendor HD Supply Facilities Maintenance Ltd Total:					348.48
Vendor: Heritage Landscape Supply Group, Inc.					
	08/10/2021	Heritage Landscape Supply G	Bayer/Ranger Pro Liquid/Her	001-0572-572.5200	956.35
Vendor Heritage Landscape Supply Group, Inc. Total:					956.35
Vendor: Joreb Inc					
	10/15/2021	Joreb Inc	Guard, Bearing Top	001-0572-572.4640	3.69
Vendor Joreb Inc Total:					3.69
Vendor: Laba Dry Cleaners					
	10/29/2021	Laba Dry Cleaners	PD Dry Cleaning (23 Pants/2	001-0521-521.3410	200.00
Vendor Laba Dry Cleaners Total:					200.00
Vendor: Links at Grand Reserve					
	11/01/2021	Links at Grand Reserve	VLMCC Deposit Refund	001-2201000	125.00
Vendor Links at Grand Reserve Total:					125.00
Vendor: Michael Leo Dove					
	10/21/2021	Michael Leo Dove	Building Inspections 10/4/21	001-0524-524.3401	2,520.00
	09/30/2021	Michael Leo Dove	Building Inspections 9/28/21	001-0524-524.3401	55.00
Vendor Michael Leo Dove Total:					2,575.00
Vendor: Newsom Oil Company					
	10/21/2021	Newsom Oil Company	55 Gal Hydraulic Oil AW 68	402-0534-534.5200	385.00
Vendor Newsom Oil Company Total:					385.00
Vendor: NextEra Energy Inc					
	09/30/2021	NextEra Energy Inc	02735-15254 September 202	001-0519-519.4300	41.20
	09/30/2021	NextEra Energy Inc	06115-08987 September 202	404-0535-535.4300	26.91
	09/30/2021	NextEra Energy Inc	08456-32520 September 202	001-0519-519.4300	18.28
	09/30/2021	NextEra Energy Inc	16455-03937 September 202	001-0541-541.4300	406.10
	09/30/2021	NextEra Energy Inc	16525-04919 September 202	404-0535-535.4300	5,307.68
	09/30/2021	NextEra Energy Inc	16885-09957 September 202	404-0535-535.4300	41.07
	09/30/2021	NextEra Energy Inc	27076-01973 September 202	404-0535-535.4300	26.10
	09/30/2021	NextEra Energy Inc	27516-03917 September 202	404-0535-535.4300	76.16
	09/30/2021	NextEra Energy Inc	47802-16398 September 202	001-0519-519.4300	1,195.15
	09/30/2021	NextEra Energy Inc	50935-93118 September 202	001-0519-519.4300	18.89

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
	09/30/2021	NextEra Energy Inc	51926-14112 September 202	001-0519-519.4300	132.27
	09/30/2021	NextEra Energy Inc	56661-53118 September 202	001-0519-519.4300	182.10
	09/30/2021	NextEra Energy Inc	37390-07957 September 202	001-0541-541.4300	3,450.70
	09/30/2021	NextEra Energy Inc	37400-05982 September 202	001-0541-541.4300	164.58
	09/30/2021	NextEra Energy Inc	14322-90094 September 202	001-0572-572.4300	31.95
		Vendor NextEra Energy Inc		Total:	11,119.14
Vendor: Pace Analytical Services, LLC					
	10/20/2021	Pace Analytical Services, LLC	Water Testing 10/4, 10/6, 10	404-0535-535.3400	599.94
	09/30/2021	Pace Analytical Services, LLC	Uniform Rental	404-0535-535.3400	878.70
		Vendor Pace Analytical Services, LLC Total:		Total:	1,478.64
Vendor: Patricia L Harris					
	11/01/2021	Patricia L Harris	VLMCC Deposit Refund	001-2200000	125.00
		Vendor Patricia L Harris Total:		Total:	125.00
Vendor: Preferred Governmental Insurance Trust					
	11/01/2021	Preferred Governmental Insu	PGIT W/C November 2021 In	001-2182000	3,440.33
		Vendor Preferred Governmental Insurance Trust Total:		Total:	3,440.33
Vendor: Ring Power Corporation					
	10/12/2021	Ring Power Corporation	Fuel Cap	001-0541-541.4640	39.45
	10/12/2021	Ring Power Corporation	Horn Button Assembly	001-0541-541.4640	46.10
	10/13/2021	Ring Power Corporation	Rings/Washers/Pins	001-0541-541.4640	378.76
		Vendor Ring Power Corporation		Total:	464.31
Vendor: Rush Truck Centers of Florida Inc					
	10/22/2021	Rush Truck Centers of Florida	Regulator - Window Electric	402-0534-534.4620	655.00
		Vendor Rush Truck Centers of Florida Inc Total:		Total:	655.00
Vendor: Sensible Water Solutions					
	10/18/2021	Sensible Water Solutions	Voided Permit 9811 & 9812	001-3221000	645.24
		Vendor Sensible Water Solutions Total:		Total:	645.24
Vendor: Servpro of Flagler County					
	10/22/2021	Servpro of Flagler County	Restoration of PW Building (J	001-0541-541.4610	3,208.37
		Vendor Servpro of Flagler County Total:		Total:	3,208.37
Vendor: SSES Inc					
	10/28/2021	SSES Inc	VacCon Blower Replacement	401-0533-533.4620	122.13
	10/28/2021	SSES Inc	VacCon Blower Replacement	404-0535-535.4620	122.13
		Vendor SSES Inc Total:		Total:	244.26
Vendor: Sun Country Termite & Pest Control					
	10/22/2021	Sun Country Termite & Pest	WWTP 10/22/2021	404-0535-535.3400	30.00
	10/22/2021	Sun Country Termite & Pest	PW 10/22/2021	001-0541-541.3400	40.00
	10/28/2021	Sun Country Termite & Pest	604 E Moody Ste 6 10/13/21	001-0519-519.3401	25.00
	10/28/2021	Sun Country Termite & Pest	604 E Moody Ste 4 10/22/21	001-0519-519.3401	25.00
	10/28/2021	Sun Country Termite & Pest	PW 10/25/21 Termite Treat	001-0541-541.4610	395.00
	10/28/2021	Sun Country Termite & Pest	WTP 10/22/21	401-0533-533.3401	30.00
	10/28/2021	Sun Country Termite & Pest	VLCC 10/22/21	001-0572-572.3400	30.00
	10/28/2021	Sun Country Termite & Pest	Coquina Bldg 10/13/21	001-0572-572.3400	37.00
	10/28/2021	Sun Country Termite & Pest	City Hall 10/13/21	001-0519-519.3401	150.00
	10/28/2021	Sun Country Termite & Pest	Joanne B. King Park 10/18/2	001-0572-572.3400	40.00
	10/28/2021	Sun Country Termite & Pest	Carver Football Field 10/18/	001-0572-572.3400	75.00
	10/28/2021	Sun Country Termite & Pest	Heritage Park 10/18/21	001-0572-572.3400	25.00
	10/28/2021	Sun Country Termite & Pest	Jackson Park 10/18/21	001-0572-572.3400	30.00
	10/04/2021	Sun Country Termite & Pest	401 E Court St 10/4/21	001-0572-572.3400	75.00
		Vendor Sun Country Termite & Pest Control Total:		Total:	1,007.00
Vendor: Tampa Crane & Body Acquisition, LLC					
	10/08/2021	Tampa Crane & Body Acquisi	Joystick Can Controls	402-0534-534.4620	511.14
		Vendor Tampa Crane & Body Acquisition, LLC Total:		Total:	511.14
Vendor: Tyler Technologies					
	09/30/2021	Tyler Technologies	NotificationTransaction Fees	401-0533-533.4900	50.00

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
	09/30/2021	Tyler Technologies	NotificationTransaction Fees	404-0535-535.4900	50.00
			Vendor Tyler Technologies	Total:	100.00
Vendor: UniFirst Corporation					
	10/20/2021	UniFirst Corporation	Uniform Rental	404-0535-535.5220	16.99
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	001-0541-541.5220	27.63
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	001-0549-549.5220	11.15
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	001-0572-572.5200	16.08
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	001-0572-572.5220	22.25
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	401-0533-533.5220	23.04
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	402-0534-534.5220	17.11
	10/20/2021	UniFirst Corporation	Uniform Rentals/Mops & Ma	404-0535-535.5220	10.54
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	001-0541-541.5220	27.63
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	001-0549-549.5220	14.85
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	001-0572-572.5200	16.08
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	001-0572-572.5220	22.25
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	401-0533-533.5220	23.04
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	402-0534-534.5220	17.11
	10/27/2021	UniFirst Corporation	Uniform Rental/Mops & Mat	404-0535-535.5220	10.54
	08/04/2021	UniFirst Corporation	Uniform Rental	404-0535-535.5220	16.99
	09/08/2021	UniFirst Corporation	Uniform Rental	404-0535-535.5220	16.99
			Vendor UniFirst Corporation Total:		310.27
Vendor: Verizon Wireless					
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0512-512.4100	23.29
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0512-512.4100	80.78
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0513-513.4100	26.46
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0513-513.4100	-6.16
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0516-516.4100	40.39
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0521-521.4100	575.76
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0524-524.4100	80.78
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0541-541.4100	77.90
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0549-549.4100	151.31
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0549-549.4100	427.52
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	001-0572-572.4100	117.61
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	401-0533-533.4100	257.41
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	402-0534-534.4100	193.31
	10/13/2021	Verizon Wireless	Cell & Data Serv Oct 2021/Ta	404-0535-535.4100	267.33
			Vendor Verizon Wireless Total:		2,313.69
Vendor: Vision Service Plan					
	10/18/2021	Vision Service Plan	VSP - November 2021	001-2184000	860.24
			Vendor Vision Service Plan Total:		860.24
Vendor: Vose Law Firm, LLP					
	10/29/2021	Vose Law Firm, LLP	October 2021 Legal Fees	001-0514-514.3102	7,000.00
	10/29/2021	Vose Law Firm, LLP	October 2021 Legal Fees	001-0524-524.3102	500.00
			Vendor Vose Law Firm, LLP Total:		7,500.00
Vendor: Wells Fargo Financial Leasing, Inc					
	10/16/2021	Wells Fargo Financial Leasing	450-7740208-004 October 2	001-0512-512.4400	110.99
	10/16/2021	Wells Fargo Financial Leasing	450-7740208-004 October 2	001-0513-513.4400	110.99
	10/16/2021	Wells Fargo Financial Leasing	450-7740208-004 October 2	001-0521-521.4400	110.99
	10/16/2021	Wells Fargo Financial Leasing	450-7740208-004 October 2	001-0524-524.4400	111.00
			Vendor Wells Fargo Financial Leasing, Inc Total:		443.97
Vendor: WEX Bank					
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	001-0521-521.5210	3,556.43
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	001-0541-541.5210	637.56
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	001-0549-549.5210	98.36
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	001-0572-572.5210	328.46
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	401-0533-533.5210	971.78
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	402-0534-534.5210	3,317.98

Expense Approval Register

Packet: APPKT07405 - 11.08.2021 Warrant

(None)	Post Date	Vendor Name	Description (Item)	Account Number	Amount
	10/31/2021	WEX Bank	WEX Fuel Charges October 2	404-0535-535.5210	615.43
				Vendor WEX Bank Total:	9,526.00
				Grand Total:	147,289.95

Fund Summary

Fund	Expense Amount
001 - GENERAL FUND	116,767.74
401 - WATER	5,887.92
402 - SOLID WASTE	14,223.58
404 - SEWER	10,410.71
Grand Total:	147,289.95

Account Summary

Account Number	Account Name	Expense Amount
001-0511-511.4900	Other Current Chgs & O	600.00
001-0512-512.3400	Other Contracted Servic	3,640.00
001-0512-512.4100	Communications Expens	104.07
001-0512-512.4400	Rentals/Leases	110.99
001-0512-512.4800	Advertising	233.16
001-0513-513.4100	Communications Expens	61.49
001-0513-513.4400	Rental / Lease Expense	110.99
001-0513-513.4800	Advertising / Promo - Ad	172.96
001-0514-514.3102	Legal Services	7,000.00
001-0516-516.4100	Communications Expens	40.39
001-0519-519.3401	Other Contractual Servic	200.00
001-0519-519.4300	Utilities	2,701.87
001-0521-521.3400	Other Contract Services	9,014.84
001-0521-521.3410	Other Contract-Dry Clea	200.00
001-0521-521.4100	Communications Expens	599.18
001-0521-521.4400	Rental / Lease Expense	16,218.91
001-0521-521.5200	Operating Supplies	627.80
001-0521-521.5210	Fuel	3,556.43
001-0524-524.3100	Professional Services Ex	5,005.00
001-0524-524.3102	Legal Services	500.00
001-0524-524.3401	Bldg / Fire Inspection Ex	2,575.00
001-0524-524.4100	Communications Expens	80.78
001-0524-524.4400	Rental / Lease Expense	111.00
001-0524-524.4800	Advertising / Promo Exp	1,121.12
001-0541-541.3400	Other Contract Services	40.00
001-0541-541.4100	Communications Expens	101.31
001-0541-541.4300	Utility - Public Services	5,194.81
001-0541-541.4610	Repair / Maint - Bldgs	3,752.76
001-0541-541.4620	Repair / Maint - Vehicles	81.51
001-0541-541.4640	Equipment Repair & Mai	1,386.40
001-0541-541.5210	Fuel	637.56
001-0541-541.5220	Uniforms Exp	55.26
001-0549-549.4100	Communications	578.83
001-0549-549.5210	Fuel	98.36
001-0549-549.5220	Uniforms	26.00
001-0572-572.3400	Other Contract Services	312.00
001-0572-572.4100	Communications Expens	236.59
001-0572-572.4300	Utility - Public Services	1,519.24
001-0572-572.4640	Repair/Maint - Equipme	144.47
001-0572-572.5200	Operating Supplies	988.51
001-0572-572.5210	Fuel	328.46
001-0572-572.5220	Uniforms Exp	44.50
001-2182000	WC Payable	3,440.33
001-2184000	Med/Health Employee Li	38,653.12
001-2184500	Retiree Medical	2,067.10
001-2185000	125 Plans Employee Pay	724.40
001-2200000	Deposits Paybl - Park Re	125.00
001-2201000	Deposits Paybl - CtyHall/	250.00
001-3221000	Bldg Permit Fees Rev - C	645.24
001-3291000	Other Development Fee	750.00
401-0533-533.3401	Other Contract Services	30.00

Account Summary

Account Number	Account Name	Expense Amount
401-0533-533.4100	Communications Expens	316.43
401-0533-533.4300	Utility - Public Services	196.47
401-0533-533.4620	Repair / Maint - Vehicles	122.13
401-0533-533.4640	Repair / Maint - Equipm	2,586.95
401-0533-533.4900	Other Current Chgs & O	50.00
401-0533-533.5205	Operating Supplies Exp -	1,568.08
401-0533-533.5210	Fuel	971.78
401-0533-533.5220	Uniforms Exp	46.08
402-0534-534.3400	Other Contract Services	7,981.35
402-0534-534.4100	Communications - Solid	193.31
402-0534-534.4620	Repair/Maint Vehicles -	1,868.23
402-0534-534.5200	Operating Supplies	599.99
402-0534-534.5210	Fuel	3,317.98
402-0534-534.5220	Uniforms - Solid Waste	34.22
402-0534-534.5264	Small Equipment - Solid	228.50
404-0535-535.3400	Other Contractual Servic	1,508.64
404-0535-535.4100	Communications	325.80
404-0535-535.4300	Utilities	6,768.18
404-0535-535.4620	Repairs & Maint. - Vehicl	122.13
404-0535-535.4900	Other Current Charges &	50.00
404-0535-535.5200	Operating Supplies	600.00
404-0535-535.5210	Fuel	615.43
404-0535-535.5220	Uniforms	72.05
404-0535-535.5264	Small Equipment	348.48
Grand Total:		147,289.95

Project Account Summary

Project Account Key	Expense Amount
None	147,289.95
Grand Total:	147,289.95



City of Bunnell, Florida

ATTACHMENTS:

Description
Proposed Minutes

Type
Minutes

CATHERINE D. ROBINSON
MAYOR

JOHN ROGERS
VICE-MAYOR

DR. ALVIN B. JACKSON, JR
CITY MANAGER



COMMISSIONERS:

TONYA GORDON

BOB BARNES

TINA-MARIE SCHULTZ

BUNNELL CITY COMMISSION MINUTES

Monday, October 25, 2021

Join Zoom Meeting <http://bunnellcity.us/meeting>

7:00 PM

201 West Moody Boulevard,
City Commission Chambers - Building 3
Bunnell, FL 32110

A. Call Meeting to Order and Pledge Allegiance to the Flag

Mayor Robinson called the meeting to order at 7:00 PM and led the Pledge to the Flag.

It was determined there was a quorum physically present at the meeting.

Roll Call (Present): Mayor Catherine D. Robinson; Vice Mayor John Rogers; Commissioner Tonya Gordon; Commissioner Bob Barnes; Commissioner Tina-Marie Schultz; City Attorney John Cary; City Manager Alvin Jackson; Infrastructure Director Dustin Vost; City Clerk Kristen Bates; Deputy Clerk Bridgitte Gunnells

Present Via Zoom: Finance Director Shanea Stankiewicz

Invocation for our Military Troops and National Leaders

Pastor Bruce led the invocation.

B. Introductions, Commendations, Proclamations, and Presentations:

B.1. Proclamation: World Polio Day

Mayor Robinson read the Proclamation into the record. Lindsey Elliot, on behalf of Bunnell Rotary, accepted the Proclamation. Sandra Shank invited the Commission to participate in their meetings on the 2nd and 4th Tuesdays of the month at the Grand Reserve Amenity Center.

C. Consent Agenda:

C.1. Approval of Warrant

a. October 25, 2021 Warrant

C.2. Approval of Minutes

a. October 11, 2021 City Commission Meeting Minutes

Motion: Approve the Consent Agenda.

Motion by: Commissioner Gordon

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

D. Public Comments:

Comments regarding items not on the Agenda. Citizens are encouraged to speak; however, comments are limited to four (4) minutes.

None

E. Ordinances: (Legislative):

E.1. Ordinance 2021-27 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.51± acres of land, owned by Seth Colton Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0001 from Flagler County, Agriculture and Timberland to City of Bunnell, Agriculture. - Second Reading

City Attorney John Cary read the short title into the record.

Motion: Adopt Ordinance 2021-27 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.51± acres of land, owned by Seth Colton Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0001 from Flagler County, Agriculture and Timberland to City of Bunnell, Agriculture. - Second Reading

Motion by: Vice Mayor Rogers

Second by: Commissioner Gordon

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.2. Ordinance 2021-28 Requesting to change the official zoning map for 7.51± acres of land, owned by Seth Colton Strickland, Bearing the Parcel ID:02-13-30-0650-000A0-0001 from Flagler County, AC- Agriculture to City of Bunnell, Agriculture District. - Second Reading

City Attorney John Cary read the short title into the record.

Motion: Adopt Ordinance 2021-28 Requesting to change the official zoning map for 7.51± Acres of land, owned by Seth Colton Strickland, Bearing the Parcel ID:02-13-30-0650-000A0-0001 from Flagler County, AC- Agriculture to City of Bunnell, Agriculture District. - Second Reading

Motion by: Commissioner Barnes

Second by: Commissioner Gordon

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.3. Ordinance 2021-33 Requesting to change the official zoning map for 5± acres of land, owned by Ashley Danielle Stover, Bearing the Parcel ID: 22-12-30-0650-000C0-0121 from Flagler County, AC- Agriculture to City of Bunnell, AG&S, Agriculture & Silviculture District. - Second Reading

City Attorney John Cary read the short title into the record.

Motion: Adopt Ordinance 2021-33 Requesting to change the official zoning map for 5± acres of land, owned by Ashley Danielle Stover, Bearing the Parcel ID: 22-12-30-0650-000C0-0121 from Flagler County, AC- Agriculture to City of Bunnell, AG&S, Agriculture & Silviculture District. - Second Reading.

Motion by: Commissioner Gordon

Second by: Vice Mayor Rogers

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.4. Ordinance 2021-34 Requesting to change the official zoning map for 31.6± acres of land, owned by Clinton & Kathryn Palmer, Bearing the Parcel ID:19-13-30-1650-01060-0020 from Flagler County, AC- Agriculture to City of Bunnell, AG&S, Agriculture & Silviculture and C-1, Conservation Districts. - Second Reading

City Attorney John Cary read the short title into the record.

Motion: Adopt Ordinance 2021-34 Requesting to change the official zoning map for 31.6± Acres of land, owned by Clinton & Kathryn Palmer, Bearing the Parcel ID:19-13-30-1650-01060-0020 from Flagler County, AC- Agriculture to City of Bunnell, AG&S, Agriculture & Silviculture and C-1, Conservation Districts. - Second Reading

Motion by: Commissioner Barnes

Second by: Commissioner Schultz

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.5. Ordinance 2021-23 Requesting to change the Future Land Use Map in the Comprehensive Plan for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - First Reading City

Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-23 Requesting to change the Future Land Use Map in the Comprehensive Plan for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - First Reading

Motion by: Commissioner Gordon

Second by: Vice Mayor Rogers

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

E.6. Ordinance 2021-24 Requesting to change the official zoning map for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13- 30-0650-000D0-0102 from Flagler County, AC- Agriculture to City of Bunnell, AG Agriculture District. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-24 Requesting to change the official zoning map for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13- 30-0650-000D0-0102 from Flagler County, AC- Agriculture to City of Bunnell, AG Agriculture District. - First Reading

Motion by: Commissioner Schultz

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

E.7. Ordinance 2021-25 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650- 000A0-0027 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-25 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650- 000A0-0027 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - First Reading

Motion by: Commissioner Gordon

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

E.8. Ordinance 2021-26 Requesting to change the official zoning map for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13- 30-

0650-000A0-0026 & 02-13-30-0650-000A0-0027 from Flagler County AC Agriculture to City of Bunnell, Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-26 Requesting to change the official zoning map for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13- 30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from Flagler County AC Agriculture to City of Bunnell, Agriculture. - First Reading

Motion by: Commissioner Barnes

Second by: Commissioner Gordon

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.9. Ordinance 2021-29 Request to change the Future Land Use Map in the Comprehensive Plan for 10± acres of land, owned by Gator-Parks LLC, Bearing the Parcel ID:21-13-31-0650-000B0-0110 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-29 Request to change the Future Land Use Map in the Comprehensive Plan for 10± acres of land, owned by Gator-Parks LLC, Bearing the Parcel ID:21-13-31-0650-000B0-0110 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - First Reading

Motion by: Vice Mayor Rogers

Second by: Commissioner Gordon

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

E.10. Ordinance 2021-30 Request to change the official zoning map for 10± acres of land, owned by Gator-Parks LLC , Bearing the Parcel ID's:21-13-31-0650-000B0- 0110 from Flagler County, R-1, Rural Residential to City of Bunnell, AG Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-30 Request to change the official zoning map for 10± acres of land, owned by Gator-Parks LLC, Bearing the Parcel ID's:21-13-31-0650-000B0- 0110 from Flagler County, R-1, Rural Residential to City of Bunnell, AG Agriculture. - First Reading

Motion by: Commissioner Schultz

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

E11. Ordinance 2021-31 Request to change the Future Land Use Map in the Comprehensive Plan for 5 ± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID: 21-13-31-0650-000A0-0081 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-31 Request to change the Future Land Use Map in the Comprehensive Plan for 5 ± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID: 21-13-31-0650-000A0-0081 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - First Reading

Motion by: Commissioner Barnes

Second by: Vice Mayor Rogers

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

E.12. Ordinance 2021-32 Request to change the official zoning map for 5± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID's: 21-13-31-0650-000A0-0081 from Flagler County, R-1, Rural Residential to City of Bunnell, AG-Agriculture. - First Reading

City Attorney John Cary read the short title into the record.

Motion: Approve Ordinance 2021-32 Request to change the official zoning map for 5± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID's: 21-13-31-0650-000A0-0081 from Flagler County, R-1, Rural Residential to City of Bunnell, AG Agriculture. - First Reading

Motion by: Commissioner Gordon

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea
Commissioner Gordon - Yea
Commissioner Schultz - Yea
Vice Mayor Rogers - Yea
Mayor Robinson – Yea

Vote: Motion carried unanimously

F. Resolutions: (Legislative): None

G. Old Business: None

H. New Business:

H.1. Request Approval for Community Development Block Grant (CDBG) Contract Number 22DB-OP-04-28-02-N09

Infrastructure Director Dustin Vose presented the item to the Board.

Motion: Approve the request for Community Development Block Grant (CDBG) Contract Number 22DB-OP-04-28-02-N09 and for Mayor to e-sign the contract.

Motion by: Vice Mayor Rogers

Second by: Commissioner Gordon

Board Discussion: None

Public Discussion: None

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

H.2. Request approval for engineering services for permitting, design, and construction management of the Hymon Drainage Project

Infrastructure Director Dustin Vose presented the item to the Board.

Motion: Approval of the request for engineering services for permitting, design, and construction management of the Hymon Drainage Project to be awarded to Alliant Engineering Inc.

Motion by: Commissioner Gordon

Second by: Commissioner Barnes

Board Discussion: None

Public Discussion: Marcus DePasquale, of Alliant Engineering, addressed the Commission. He stated this is a very good project for the City and will help with drainage issues; Alliant looks forward to continuing to work with the City of Bunnell.

Roll Call Vote:

Commissioner Barnes – Yea

Commissioner Gordon - Yea

Commissioner Schultz - Yea

Vice Mayor Rogers - Yea

Mayor Robinson – Yea

Vote: Motion carried unanimously

I. Reports:

- **City Clerk** – Advised Christmas in Bunnell has been scheduled for Friday, December 10, 2021 from 5:00 PM to 8:00PM. Asked if the Commission had decided what to do for the 2nd Commission meeting in December. Through consensus it was decided to move this meeting to December 22, 2021 at 8:00 AM.
- **City Attorney** – Reported he will not be available for the November 22nd meeting, but another attorney from the firm will attend.
- **City Manager** –
- **Mayor and City Commissioners**
 - **Commissioner Barnes** – None
 - **Commissioner Gordon** – None
 - **Commissioner Schultz** – Spoke about her “Coffee with the Commish.” She stated a resident has mentioned the lack of organized sports or things for children to participate with in the City. She stated she has experience

in creating active Parks and Recreational programs and would like to see the City create a more active Parks and Recreation program in the next three to five years. Mayor Robinson advised that several youth programs are run out of the Carver Gym; Commissioner Schultz will share that information with the citizen.

- **Vice Mayor Rogers** – None
- **Mayor Robinson** – None

J. Call for Adjournment.

Motion: Adjourn

Motion by: Vice Mayor Rogers

Seconded by: Commissioner Gordon

Vote: Motion carried unanimously

Meeting adjourned at 7:58 PM.

Catherine D. Robinson, Mayor

Kristen Bates, CMC, City Clerk

Date

Date

*****The City adopts summary minutes. Audio files in official City records are retained according to the Florida Department of State GS1-SL records retention schedule*****



City of Bunnell, Florida

Agenda Item No. E.1.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-23 Requesting to change the Future Land Use Map in the Comprehensive Plan for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Proposed Ordinance	Ordinance
Shannon & Angela Strickland Location Map	Location Map(s)

Summary/Highlights:

The applicants are requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 5.34± acre parcel of land from "Agriculture and Silviculture" to "Agriculture".

There is a companion rezoning request to amend the official zoning map to change the zoning of this property from Flagler County, "AC- Agriculture" to City of Bunnell, "AG- Agriculture".

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants, Shannon and Angela Strickland, own a 5.34± acre parcel of land identified as Parcel ID:02-13-30-0650-000D0-0102. While no address has been assigned to the parcel, it is

currently associated with property to the north addressed as 1771 County Road 304. The applicant is requesting this FLUM amendment to allow them to develop the property at a density of up to 1 dwelling unit per acre in the future.

The parcel's current FLUM designation is "Agriculture and Silviculture". The "Agriculture and Silviculture" land use designation was created to accommodate a range of agricultural and related uses while also allowing low density residential development at a maximum density of one (1) dwelling unit per five (5) acres.

The proposed FLUM designation is "Agriculture". The "Agriculture" land use designation was created to allow a range of agricultural and related uses, while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre. The applicant's intended use is consistent with the rural character of the area.

If developed at the maximum allowable density in the future, the proposed FLUM designation will result in a increase of 4 additional dwelling units on the property compared to the current FLUM designation. There is adequate capacity in the existing public facilities and services to accommodate this proposed amendment.

Staff Recommendation:

Adopt Ordinance 2021-23 Requesting to change the Future Land Use Map in the Comprehensive Plan for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-23

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE *CITY OF BUNNELL COMPREHENSIVE PLAN*, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT OF THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE *CITY OF BUNNELL COMPREHENSIVE PLAN* RELATIVE TO CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 5.34± ACRES, OWNED BY SHANNON AND ANGELA STRICKLAND, BEARING PARCEL ID: 02-13-30-0650-000D0-0102, LOCATED SOUTH OF COUNTY ROAD 304 WITHIN THE BUNNELL CITY LIMITS FROM CITY OF BUNNELL, AGRICULTURE AND SILVICULTURE TO CITY OF BUNNELL AGRICULTURE; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number 02-13-30-0650-000D0-0102, located in the City of Bunnell; and

WHEREAS, the owners of the property, Shannon and Angela Strickland, have requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since August 23, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on September 23, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the City of Bunnell *2030 Comprehensive Plan* pertaining to the subject property.
- (b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.
- (c) This Ordinance is internally consistent with the goals, objectives and policies of the City of Bunnell *2030 Comprehensive Plan*.
- (d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

- (a) The Future Land Use Plan Element of the City of Bunnell *2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the Agriculture land use designation to the real property which is the subject of this Ordinance as set forth herein.
- (b) The property which is the subject of this Comprehensive Plan amendment is described as follows:

LEGAL DESCRIPTION: 5.34 AC BUNNELL DEV CO SUBD LYING IN BLKS A & D DES AS POR NE CRNR SEC 2-S032540E ALONG E SEC LINE 2519.43' TO POB THENCE CONTINUE ALONG E SE LINE 413.75', N862911W-686. 52', N033204E-288.70', N823938 E-648.02' TO POB SAID LAND LAY SLY ALONG 2.38 AC PARC

ADDRESS: Unaddressed parcel in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 02-13-30-0650-000D0-0102

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing

amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the *City of Bunnell 2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 25th day of October 2021.

Second Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

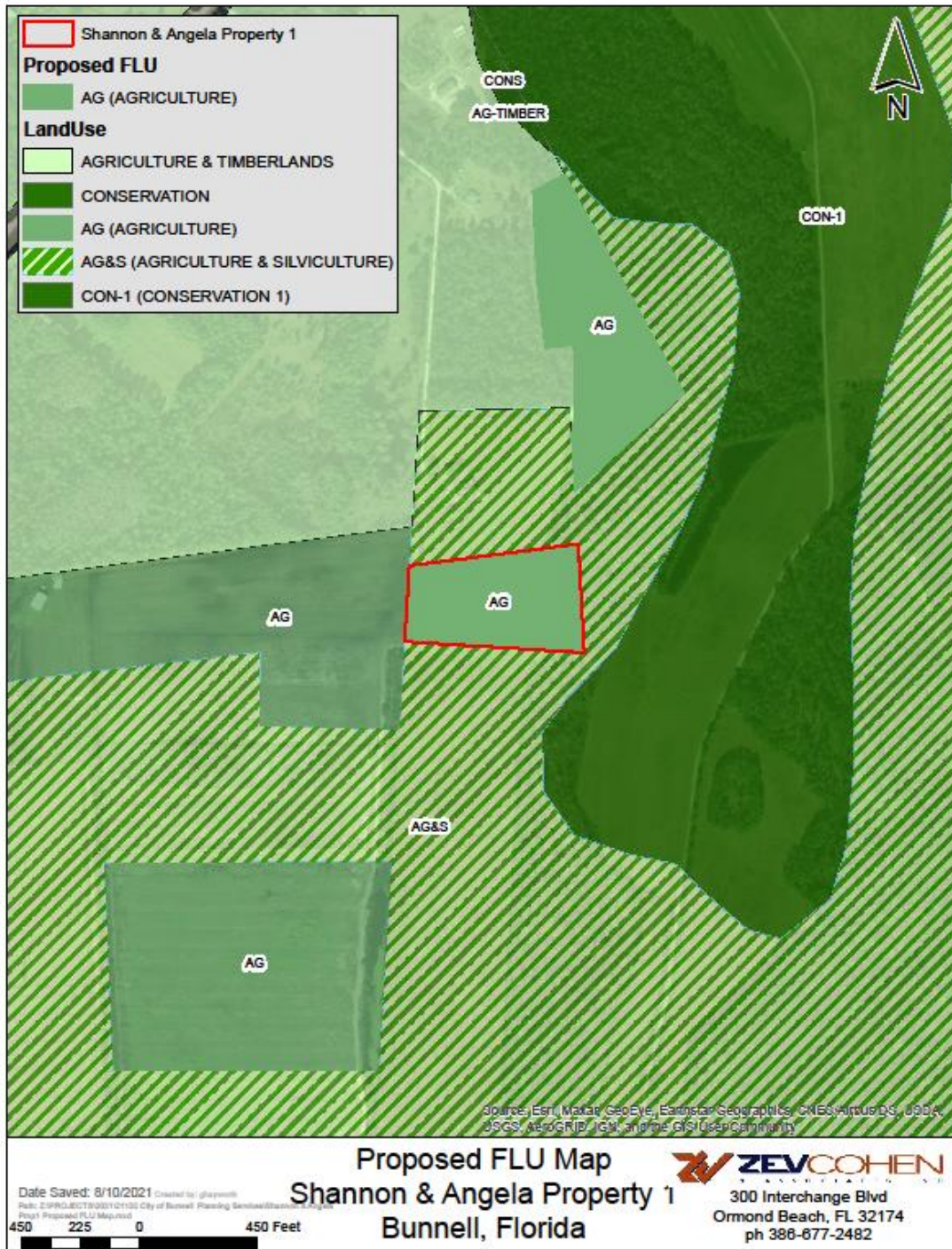
Attest:




Kristen Bates, City Clerk, CMC

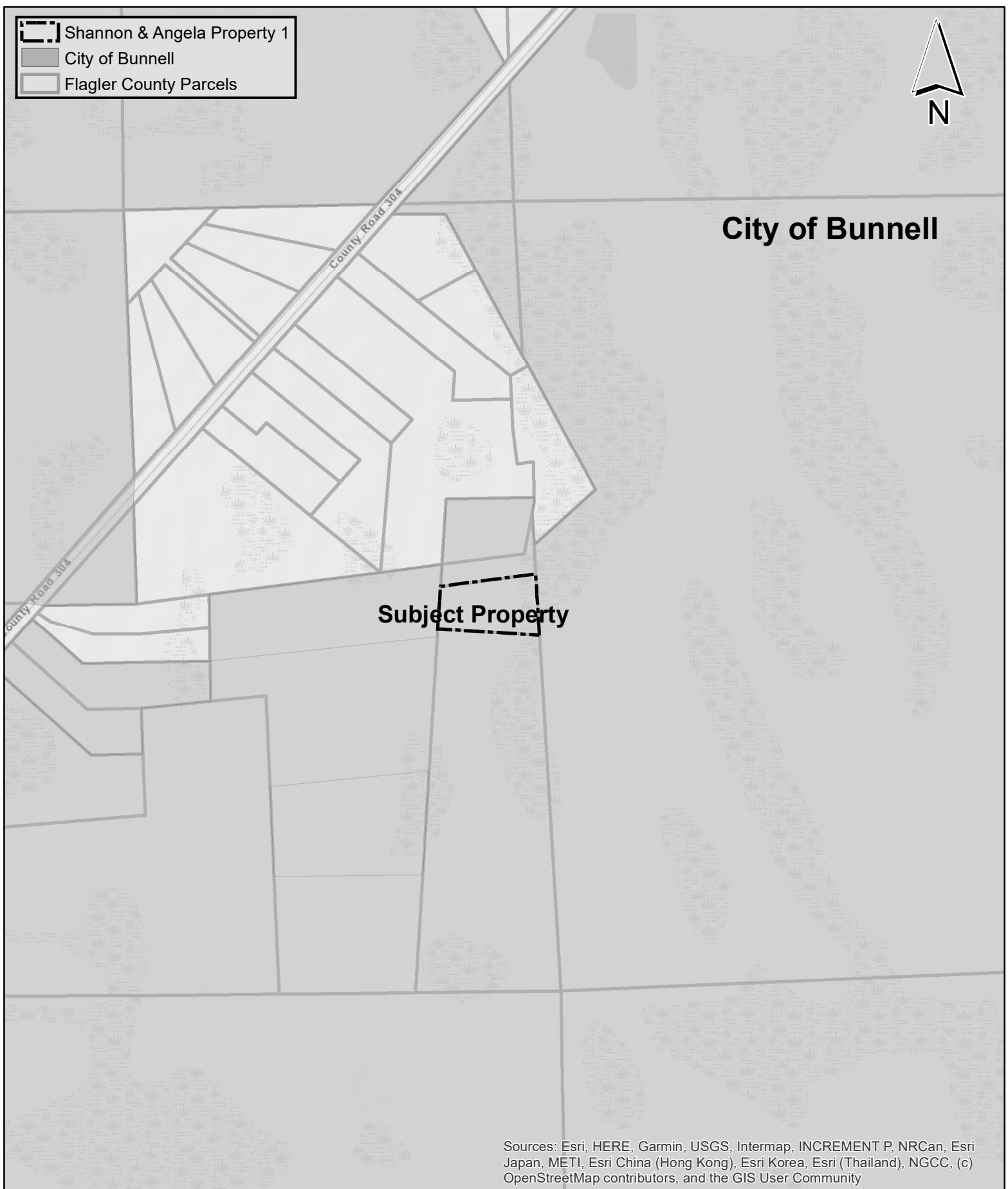
Seal:

EXHIBIT A

Location Map



-  Shannon & Angela Property 1
-  City of Bunnell
-  Flagler County Parcels



City of Bunnell

Subject Property

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

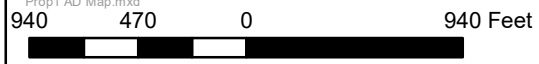
Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Shannon & Angela Prop1 AD Map.mxd

**Shannon & Angela Property 1
 Bunnell, Florida**



**300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482**





City of Bunnell, Florida

Agenda Item No. E.2.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-24 Requesting to change the official zoning map for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from Flagler County, AC- Agriculture to City of Bunnell, AG- Agricultural District. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Shannon & Angela Strickland No. 1 Proposed Rezoning Ordinance	Ordinance
Shannon & Angela Strickland No. 1 Location Map	Location Map(s)

Summary/Highlights:

The applicants are requesting an amendment to the official zoning map to change the zoning on a 5.34± acre parcel of land from Flagler County, "AC- Agriculture" to City of Bunnell, "AG- Agricultural".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation of this property from "Agriculture and Silviculture" to "Agriculture" that is being processed concurrently with this application.

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants, Shannon and Angela Strickland, own a 5.34± acre parcel of land identified as Parcel ID:02-13-30-0650-000D0-0102. While no address has been assigned to the parcel, it is currently associated with property to the north addressed as 1771 County Road 304. The

applicants are requesting this rezoning to allow them to develop the property at density of up to 1 dwelling unit per acre in the future.

The property is currently zoned Flagler County "AC-Agriculture". Although annexed into the City, the property did not receive a City of Bunnell zoning classification. The Flagler County "AC-Agriculture" has a minimum lot size of five (5) acres.

The proposed zoning classification is City of Bunnell "Ag-Agricultural". The intent of the "Ag-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and sustainable development." The minimum lot size in the "Ag-Agricultural" district is one (1) acre.

The proposed "Ag-Agricultural" zoning is consistent with the existing pattern of surrounding development.

Staff Recommendation:

Adopt Ordinance 2021-24 Requesting to change the official zoning map for 5.34± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID:02-13-30-0650-000D0-0102 from Flagler County, AC- Agriculture to City of Bunnell, AG- Agricultural District. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-24

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 5.34± ACRES, OWNED BY SHANNON AND ANGELA STRICKLAND, BEARING PARCEL ID: 02-13-30-0650-000D0-0102 LOCATED SOUTH OF COUNTY ROAD 304 WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, “AC- AGRICULTURE” TO CITY OF BUNNELL, “AG- AGRICULTURAL”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Shannon and Angela Strickland, the owners of certain real property, which land totals approximately 5.34± acres in size located south County Road 304 and is assigned Tax Parcel Identification Number 02-13-30-0650-000D0-0102 by the Property Appraiser of Flagler County; and

WHEREAS, Shannon and Angela Strickland have applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell AG- Agricultural District, zoning classification from the existing Flagler County, “AC- Agriculture” zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on September 23, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is approximately 5.34± acres in size, is located south of County Road 304.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 5,34± acres in size, shall be rezoned to the City of Bunnell AG- Agricultural District, zoning classification from the existing Flagler County, “AC- Agriculture” zoning classification:

LEGAL DESCRIPTION: : 5.34 AC BUNNELL DEV CO SUBD LYING IN BLKS A & D DES AS POR NE CRNR SEC 2-S032540E ALONG E SEC LINE 2519.43' TO POB THENCE CONTINUE ALONG E SE LINE 413.75', N862911W-686. 52', N033204E-288.70', N823938 E-648.02' TO POB SAID LAND LAY SLY ALONG 2.38 AC PARC

ADDRESS: Unaddressed in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 02-13-30-0650-000D0-0102

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-23.

First Reading: approved on this 25th day of October 2021.

Second/Final Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

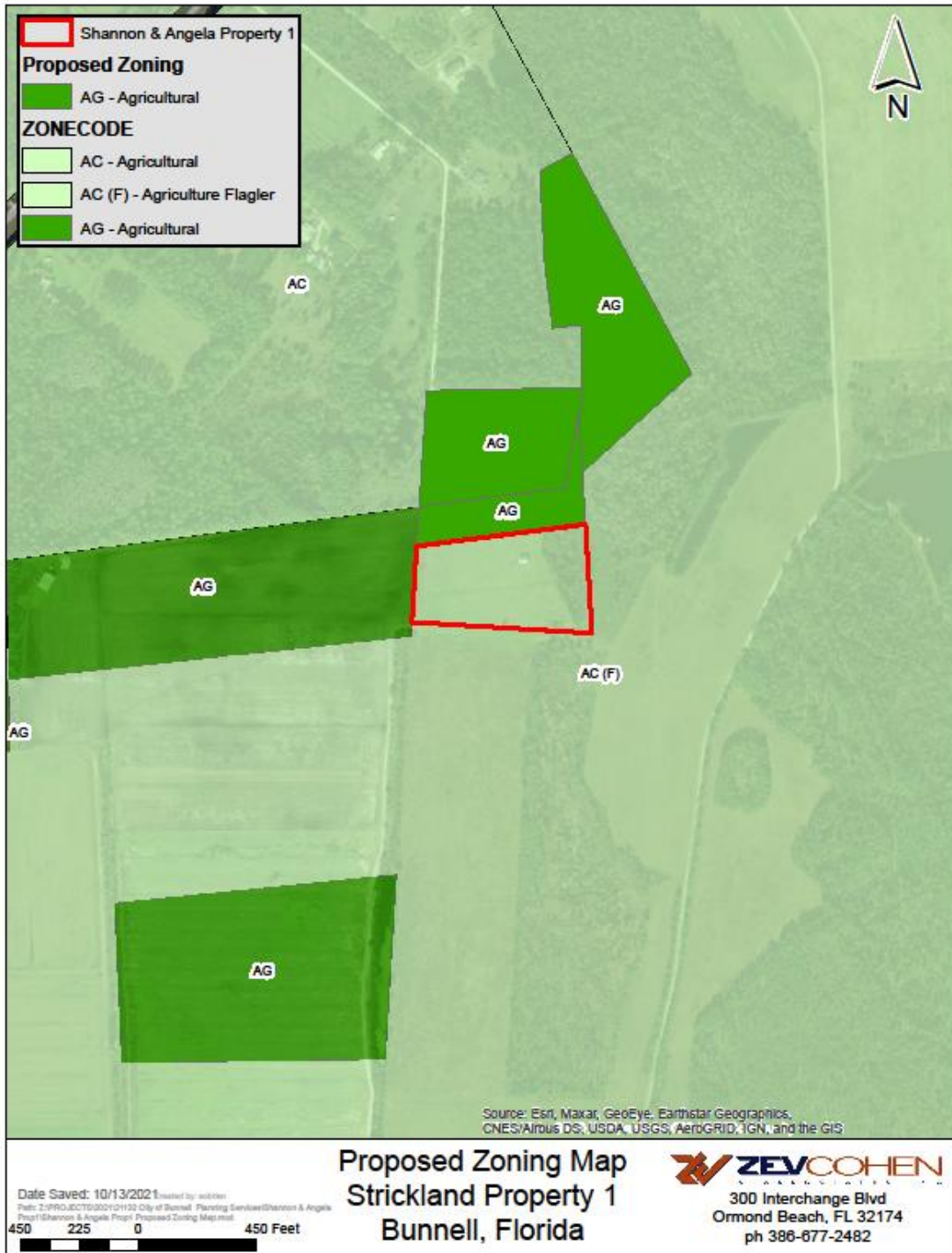
Attest:




Kristen Bates, CMC, City Clerk

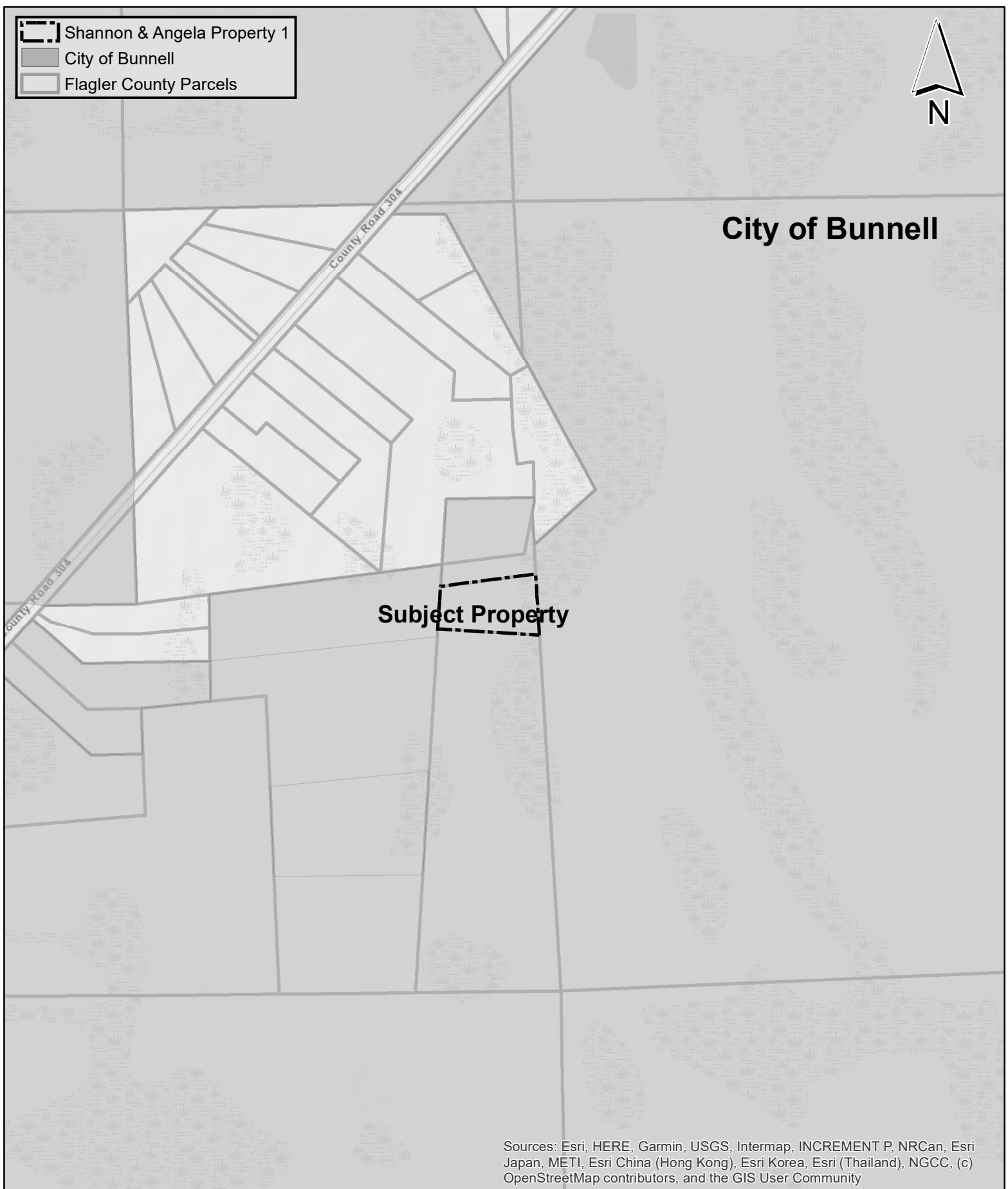
Seal:

Exhibit "A"

Proposed Rezoning Map



-  Shannon & Angela Property 1
-  City of Bunnell
-  Flagler County Parcels



City of Bunnell

Subject Property

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

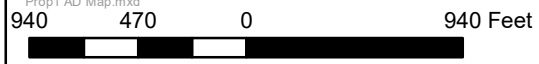
Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Shannon & Angela Prop1 AD Map.mxd

**Shannon & Angela Property 1
 Bunnell, Florida**



**300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482**





City of Bunnell, Florida

Agenda Item No. E.3.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-25 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Shannon & Angela Strickland No.2 Proposed FLUM Amendment Ordinance	Ordinance
Shannon & Angela Strickland No.2 Location Map	Location Map(s)

Summary/Highlights:

The applicants are requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 7.75± acre property from "Agriculture and Silviculture" to "Agriculture".

There is a companion rezoning request to amend the official zoning map to change the zoning from Flagler County, "AC- Agriculture" to City of Bunnell, "AG- Agriculture".

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants, Shannon and Angela Strickland, own a 7.75± acre property identified as Parcel ID's: 02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 . The property is addressed as 1771 County Road 304. The applicant is requesting this FLUM amendment to allow them to

develop the property at density of up to 1 dwelling unit per acre in the future.

The parcel's current FLUM designation is "Agriculture and Silviculture". The "Agriculture and Silviculture" land use designation was created to accommodate a range of agricultural and related uses while also allowing low density residential development at a maximum density of one (1) dwelling unit per five (5) acres.

The proposed FLUM designation is "Agriculture". The "Agriculture" land use designation was created to allow a range of agricultural and related uses, and while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre. The applicant's intended use is consistent with the rural character of the area.

If developed at the maximum allowable density in the future, the proposed FLUM designation will result in a increase of 6 additional dwelling units on the property compared to the current FLUM designation. There is adequate capacity in the existing public facilities and services to accommodate this proposed amendment.

Staff Recommendation:

Adopt Ordinance 2021-25 Requesting to change the Future Land Use Map in the Comprehensive Plan for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from City of Bunnell, Agriculture and Silviculture to City of Bunnell, Agriculture. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-25

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT OF THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 7.75± ACRES, OWNED BY SHANNON AND ANGELA STRICKLAND, BEARING PARCEL ID'S: 02-13-30-0650-000A0-0026 AND 02-13-30-0650-000A0-0027, ADDRESSED AS 1771 COUNTY ROAD 304 WITHIN THE BUNNELL CITY LIMITS FROM CITY OF BUNNELL, AGRICULTURE AND SILVICULTURE TO CITY OF BUNNELL AGRICULTURE; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Numbers 02-13-30-0650-000A0-0026 and 02-13-30-0650-000A0-0027, located in the City of Bunnell; and

WHEREAS, the owners of the property, Shannon and Angela Strickland, have requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since August 23, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on September 23, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved

without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

(a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the *City of Bunnell 2030 Comprehensive Plan* pertaining to the subject property.

(b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

(c) This Ordinance is internally consistent with the goals, objectives and policies of the *City of Bunnell 2030 Comprehensive Plan*.

(d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

(a) The Future Land Use Plan Element of the *City of Bunnell 2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the Agriculture land use designation to the real property which is the subject of this Ordinance as set forth herein.

(b) The property which is the subject of this *Comprehensive Plan* amendment is described as follows:

LEGAL DESCRIPTION: 5.37 AC BEING PARCEL 3-A DESC AS BGN NE CRNR OF SEC 2, SW 758.59'SW 652.28', SE 1021.86', SW 861.76'TO POB THENCE SW 440', NE 658.25', NE 281.90', NE 69.80', NW 34.49', SW 18.82', SW 673.01' TO POB OR 607 PG 669 OR 617 PG 545 OR 893 PG 610-RDMAN ANGELA C, AND;

2.38 AC DESC AS BGN NE CRNR SEC 2, SW 758.59', SW 652.58', SE 1021.86', SW 1301.75' TO POB THENCE SW 150', NE 658.02', NW 415.45', SW 281.80', SW 558.28' TO POB OR 607 PG 669 OR 617 PG 545 OR 893 PG 610-RDMANANGELA STRICKLAND TRUST ORD 2005-23

ADDRESS: 1771 County Road 304 in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBERS: 02-13-30-0650-000A0-0026 and 02-13-30-0650-000A0-0027

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the City of Bunnell *2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 25th day of October 2021.

Second Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor




Approved for form and content by:

Vose Law Firm, City Attorney

Attest:

Kristen Bates, City Clerk, CMC

Seal:

-  Shannon & Angela Property 2
-  City of Bunnell
-  Flagler County Parcels



City of Bunnell



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Shannon & Angela Prop2 AD Map.mxd

Shannon & Angela Property 2 Bunnell, Florida

ZEV COHEN
 & ASSOCIATES INC
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482





City of Bunnell, Florida

Agenda Item No. E.4.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-26 Requesting to change the official zoning map for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from Flagler County AC-Agriculture to City of Bunnell, Agricultural. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Shannon & Angela Strickland No. 2 Ordinance	Ordinance
Shannon & Angela Strickland No. 2 Location Map	Location Map(s)

Summary/Highlights:

The applicants are requesting an amendment to the official zoning map to change the zoning on a 7.75± acre property from Flagler County, "AC- Agriculture" to City of Bunnell, "AG- Agricultural".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation from "Agriculture and Silviculture" to "Agriculture" that is being processed concurrently with this application.

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants, Shannon and Angela Strickland, own a 7.75± acre property identified as Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027. The property is addressed as 1771 County Road 304. The applicants are requesting this rezoning to allow them to develop the

property at density of up to 1 dwelling unit per acre in the future.

The property is currently zoned Flagler County "AC-Agriculture". Although annexed into the City, the property did not receive a City of Bunnell zoning classification. The Flagler County "AC-Agriculture" has a minimum lot size of five (5) acres.

The proposed zoning classification is City of Bunnell "AG-Agricultural". The intent of the "AG-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and sustainable development." The minimum lot size in the "AG-Agricultural" district is one (1) acre.

The proposed "AG-Agricultural" zoning is consistent with the existing pattern of surrounding development.

Staff Recommendation:

Adopt Ordinance 2021-26 Requesting to change the official zoning map for 7.75± acres of land, owned by Shannon and Angela Strickland, Bearing the Parcel ID's:02-13-30-0650-000A0-0026 & 02-13-30-0650-000A0-0027 from Flagler County AC-Agriculture to City of Bunnell, Agricultural. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-26

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 7.75± ACRES, OWNED BY SHANNON AND ANGELA STRICKLAND, BEARING PARCEL ID'S: 02-13-30-0650-000A0-0026 & 02-13-30-000A0-0027 ADDRESSED AS 1771 COUNTY ROAD 304 WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, "AC- AGRICULTURE" TO CITY OF BUNNELL, "AG- AGRICULTURAL"; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Shannon and Angela Strickland, the owners of certain real property, which land totals approximately 7.75± acres in size located south County Road 304 and is assigned Tax Parcel Identification Numbers 02-13-30-0650-000A0-0026 and 02-13-30-0650-000A0-0027 by the Property Appraiser of Flagler County; and

WHEREAS, Shannon and Angela Strickland have applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell AG- Agricultural District, zoning classification from the existing Flagler County, "AC- Agriculture" zoning classification; and

WHEREAS, the City's Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City's *Comprehensive Plan*; and

WHEREAS, on September 23, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City's Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is approximately 7.75± acres in size, is located at 1771 County Road 304 in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 7.75± acres in size, shall be rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “AC- Agriculture” zoning classification; and

LEGAL DESCRIPTION: 5.37 AC BEING PARCEL 3-A DESC AS BGN NE CRNR OF SEC 2, SW 758.59'SW 652.28', SE 1021.86', SW 861.76'TO POB THENCE SW 440', NE 658.25', NE 281.90', NE 69.80', NW 34.49', SW 18.82', SW 673.01' TO POB OR 607 PG 669 OR 617 PG 545 OR 893 PG 610-RDMAN ANGELA C, AND;

2.38 AC DESC AS BGN NE CRNR SEC 2, SW 758.59', SW 652.58', SE 1021.86', SW 1301.75' TO POB THENCE SW 150', NE 658.02', NW 415.45', SW 281.80', SW 558.28' TO POB OR 607 PG 669 OR 617 PG 545 OR 893 PG 610-RDMANANGELA STRICKLAND TRUST ORD 2005-23

ADDRESS: 1771 County Road 304 in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBERS: 02-13-30-0650-000A0-0026 and 02-13-30-0650-000A0-0027

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.

(c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-25.

First Reading: approved on this 25th day of October 2021.

Second/Final Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

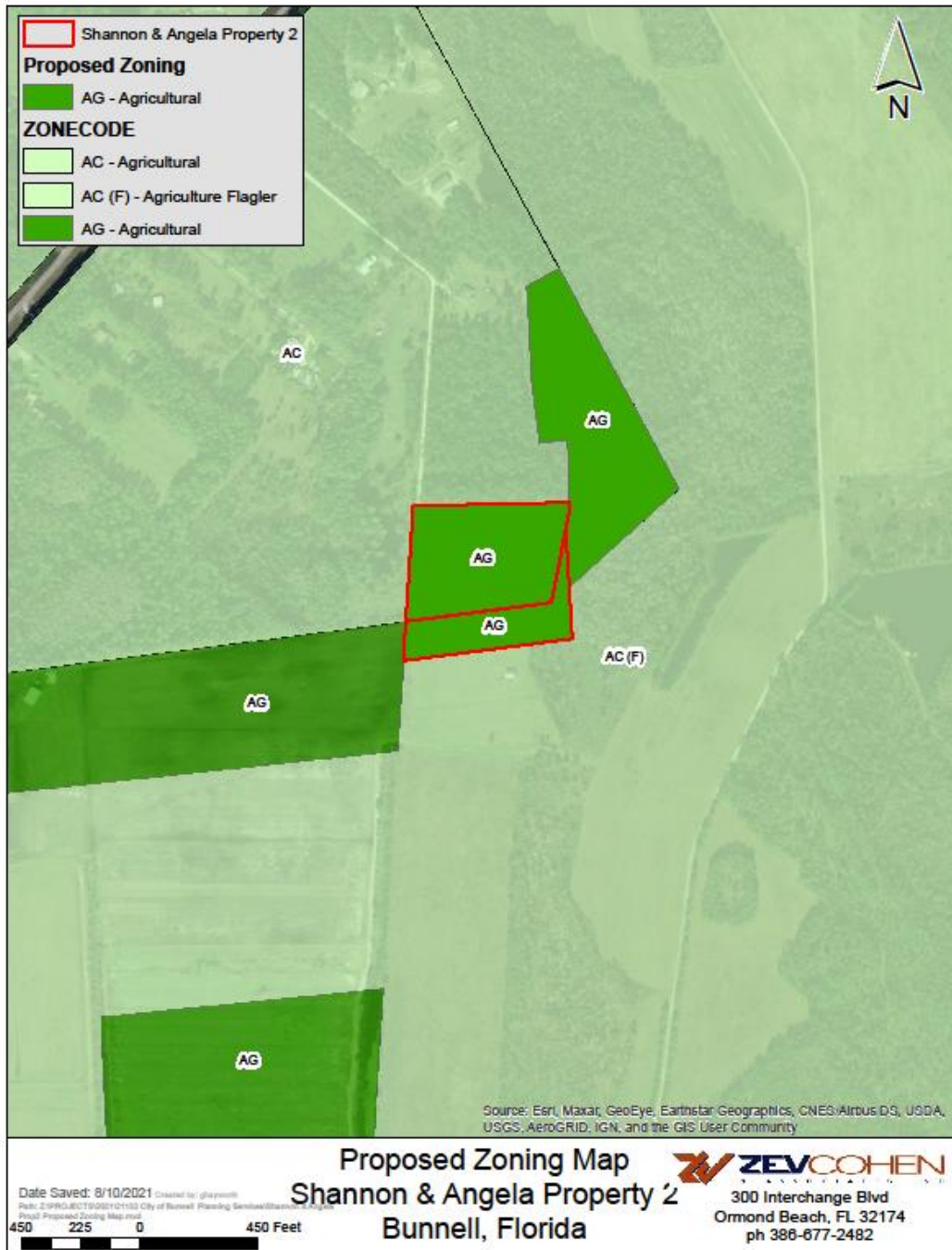
Attest:




Kristen Bates, CMC, City Clerk

Seal:

Exhibit "A"

Proposed Rezoning



-  Shannon & Angela Property 2
-  City of Bunnell
-  Flagler County Parcels



City of Bunnell



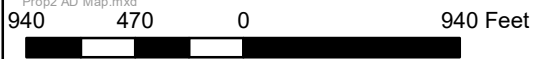
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Shannon & Angela Prop2 AD Map.mxd

Shannon & Angela Property 2 Bunnell, Florida

ZEV COHEN
 & ASSOCIATES INC
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482





City of Bunnell, Florida

Agenda Item No. E.5.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-29 Request to change the Future Land Use Map in the Comprehensive Plan for 10± acres of land, owned by Gator-Parks LLC, Bearing the Parcel ID:21-13-31-0650-000B0-0110 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Gator Parks LLC FLUM Ordinance	Ordinance
Gator Parks Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 10 ± acre property from Flagler County, "Residential Low Density/Rural Estate" to City of Bunnell, "Agriculture".

There is a companion rezoning request to amend the official zoning map to change the zoning from Flagler County, "R-1, Rural Residential" to City of Bunnell, "AG- Agriculture".

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicant Gator-Parks LLC, owns a 10± acre property identified as Parcel ID:21-13-31-0650-000B0-0110. The property has not been assigned an address. It is located at the northwest corner

of the intersection of Twin Lakes Road and Favoretta Road. The applicant plans to build a residence on this property in the future.

The parcel's current FLUM designation is Flagler County, "Residential Low Density/Rural Estate". The Flagler County "Residential Low Density/Rural Estate" allows low density residential density at one (1) dwelling unit per acre.

The proposed FLUM designation is "Agriculture". The "Agriculture" land use designation was created to allow a range of agricultural and related uses, and while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre. The applicant's intended use is consistent with the rural character of the area.

If developed at the maximum allowable density in the future, the proposed FLUM designation will result in no change to number of dwelling units on the property compared to the current FLUM designation.

Staff Recommendation:

Adopt Ordinance 2021-29 Request to amend the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation from Flagler County, "Residential Low Density/Rural Estate" to "Agriculture" for a 10± acre property identified as Parcel ID: 21-13-31-0650-000B0-0110. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-29

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT OF THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 10± ACRES, OWNED BY GATOR PARKS LLC, BEARING PARCEL ID: 21-13-31-0650-000B0-0110, LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF TWIN LAKES ROAD AND FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, RESIDENTIAL LOW DENSITY/ RURAL ESTATE TO CITY OF BUNNELL AGRICULTURE; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number 21-13-31-0650-000B0-0110, located in the City of Bunnell; and

WHEREAS, the owner of the property, Gator Parks LLC, has requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since August 23, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on September 23, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved

without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

(a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the *City of Bunnell 2030 Comprehensive Plan* pertaining to the subject property.

(b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

(c) This Ordinance is internally consistent with the goals, objectives and policies of the *City of Bunnell 2030 Comprehensive Plan*.

(d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

(a) The Future Land Use Plan Element of the *City of Bunnell 2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the Agriculture land use designation to the real property which is the subject of this Ordinance as set forth herein.

(b) The property which is the subject of this Comprehensive Plan amendment is described as follows:

LEGAL DESCRIPTION: 10.00 AC BUNNELL DEV CO SUB BLK B TRACT 11 OR 1708/1013

ADDRESS: Unaddressed parcel in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000B0-0110

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing

amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the *City of Bunnell 2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 25th day of October 2021.

Second Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

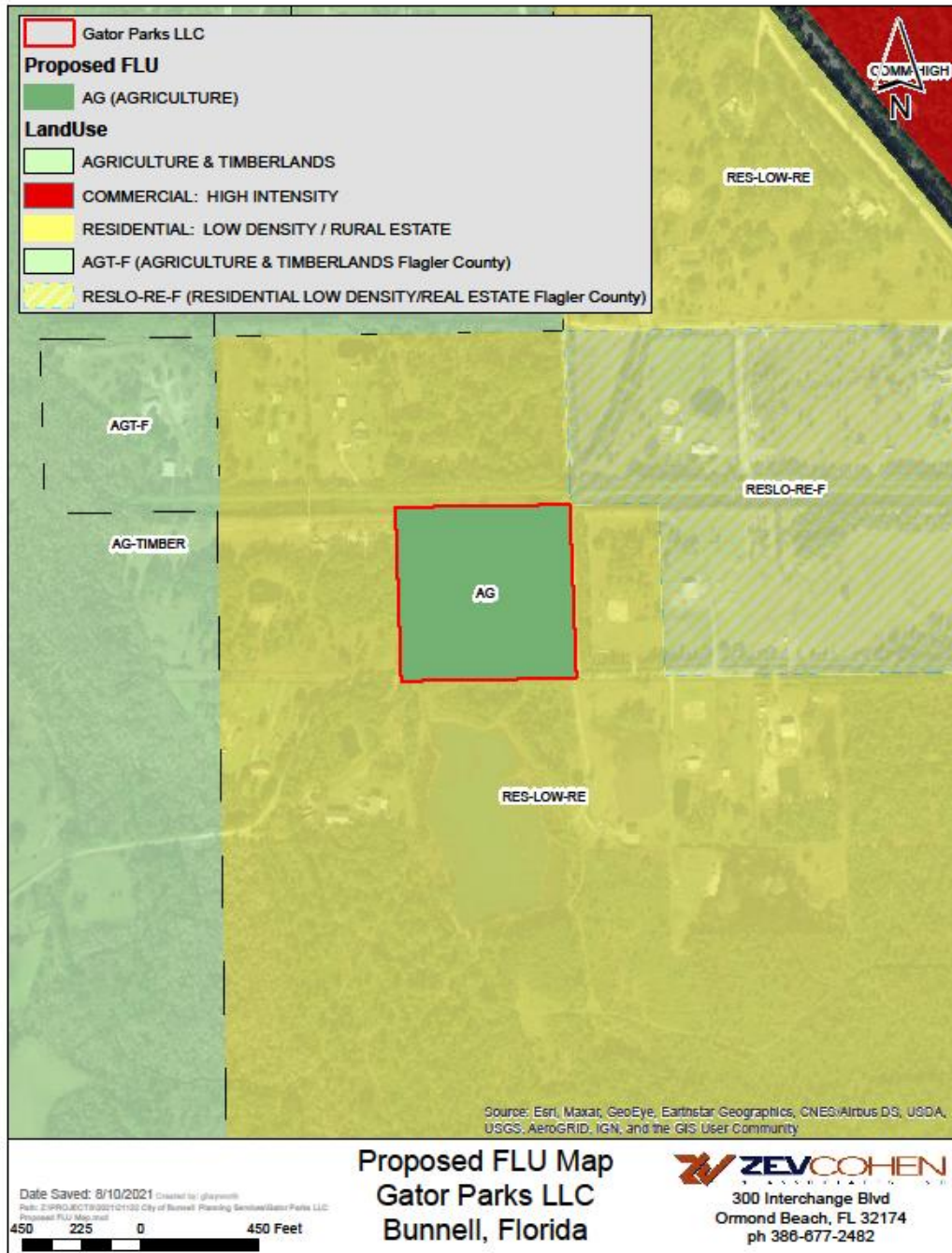
Attest:




Kristen Bates, City Clerk, CMC

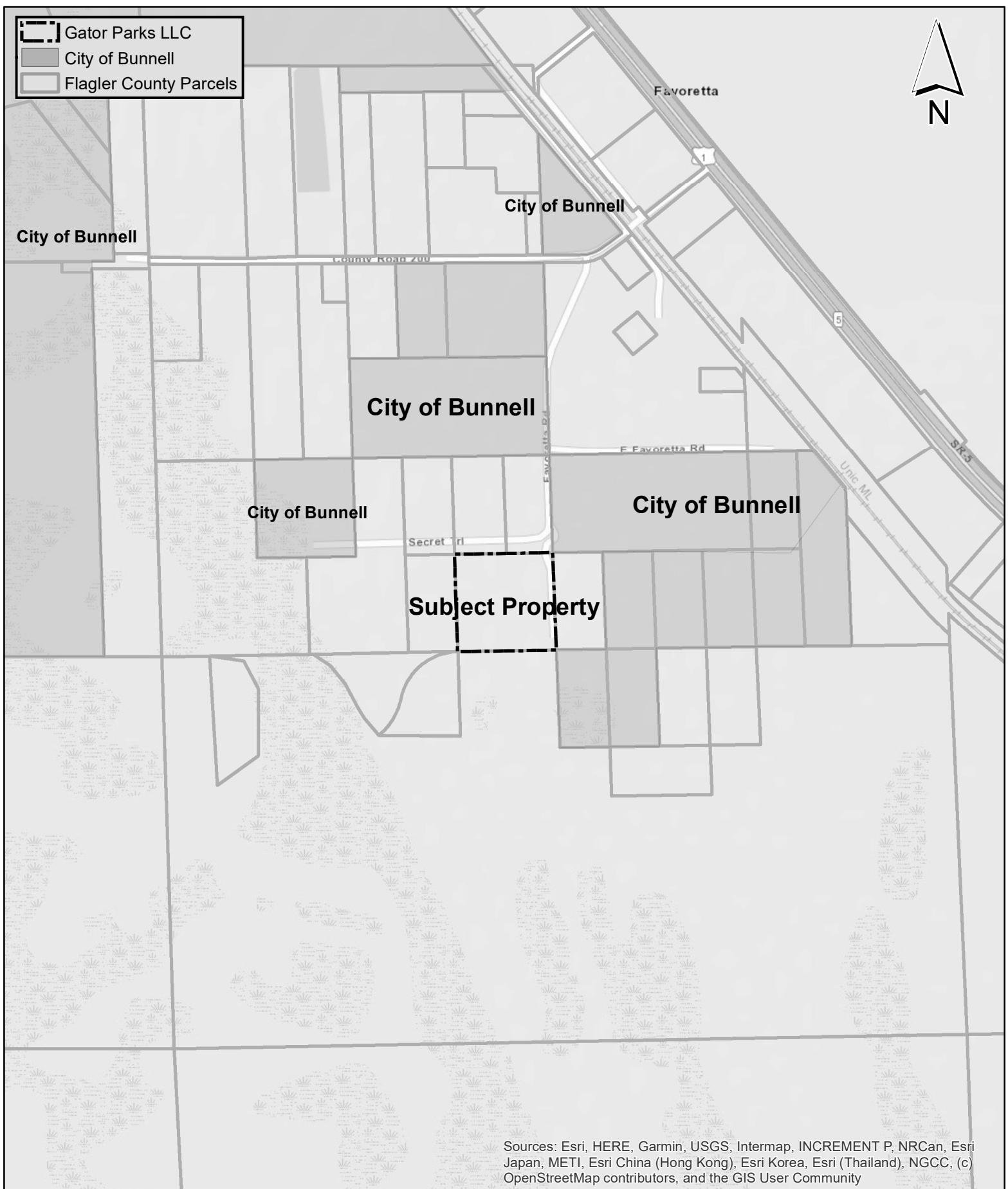
Seal:

EXHIBIT A

Proposed Future Land Use Designation



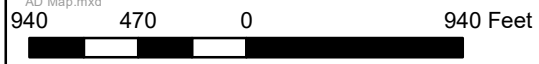
 Gator Parks LLC
 City of Bunnell
 Flagler County Parcels



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Gator Parks LLC AD Map.mxd



Gator Parks LLC
Bunnell, Florida

ZEVCOHEN
 & ASSOCIATES, INC.
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. E.6.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-30 Request to change the official zoning map for 10± acres of land, owned by Gator-Parks LLC , Bearing the Parcel ID's:21-13-31-0650-000B0-0110 from Flagler County, R-1, Rural Residential to City of Bunnell, AG- Agricultural. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Gator Parks Proposed Rezoning Ordinance	Ordinance
Gator Parks Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting an amendment to the official zoning map to change the zoning on a 10± acre property from Flagler County, "R-1, Rural Residential" to City of Bunnell, "AG- Agricultural".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation from Flagler County, "Residential Low Density/Rural Estate" to City of Bunnell, "Agriculture" that is being processed concurrently with this application.

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicant, Gator-Parks LLC, owns a 10± acre property identified as Parcel ID:21-13-31-0650-000B0-0110. The property has not been assigned an address. It is located at the northwest corner of the intersection of Twin Lakes Road and Favoretta Road. The applicant plans to build a

residence on this property in the future.

The property is currently zoned Flagler County, "R-1, Rural Residential". Although recently annexed into the City, the property did not receive a City of Bunnell zoning classification. The Flagler County "R-1, Rural Residential has a minimum lot size of 1 acre.

The proposed zoning classification is City of Bunnell "AG-Agricultural". The intent of the "AG-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and sustainable development." The minimum lot size in the "AG-Agricultural" district is one (1) acre.

The proposed "AG-Agricultural" zoning is consistent with the existing pattern of surrounding development.

Staff Recommendation:

Adopt Ordinance 2021-30 Request to change the official zoning map for 10± acres of land, owned by Gator-Parks LLC , Bearing the Parcel ID's:21-13-31-0650-000B0-0110 from Flagler County, R-1, Rural Residential to City of Bunnell, AG- Agricultural. - Second Reading

City Attorney Review:

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-30

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 10± ACRES, OWNED BY GATOR PARKS LLC, BEARING PARCEL ID: 21-13-31-0650-000B0-0110 LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF TWIN LAKES ROAD AND FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, “R-1, RURAL RESIDENTIAL” TO CITY OF BUNNELL, “AG- AGRICULTURAL”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Ashley Danielle Stover, the owner of certain real property, which land totals approximately 10± acres in size located at the northwest corner of the intersection of Twin Lakes Road and Favoretta Road and is assigned Tax Parcel Identification Number 21-13-31-0650-000B0-0110 by the Property Appraiser of Flagler County; and

WHEREAS, Gator Parks LLC has applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “R-1, Rural Residential” zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on September 23, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is approximately 10± acres in size, is located at the northwest corner of the intersection of Twin Lakes Road and Favoretta Road in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 10± acres in size, shall be rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “R-1, Rural Residential” zoning classification; and

LEGAL DESCRIPTION: 10.00 AC BUNNELL DEV CO SUB BLK B TRACT 11
OR 1708/1013

ADDRESS: Unaddressed parcel in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000B0-0110

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-29.

First Reading: approved on this 25th day of October 2021.

Second/Final Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

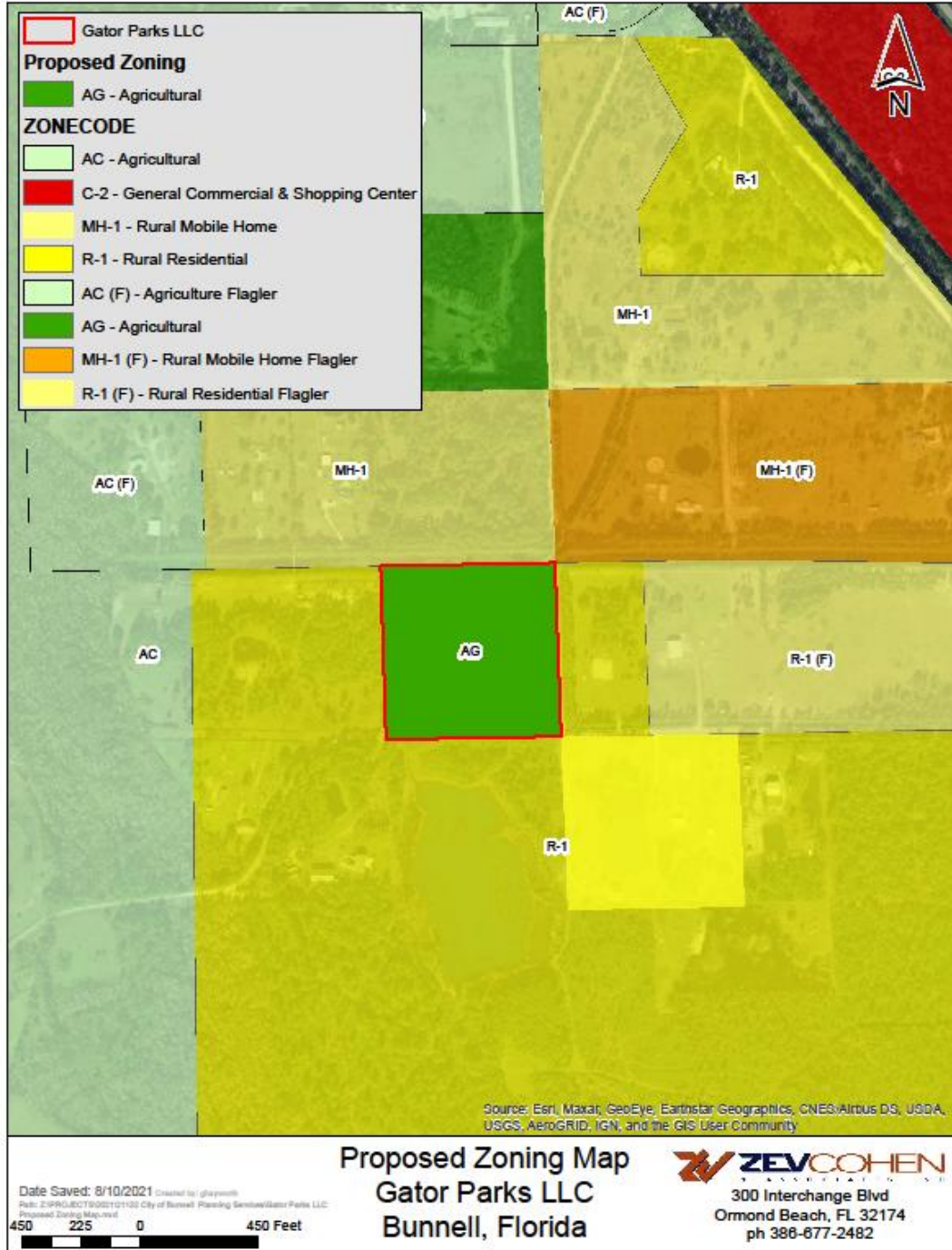
Attest:




Kristen Bates, CMC, City Clerk

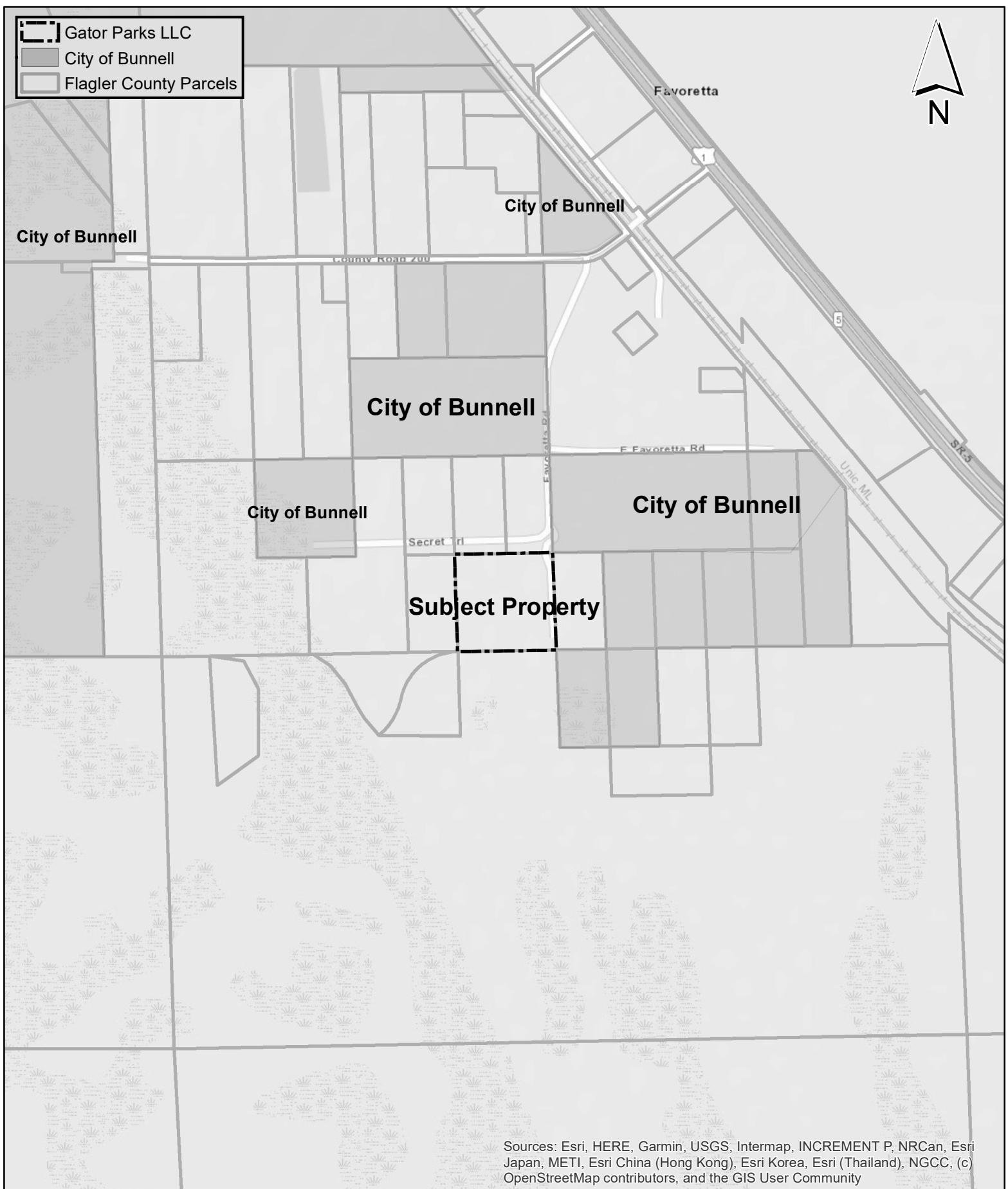
Seal:

Exhibit "A"

Proposed Zoning District



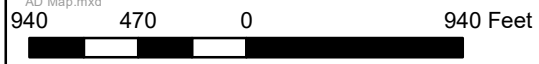
 Gator Parks LLC
 City of Bunnell
 Flagler County Parcels



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Gator Parks LLC AD Map.mxd



Gator Parks LLC
Bunnell, Florida

ZEVCOHEN
 & ASSOCIATES, INC.
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. E.7.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-31 Request to change the Future Land Use Map in the Comprehensive Plan for 5 ± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID: 21-13-31-0650-000A0-0081 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Gallagher Proposed FLUM Amendment Ordinance	Ordinance
Gallagher Location Map	Location Map(s)

Summary/Highlights:

The applicants are requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 5 ± acre property from Flagler County, "Residential Low Density/Rural Estate" to City of Bunnell, "Agriculture".

There is a companion rezoning request to amend the official zoning map to change the zoning from Flagler County, "R-1, Rural Residential" to City of Bunnell, "AG- Agriculture".

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants Joseph & Amber Gallagher, own a 5± acre property identified as Parcel ID: 21-13-31-0650-000A0-0081. The property is addressed as 85 E. Twin Lakes Road. It is located at the

northeast corner of the intersection of Twin Lakes Road and Favoretta Road. The applicant plans to build a residence on this property in the future.

The parcel's current FLUM designation is Flagler County, "Residential Low Density/Rural Estate". The Flagler County "Residential Low Density/Rural Estate" allows low density residential density at one (1) dwelling unit per acre.

The proposed FLUM designation is "Agriculture". The "Agriculture" land use designation was created to allow a range of agricultural and related uses, and while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre. The applicant's intended use is consistent with the rural character of the area.

If developed at the maximum allowable density in the future, the proposed FLUM designation will result in no change to number of dwelling units on the property compared to the current FLUM designation.

Staff Recommendation:

Adopt Ordinance 2021-31 Request to change the Future Land Use Map in the Comprehensive Plan for 5 ± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID: 21-13-31-0650-000A0-0081 from Flagler County, Residential Low Density/Rural Estate to City of Bunnell, Agriculture. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-31

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT OF THE FUTURE LAND USE MAP OF THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 5± ACRES, OWNED BY JOSEPH & AMBER GALLAGHER, BEARING PARCEL ID: 21-13-31-0650-000A0-0081, LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF TWIN LAKES ROAD AND FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, RESIDENTIAL LOW DENSITY/ RURAL ESTATE TO CITY OF BUNNELL AGRICULTURE; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number 21-13-31-0650-000A0-0081, located in the City of Bunnell; and

WHEREAS, the owners of the property, Joseph & Amber Gallagher, have requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since August 23, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on September 23, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved

without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

(a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the *City of Bunnell 2030 Comprehensive Plan* pertaining to the subject property.

(b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

(c) This Ordinance is internally consistent with the goals, objectives and policies of the *City of Bunnell 2030 Comprehensive Plan*.

(d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

(a) The Future Land Use Plan Element of the *City of Bunnell 2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the Agriculture land use designation to the real property which is the subject of this Ordinance as set forth herein.

(b) The property which is the subject of this *Comprehensive Plan* amendment is described as follows:

LEGAL DESCRIPTION: 5.00 ACRES BUNNELL DEV CO SUBD BEING THE W1/2 OF TRACT 8 BLK A OR 1806/1459 (ANNEXED INTO THE CITY OF BUNNELL, ORD 2021-16, OR 2549/1434)

ADDRESS: 85 E Twin Lakes Road in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0081

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing

amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the *City of Bunnell 2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 25th day of October 2021.

Second Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

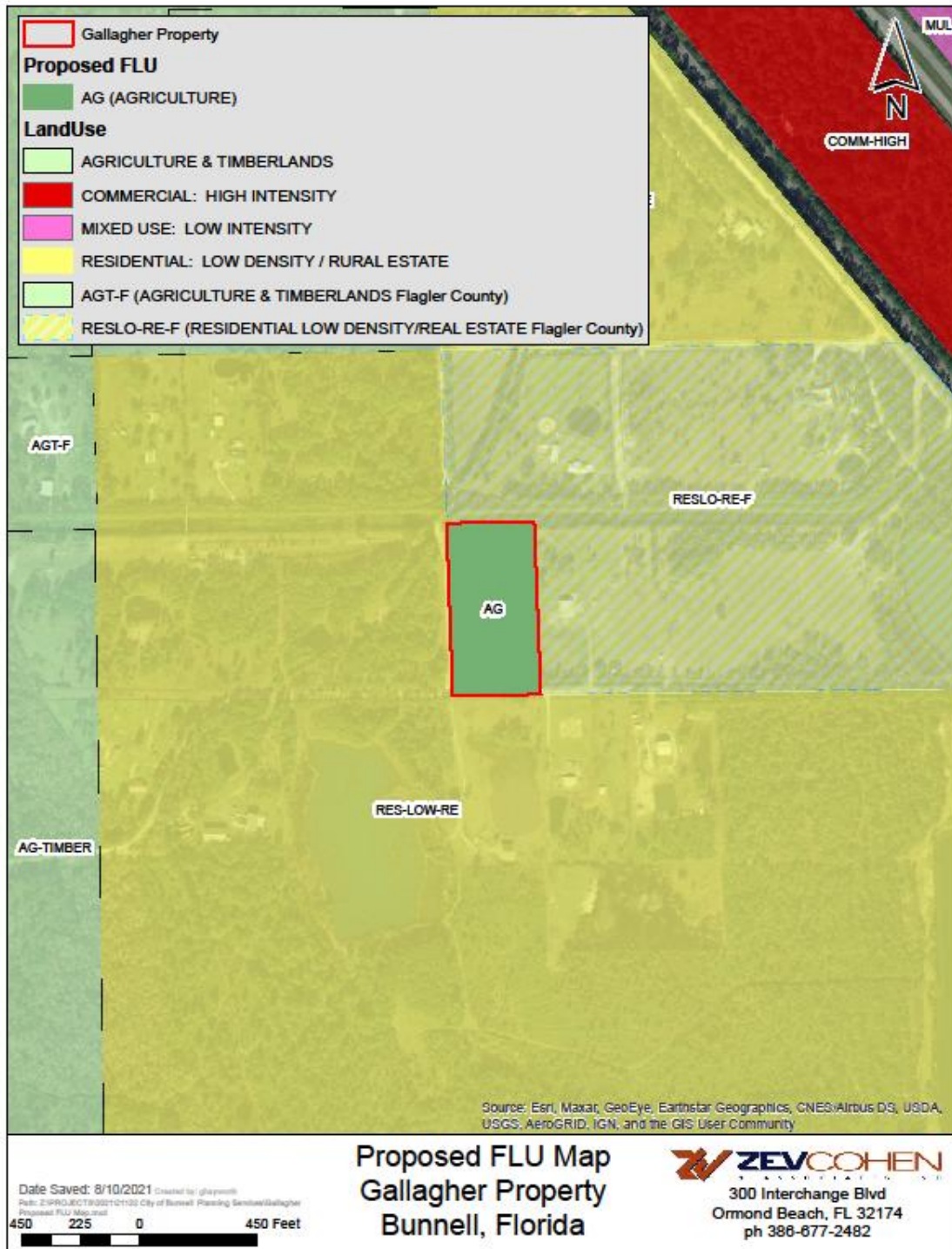
Attest:




Kristen Bates, City Clerk, CMC

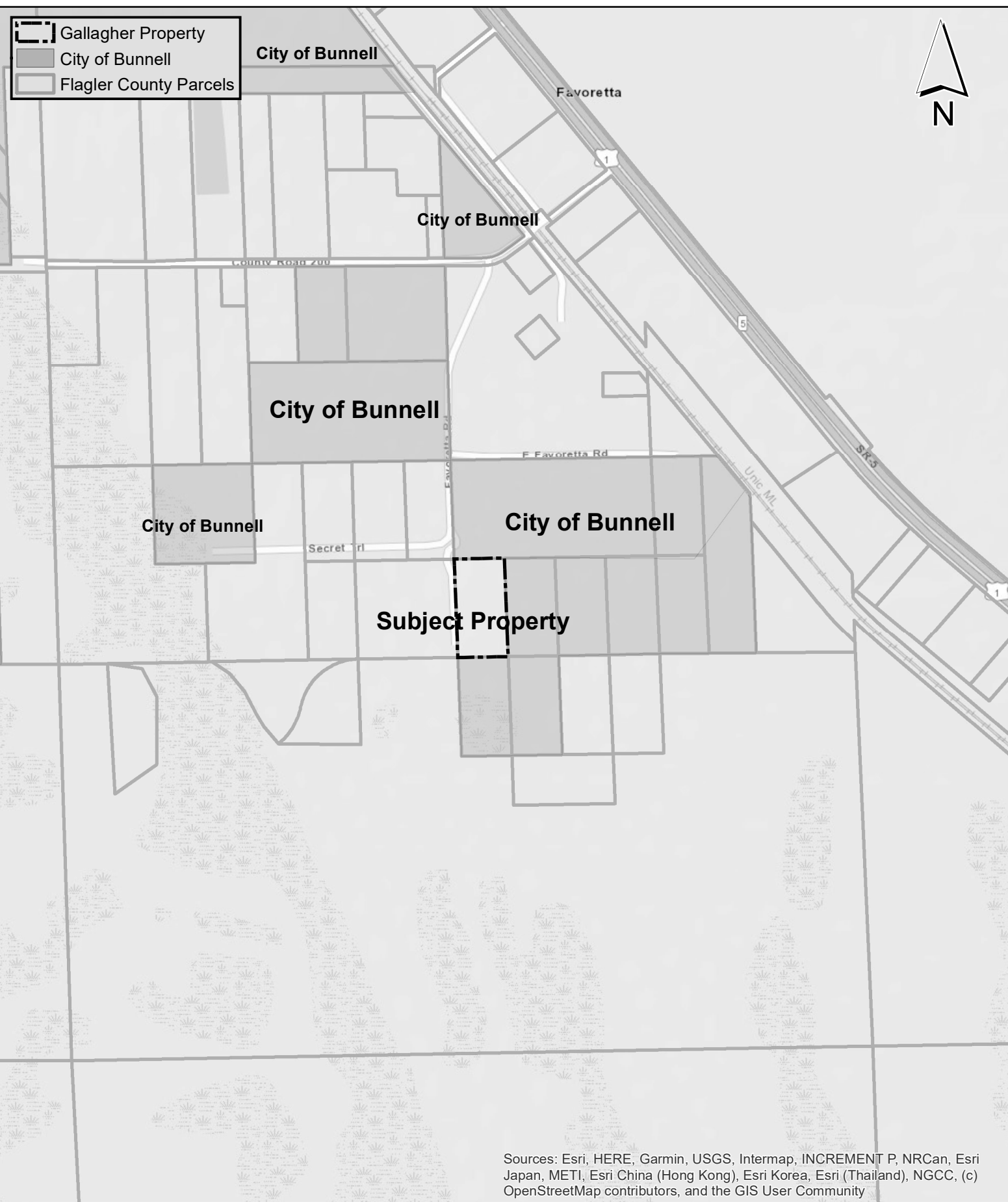
Seal:

EXHIBIT A

Proposed Future Land Use Designation



-  Gallagher Property
-  City of Bunnell
-  Flagler County Parcels



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:
 Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Gallagher AD Map.mxd

Gallagher Property Bunnell, Florida

ZEVCOHEN
 & ASSOCIATES INC
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482





City of Bunnell, Florida

Agenda Item No. E.8.

Document Date: 10/20/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-32 Request to change the official zoning map for 5± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID's: 21-13-31-0650-000A0-0081 from Flagler County, R-1, Rural Residential to City of Bunnell, AG- Agricultural. - Second Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Gallagher Proposed Rezoning Ordinance	Ordinance
Gallagher Location Map	Location Map(s)

Summary/Highlights:

The applicant are requesting an amendment to the official zoning map to change the zoning on a 5± acre property from Flagler County, "R-1, Rural Residential" to City of Bunnell, "AG- Agricultural".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation from Flagler County, "Residential Low Density/Rural Estate" to City of Bunnell, "Agriculture" that is being processed concurrently with this application.

The Planning, Zoning and Appeals Board heard this request at their September 23, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

This item was last heard at the October 25, 2021 City Commission meeting. At this meeting, the Commission voted to approve the proposed ordinance. This item was advertised in the October 27, 2021 edition of the News Tribune.

Background:

The applicants, Joseph & Amber Gallagher, own a 5± acre property identified as Parcel ID: 21-13-31-0650-000A0-0081. The property is addressed as 85 E. Twin Lakes Road. It is located at the northeast corner of the intersection of Twin Lakes Road and Favoretta Road. The applicant plans

to build a residence on this property in the future.

The property is currently zoned Flagler County, "R-1, Rural Residential". Although recently annexed into the City, the property did not receive a City of Bunnell zoning classification. The Flagler County "R-1, Rural Residential" has a minimum lot size of 1 acre.

The proposed zoning classification is City of Bunnell "AG-Agricultural". The intent of the "AG-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and sustainable development." The minimum lot size in the "AG-Agricultural" district is one (1) acre. The proposed "AG-Agricultural" zoning is consistent with the existing pattern of surrounding development.

Staff Recommendation:

Adopt Ordinance 2021-32 Request to change the official zoning map for 5± acres of land, owned by Joseph & Amber Gallagher, Bearing the Parcel ID's: 21-13-31-0650-000A0-0081 from Flagler County, R-1, Rural Residential to City of Bunnell, AG- Agricultural. - Second Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-32

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING APPROXIMATELY 5± ACRES, OWNED BY JOSEPH & AMBER GALLAGHER, BEARING PARCEL ID: 21-13-31-0650-000A0-0081 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF TWIN LAKES ROAD AND FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, “R-1, RURAL RESIDENTIAL” TO CITY OF BUNNELL, “AG- AGRICULTURAL”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Joseph & Amber Gallagher, the owners of certain real property, which land totals approximately 5± acres in size located at the northeast corner of the intersection of Twin Lakes Road and Favoretta Road and is assigned Tax Parcel Identification Number 21-13-31-0650-000A0-0081 by the Property Appraiser of Flagler County; and

WHEREAS, Joseph & Amber Gallagher have applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “R-1, Rural Residential” zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on September 23, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is approximately 5± acres in size, is located at the northeast corner of the intersection of Twin Lakes Road and Favoretta Road in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 5± acres in size, shall be rezoned to the City of Bunnell AG- Agricultural zoning classification from the existing Flagler County, “R-1, Rural Residential” zoning classification; and

LEGAL DESCRIPTION: 5.00 ACRES BUNNELL DEV CO SUBD BEING THE W1/2 OF TRACT 8 BLK A OR 1806/1459 (ANNEXED INTO THE CITY OF BUNNELL, ORD 2021-16, OR 2549/1434)

ADDRESS: 85 E Twin Lakes Road in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0081

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-31.

First Reading: approved on this 25th day of October 2021.

Second/Final Reading: adopted on this 8th day of November 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

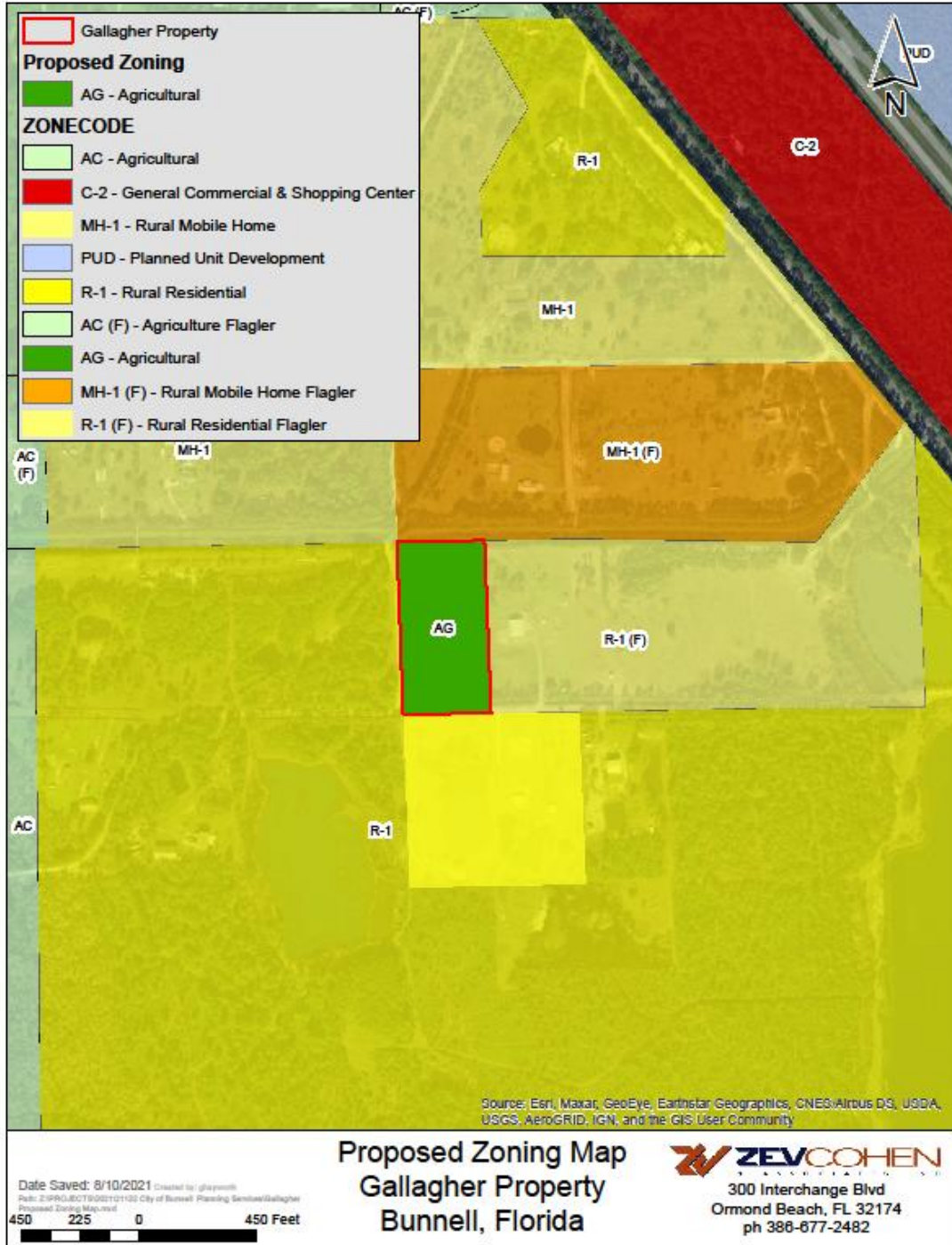
Attest:




Kristen Bates, CMC, City Clerk

Seal:

Exhibit "A"

Proposed Zoning District



-  Gallagher Property
-  City of Bunnell
-  Flagler County Parcels



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:
 Date Saved: 8/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Gallagher AD Map.mxd

Gallagher Property Bunnell, Florida

ZEVCOHEN
 & ASSOCIATES INC
 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482





City of Bunnell, Florida

Agenda Item No. E.9.

Document Date: 10/12/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-35 Requesting to change the Future Land Use Map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from "Commercial-Medium Intensity" to "Public". - First Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Flagler County Library FLUM Ordinance 2021-35	Ordinance
Flagler County Library Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 7.17± acre property from "Commercial-Medium Intensity" to "Public".

There is a companion rezoning request to amend the City's official zoning map to change the zoning of this property from the "B-1, Business" district zoning classification to the "P, Public" district zoning classification.

The Planning, Zoning and Appeals Board heard this request at their October 5, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

Background:

The applicant, the Flagler County Board of County Commissioners, owns a 7.17± acre property located on the east side of Commerce Parkway approximately 1,066 feet south of East Moody Boulevard. This site is immediately east of the Flagler County Emergency Services Department. The County plans to construct a public library on the property.

The property's current FLUM designation is "Commercial-Medium Intensity". The "Commercial-Medium Intensity" designation is a general purpose commercial land use designation that allows a variety of

retail, office and service related uses up to a Floor Area Ratio of 0.4 and an Impervious Surface Ratio of 60%.

The proposed FLUM designation is "Public". The "Public" FLUM designation allows public and semi-public institutional uses owned by the public or non-profit organizations. The maximum Floor Area Ratio is 0.6. There is no maximum Impervious Service Ratio.

The maximum allowable intensity of the proposed FLUM designation will result in an increase in the allowed gross floor area on the property of up to 62,465 SF.

The property is located in an area where public infrastructure and services are already in place; and adequate capacity exists in the available facilities and services to accommodate the proposed land use change. Development of this site will promote the efficient and cost-effective provision of public infrastructure and services.

Staff Recommendation:

Approve Ordinance 2021-35 Requesting to change the Future Land Use Map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from "Commercial-Medium Intensity" to "Public". - First Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-35

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT TO THE FUTURE LAND USE MAP IN THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING 7.17± ACRES, OWNED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, BEARING PARCEL ID: 11-12-30-0650-000D0-0012, LOCATED ON THE EAST SIDE OF COMMERCE PARKWAY APPROXIMATELY 1,066 FEET SOUTH OF EAST MOODY BOULEVARD WITHIN THE BUNNELL CITY LIMITS FROM COMMERCIAL-MEDIUM INTENSITY TO PUBLIC; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number 11-12-30-0650-000D0-0012, located in the City of Bunnell; and

WHEREAS, the owner of the property, Flagler County Board of County Commissioners, has requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since October 25, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on October 5, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the City of Bunnell *2030 Comprehensive Plan* pertaining to the subject property.
- (b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.
- (c) This Ordinance is internally consistent with the goals, objectives and policies of the City of Bunnell *2030 Comprehensive Plan*.
- (d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

- (a) The Future Land Use Plan Element of the City of Bunnell *2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the "Public" land use designation to the real property which is the subject of this Ordinance as set forth herein.
- (b) The property which is the subject of this Comprehensive Plan amendment is described as follows:

LEGAL DESCRIPTION: 7.17 ACRES BUNNELL DEV CO SUBD BEING PT OF TRACTS 1,3,4,18,19,20 BLOCK D POR SE CRNR SEC 11 THENCE NE 1221.26' SW 399' TO POB SW 807.34' NW 386.72' NE 807.32' SE 386.72' TO POB OR 2527/1799

ADDRESS: Unaddressed parcel in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 11-12-30-0650-000D0-0012

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the City of Bunnell *2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell, Florida* in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 8th day of November 2021.

Second Reading: adopted on this _____ day of _____ 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

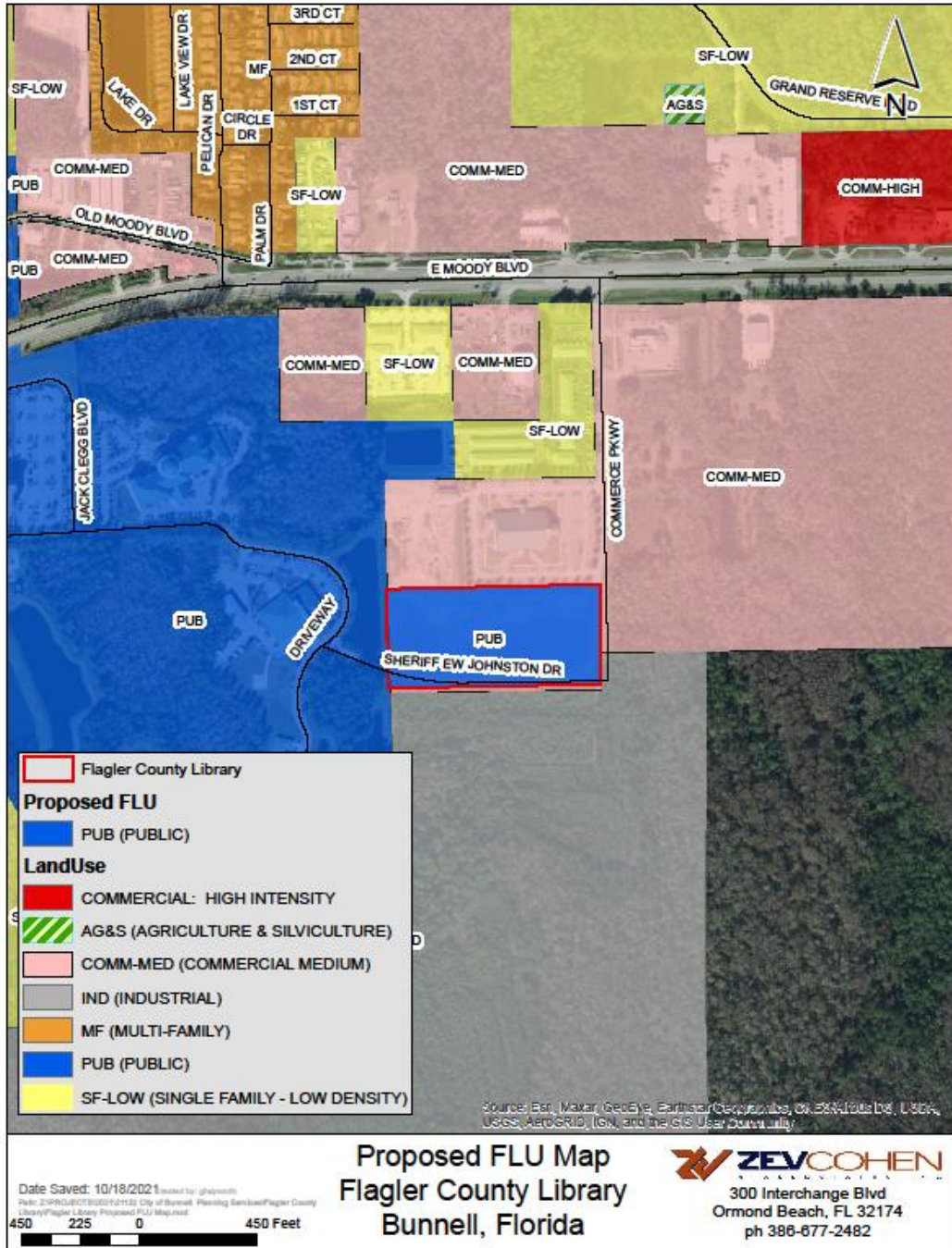
Attest:



Kristen Bates, City Clerk, CMC

Seal:

EXHIBIT A

Proposed Future Land Use Map Amendment



 Flagler County Library
 City of Bunnell



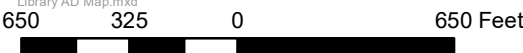
Subject Property

City of Bunnell

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 9/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Flagler County Library AD Map.mxd



Flagler County Library
Bunnell, Florida


 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. E.10.

Document Date: 10/12/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-36 Requesting to change the official zoning map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from the "B-1, Business" district to the "P, Public" district. - First Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Flagler County Library Rezoning Ordinance 2021-36	Ordinance
Flagler County Library Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting an amendment to the official zoning map to change the zoning on a 7.17± acre property from the "B-1, Business" district to the "P, Public" district.

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation from the "Commercial-Medium Intensity" future land use category to the "Public" future land use category.

The Planning, Zoning and Appeals Board heard this request at their October 5, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

Background:

The applicant, the Flagler County Board of County Commissioners, owns a 7.71± acre property located on the west side of Commerce Parkway approximately 1,066 feet south of E Moody Boulevard. The property is immediately to the east of the Flagler County Emergency Service Department. Flagler County Plans to construct a public library on the property.

The property is currently zoned "B-1 Business" district. The B-1 zoning district is a general purpose commercial zoning district that permits intensive general retail activity as well as business and personal services.

The proposed zoning classification is the "P Public" district. The P zoning district allows uses related the administration and operation of the city and county governments.

The LDC stipulates that P zoning district is "compatible with the public comprehensive plan land use designation." The vicinity of the subject property already contains a number of government and institutional uses.

The proposed "P, Public" zoning district is consistent with the existing pattern of surrounding development in the area.

Staff Recommendation:

Approve Ordinance 2021-36 Requesting to change the official zoning map for a 7.17± acre property owned by the Flagler County Board of County Commissioners from the "B-1, Business" district to the "P, Public" district. - First Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-36

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING 7.17± ACRES, OWNED BY THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS, BEARING PARCEL ID: 11-12-30-0650-000D0-0012 LOCATED ON THE EAST SIDE OF COMMERCE PARKWAY APPROXIMATELY 1,066 FEET SOUTH OF EAST MOODY BOULEVARD WITHIN THE BUNNELL CITY LIMITS FROM THE “B-1, BUSINESS DISTRICT” TO THE “P, PUBLIC DISTRICT”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Flagler County Board of County Commissioners, the owner of certain real property, which land totals approximately 7.17± acres in size located on the east side of Commerce Parkway approximately 1,066 feet south of East Moody Boulevard and is assigned Tax Parcel Identification Number 11-12-30-0650-000D0-0012 by the Property Appraiser of Flagler County; and

WHEREAS, Flagler County Board of County Commissioners has applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the “P, Public” district zoning classification from the existing “B-1, Business” district zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on October 5, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is 7.17± acres in size, is located on the east side of Commerce Parkway approximately 1,066 feet south of East Moody Boulevard in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling approximately 10± acres in size, shall be rezoned to the “P, Public” district zoning classification from the existing “B-1, Business” district zoning classification; and

LEGAL DESCRIPTION: 7.17 ACRES BUNNELL DEV CO SUBD BEING PT OF TRACTS 1,3,4,18,19,20 BLOCK D POR SE CRNR SEC 11 THENCE NE 1221.26' SW 399' TO POB SW 807.34' NW 386.72' NE 807.32' SE 386.72' TO POB OR 2527/1799

ADDRESS: Unaddressed parcel in the City of Bunnell

TAX PARCEL IDENTIFICATION NUMBER: 11-12-30-0650-000D0-0012

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-35.

First Reading: approved on this 8th day of November 2021.

Second/Final Reading: adopted on this _____ day of _____ 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

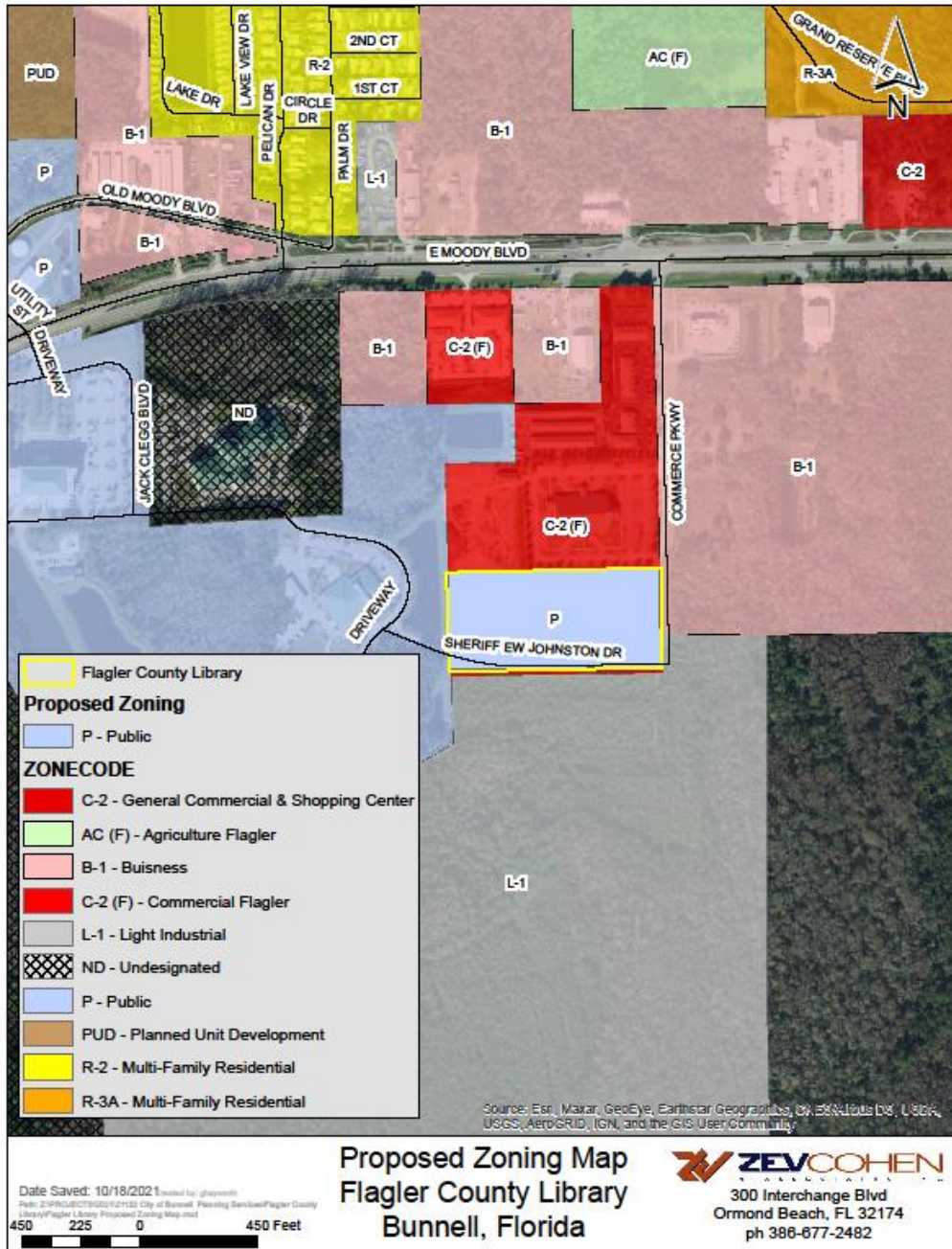
Attest:



Kristen Bates, CMC, City Clerk

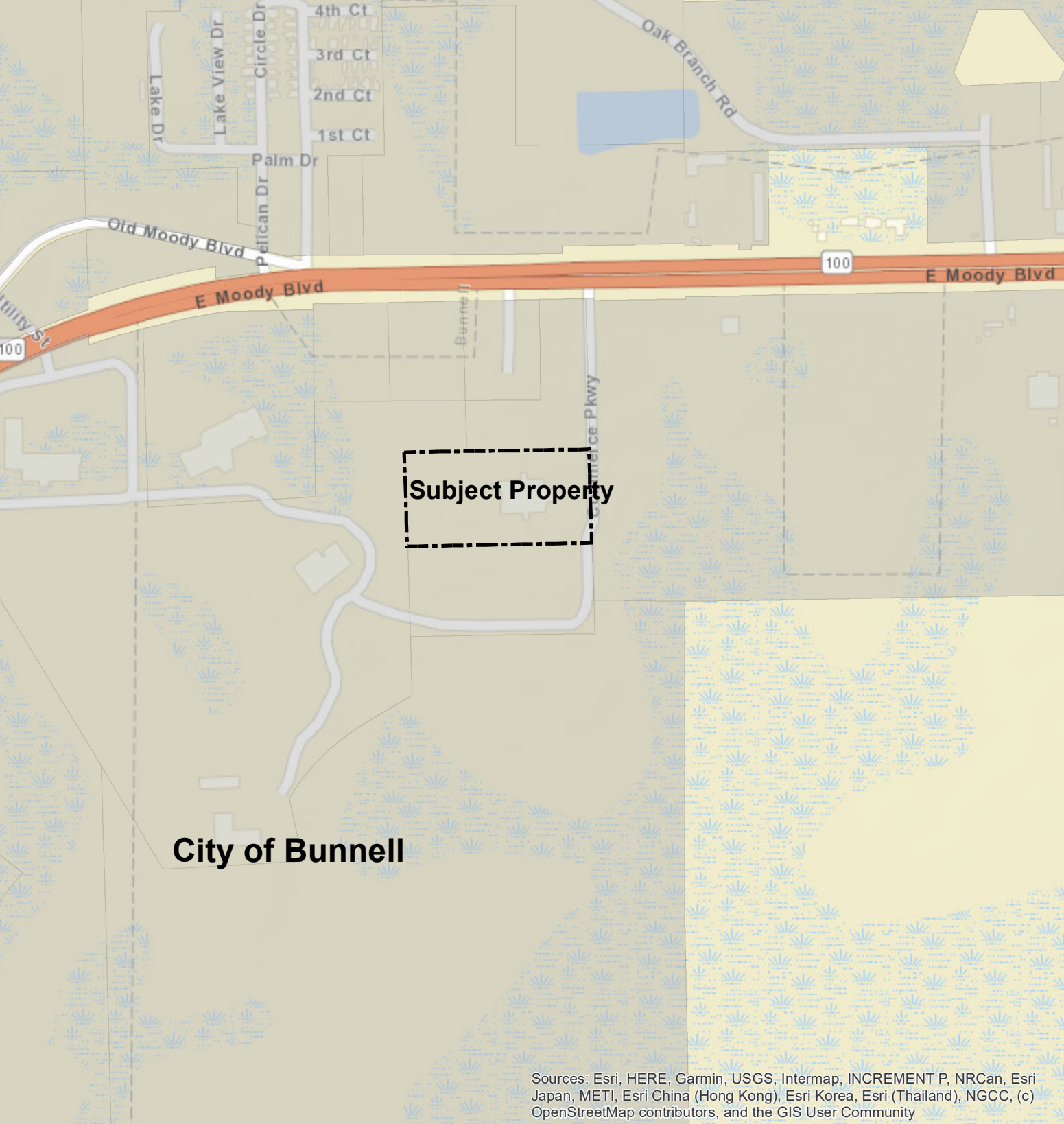
Seal:

Exhibit "A"

Proposed Rezoning Map



 Flagler County Library
 City of Bunnell



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 9/13/2021 Created by: ghayworth
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Flagler County Library AD Map.mxd

650 325 0 650 Feet

Flagler County Library
 Bunnell, Florida


 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. E.11.

Document Date: 10/12/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-37 Requesting to change the Future Land Use Map in the Comprehensive Plan for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing the Parcel ID: 21-13-31-0650-000A0-0930 from Flagler County, Residential- Low Density/Rural Estate to City of Bunnell Agriculture. - First Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Leggett FLUM Ordinance 2021-37	Ordinance
Leggett Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting a small scale amendment to the City of Bunnell Comprehensive Plan to change the Future Land Use Map (FLUM) designation on a 2.8± acre property from Flagler County, Residential - Low Density/Rural Estate to City of Bunnell, "Agriculture".

There is a companion rezoning request to amend the official zoning map to change the zoning from the Flagler County, "MH-1 Rural Mobile Home" district to the City of Bunnell, "AG- Agriculture" district.

The Planning, Zoning and Appeals Board heard this request at their October 5, 2021 Meeting. At this meeting, the PZA Board voted to recommend approval of the proposed ordinance.

Background:

The applicants, Kimberly & Conrad Leggett, own a 2.8± acre property identified as Parcel ID's:02-13-30-0650-000A0-0001. The property is located at 655 E. Favoretta Road. The applicants plan to construct a single family home on the property.

The parcel's current FLUM designation is Flagler County, "Residential - Low Density/Rural Estate". The Flagler County " Residential - Low Density/Rural Estate" allows low density residential

density at up to one (1) dwelling unit per acre.

The proposed FLUM designation is City of Bunnell "Agriculture". The "Agriculture" land use designation was created to allow a range of agricultural and related uses, while also allowing low density residential development at a maximum density of one (1) dwelling unit per acre.

If developed at the maximum allowable density, the proposed FLUM designation will not result in any increase dwelling units on the property compared to the current FLUM designation. The applicant's intended use is consistent with the rural character of the area.

Staff Recommendation:

Approve Ordinance 2021-37 Requesting to change the Future Land Use Map in the Comprehensive Plan for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing the Parcel ID: 21-13-31-0650-000A0-0930 from Flagler County, Residential- Low Density/Rural Estate to City of Bunnell Agriculture. - First Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-37

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA AMENDING THE CITY OF BUNNELL COMPREHENSIVE PLAN, AS PREVIOUSLY AMENDED; PROVIDING FOR AMENDMENT TO THE FUTURE LAND USE MAP IN THE FUTURE LAND USE ELEMENT OF THE CITY OF BUNNELL COMPREHENSIVE PLAN RELATIVE TO CERTAIN REAL PROPERTY CONTAINING 2.8± ACRES, OWNED BY KIMBERLY & CONRAD LEGGETT, BEARING PARCEL ID: 21-13-31-0650-000A0-0930, LOCATED AT 655 EAST FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM FLAGLER COUNTY, RESIDENTIAL - LOW DENSITY/RURAL ESTATE TO CITY OF BUNNELL AGRICULTURE; PROVIDING FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR ASSIGNMENT OF THE LAND USE DESIGNATION FOR THE PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR RATIFICATION OF PRIOR ACTS OF THE CITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION AND DIRECTIONS TO THE CODE CODIFIER AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the real property which is the subject of this Ordinance is described by Tax Identification Parcel Number 21-13-31-0650-000A0-0930, located in the City of Bunnell; and

WHEREAS, the owners of the property, Kimberly & Conrad Leggett, have requested this change to the future land use; and

WHEREAS, the City of Bunnell has not had any small-scale land use amendments since October 25, 2021 and has not submitted any small-scale land use amendments to the Department of Economic Opportunity since December 7, 2018; and

WHEREAS, the City of Bunnell's Planning, Zoning and Appeals Board, as the City's local planning agency, held a public hearing on October 5, 2021 to consider amending the Future Land Use Map of the Future Land Use Element of the *City of Bunnell Comprehensive Plan* and recommended approval of the proposed Future Land Use Map amendment to the *Comprehensive Plan* for the subject property as requested by the property owner; and

WHEREAS, Section 163.3187, *Florida Statutes*, relates to the amendment of adopted local government comprehensive plans and sets forth certain requirements relating to small scale amendments and which are related to proposed small-scale development activities and provides, among other things, that such amendments may be approved without regard to statutory limits on the frequency of consideration of amendments to the *City of Bunnell Comprehensive Plan*; and

WHEREAS, the City of Bunnell has complied with all requirements and procedures of Florida law in processing this amendment to the *City of Bunnell Comprehensive Plan* including, but not limited to, Section 163.3187, *Florida Statutes*.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative findings and intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed amendment to the City of Bunnell *2030 Comprehensive Plan* pertaining to the subject property.
- (b) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.
- (c) This Ordinance is internally consistent with the goals, objectives and policies of the City of Bunnell *2030 Comprehensive Plan*.
- (d) The exhibits to this Ordinance are incorporated herein as if fully set forth herein verbatim.

Section 2. Amendment to Future Land Use Map.

- (a) The Future Land Use Plan Element of the City of Bunnell *2030 Comprehensive Plan* and the City's Future Land Use Map are hereby amended by assigning the "Agriculture" land use designation to the real property which is the subject of this Ordinance as set forth herein.
- (b) The property which is the subject of this Comprehensive Plan amendment is described as follows:

LEGAL DESCRIPTION: 2.80 AC BUNNELL DEV CO SUBD BEING PT OF W 1/2 OF N 1/2 TR 9 BLK A POR NW CRNR TR 7 THENCE SE 660.63' SE 291.66' TO POB NE 330.50' SE 366.69' SW 330.60' NW 366.69' TO POB A/D/A PARCELS 3 & 4 PER SURVEY PROVIDED OR 1991/1060 OR 2061/1660 (L/E 2342/1765

ADDRESS: 655 East Favoretta Road

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0930

Section 3. Implementing Administrative Actions.

The City Manager, or designee, is hereby authorized to implement the provisions of this Ordinance as deemed appropriate and warranted.

Section 4. Ratification of Prior Actions.

The prior actions of the City Commission and its agencies in enacting and causing amendments to the *2030 Comprehensive Plan of the City of Bunnell*, as well as the implementation thereof, are hereby ratified and affirmed.

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance proves to be invalid, unlawful or unconstitutional, it shall not be held to impair the validity of the ordinance or effect of any other action or part of this Ordinance.

Section 6. Conflicts.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. Codification/Instructions to Code Codifier.

It is the intention of the City Commission of the City of Bunnell, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the codified version of the City of Bunnell *2030 Comprehensive Plan* and/or the *Code of Ordinances of the City of Bunnell*, Florida in terms of amending the Future Land Use Map of the City.

Section 8. Effective Date.

The small-scale Comprehensive Plan amendment set forth herein shall not become effective, in accordance with Section 163.3187(5)(c), *Florida Statutes*, until 31 days after the enactment of this Ordinance. If challenged within 30 days after enactment, the small-scale amendment set forth in this Ordinance shall not become effective until the State land planning agency or the Administration Commission, respectively, issues a final order determining that the subject small-scale amendment is in compliance with controlling State law.

First Reading: approved on this 8th day of November 2021.

Second Reading: adopted on this _____ day of _____ 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

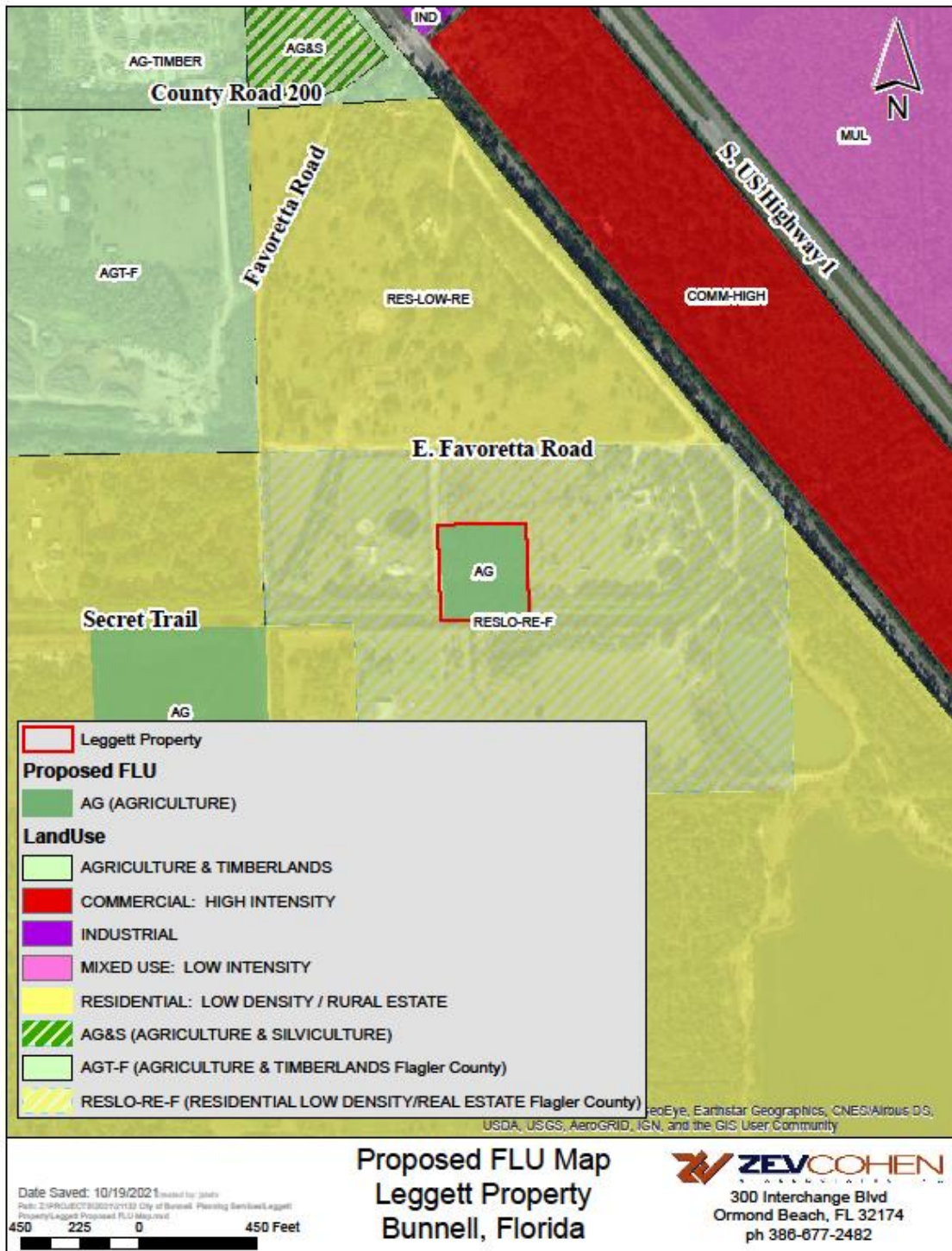
Attest:



Kristen Bates, City Clerk, CMC

Seal:

EXHIBIT A

Proposed Future Land Use Map



 Leggett Property
 City of Bunnell



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 10/19/2021 created by: jstehr
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Leggett Property\Leggett Property AD Map.mxd



Leggett Property
Bunnell, Florida


 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. E.12.

Document Date: 10/12/2021 Amount:
Department: Community Development Account #:
Subject: Ordinance 2021-38 Requesting to change the official zoning map for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing Parcel ID: 21-13-31-0650-000a0-0930, from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural District." - First Reading
Agenda Section: Ordinances: (Legislative): None
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Leggett Rezoning Ordinance 2021-38	Ordinance
Leggett Location Map	Location Map(s)

Summary/Highlights:

The applicant is requesting an amendment to the official zoning map to change the zoning on a 2.8± acre property from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural District".

There is a companion FLUM amendment application requesting to change the Future Land Use Map (FLUM) designation from Flagler County, Residential - Low Density/Rural Estate to City of Bunnell, "Agriculture".

The Planning, Zoning & Appeals Board heard this request at their October 5, 2021 Meeting. At that meeting, the PZA Board voted to recommend approval of the proposed ordinance.

Background:

The applicants, Kimberly & Conrad Leggett, own a 2.8± acre property identified as Parcel ID's:02-13-30-0650-000A0-0001. The property is located at 655 E. Favoretta Road. The applicants plan to construct a single family home on the property.

The property is currently zoned Flagler County "MH-1, Rural Mobile Home" district. The Flagler County "MH-1, Rural Mobile Home" district is a transitional zoning category between agricultural and urban areas. It allows a mixture of single-family dwellings and mobile homes.

The proposed zoning classification is City of Bunnell "AG-Agricultural". The intent of the "AG-Agricultural" district is to "preserve and enhance an agricultural lifestyle while facilitating orderly and sustainable development." The minimum lot size in the "AG-Agricultural" district is one (1) acre.

The proposed "AG-Agricultural" zoning is consistent with the proposed FLUM designation and the existing pattern of surrounding development.

Staff Recommendation:

Approve Ordinance 2021-38 Requesting to change the official zoning map for 2.8± acres of land owned by Kimberly & Conrad Leggett, bearing Parcel ID: 21-13-31-0650-000a0-0930, from the Flagler County "MH-1, Rural Mobile Home" district to the City of Bunnell "AG, Agricultural District." - First Reading

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

ORDINANCE 2021-38

AN ORDINANCE OF THE CITY OF BUNNELL, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING 2.8± ACRES, OWNED BY KIMBERLY & CONRAD LEGGETT, BEARING PARCEL ID: 21-13-31-0650-000A0-0930 LOCATED AT 655 EAST FAVORETTA ROAD WITHIN THE BUNNELL CITY LIMITS FROM THE FLAGLER COUNTY “MH-1, RURAL MOBILE HOME DISTRICT” TO THE CITY OF BUNNELL “AG, AGRICULTURAL DISTRICT”; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF MAPS BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Kimberly & Conrad Leggett, the owners of certain real property, which land totals 2.8± acres in size located at 655 East Favoretta Road and is assigned Tax Parcel Identification Number 21-13-31-0650-000A0-0930 by the Property Appraiser of Flagler County; and

WHEREAS, Flagler County Board of County Commissioners has applied to the City of Bunnell pursuant to the controlling provisions of State law and the *Code of Ordinances of the City of Bunnell*, to have the subject property rezoned to the City of Bunnell “AG, Agricultural” district zoning classification from the existing Flagler County “MH-1, Rural Mobile Home district zoning classification; and

WHEREAS, the City’s Community Department has conducted a thorough review and analysis of the demands upon public facilities and general planning and land development issues should the subject rezoning application be approved and has otherwise reviewed and evaluated the application to determine whether is comports with sound and generally accepted land use planning practices and principles as well as whether the application is consistent with the goals, objectives and policies set forth in the City’s *Comprehensive Plan*; and

WHEREAS, on October 5, 2021 the Planning, Zoning and Appeals Board of the City of Bunnell reviewed this request and recommended approval of the proposed ordinance to the City Commission; and

WHEREAS, professional City planning staff, the City’s Planning, Zoning and Appeals Board and the City Commission have determined that the proposed rezoning of the subject property as set forth in this Ordinance is consistent with the *Comprehensive Plan of the City of Bunnell*, the land development regulations of the City of Bunnell, and the controlling provisions of State law; and

WHEREAS, the City Commission of the City of Bunnell, Florida has taken, as implemented by City staff, all actions relating to the rezoning action set forth herein in accordance with the requirements and procedures mandated by State law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF BUNNELL, FLORIDA:

Section 1. Legislative Findings and Intent.

- (a) The City Commission of the City of Bunnell hereby adopts and incorporates into this Ordinance the City staff report and City Commission agenda memorandum relating to the application relating to the proposed rezoning of the subject property as well as the recitals (whereas clauses) to this Ordinance.
- (b) The subject property, which is 2.8± acres in size, is located 655 East Favoretta Road in the City of Bunnell.
- (c) The City of Bunnell has complied with all requirements and procedures of Florida law in processing and advertising this Ordinance.

Section 2. Rezoning of Real Property/Implementing Actions.

- (a) Upon enactment of this Ordinance the following described property, as depicted in the map attached to this Ordinance, and totaling 2.8± acres in size, shall be rezoned to the City of Bunnell “AG, Agricultural” district zoning classification from the existing Flagler County, “MH-1, Rural Mobile Home” district zoning classification” district zoning classification;

LEGAL DESCRIPTION: 2.80 AC BUNNELL DEV CO SUBD BEING PT OF W 1/2 OF N 1/2 TR 9 BLK A POR NW CRNR TR 7 THENCE SE 660.63' SE 291.66' TO POB NE 330.50' SE 366.69' SW 330.60' NW 366.69' TO POB A/D/A PARCELS 3 & 4 PER SURVEY PROVIDED OR 1991/1060 OR 2061/1660 (L/E 2342/1765.

ADDRESS: 655 East Favoretta Road

TAX PARCEL IDENTIFICATION NUMBER: 21-13-31-0650-000A0-0930

- (b) The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Bunnell as may be appropriate to accomplish the action taken in this Ordinance.
- (c) Conditions of development relating to the subject property may be incorporated into the subsequent pertinent development orders and such development orders may be subject to public hearing requirements in accordance with the provisions of controlling law.

Section 3. Incorporation of Maps.

The maps attached to this Ordinance are hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

Section 4. Conflicts.

All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed

Section 5. Severability.

If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

Section 6. Non-codification.

This Ordinance shall be not be codified in the *City Code of the City of Bunnell* or the *Land Development Code of the City of Bunnell*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Bunnell by the City Manager, or designee.

Section 7. Effective Date

This Ordinance shall take effect upon the effective date of Ordinance 2021-37.

First Reading: approved on this 8th day of November 2021.

Second/Final Reading: adopted on this _____ day of _____ 2021.

CITY COMMISSION, City of Bunnell, Florida.

By: _____
Catherine D. Robinson, Mayor

Approved for form and content by:

Vose Law Firm, City Attorney

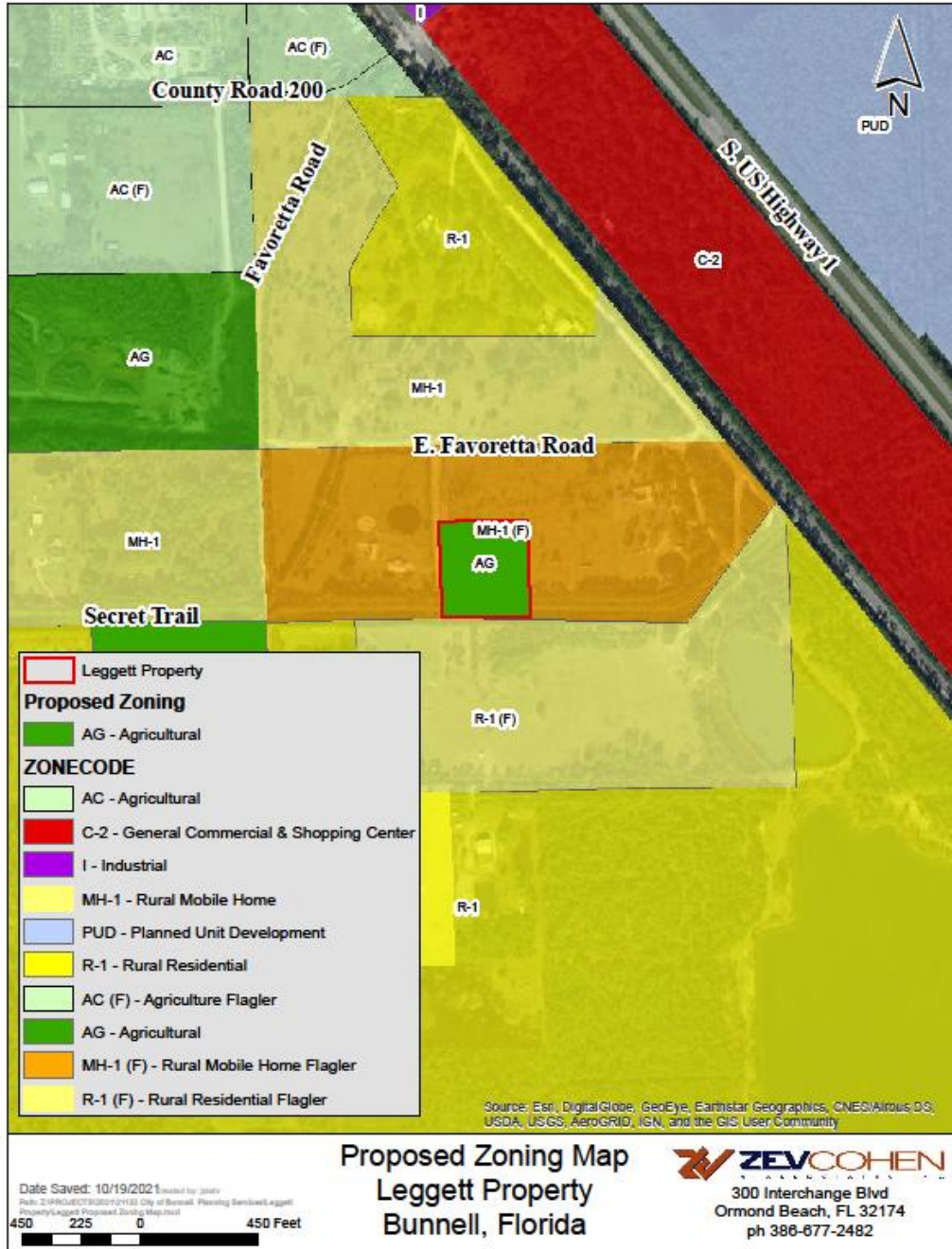
Attest:



Kristen Bates, CMC, City Clerk

Seal:

Exhibit "A"

Proposed Rezoning Map



 Leggett Property
 City of Bunnell



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Info:

Date Saved: 10/19/2021 created by: jstehr
 Path: Z:\PROJECTS\2021\21132 City of Bunnell Planning Services\Leggett Property\Leggett Property AD Map.mxd



Leggett Property Bunnell, Florida


 300 Interchange Blvd
 Ormond Beach, FL 32174
 ph 386-677-2482



City of Bunnell, Florida

Agenda Item No. H.1.

Document Date: 10/19/2021 Amount:
Department: City Manager Account #:
Subject: Request Approval to Set a Closing date for the purchase of Lot 4 Flagler Central Commerce Parkway to be used for the new City Administration and Police Department Complex.
Agenda Section: New Business:
Goal/Priority: Financial Stability/Sustainability, Organizational Excellence, Infrastructure

ATTACHMENTS:

Description	Type
Appraisal	Exhibit
Environmental Phase 1	Exhibit
Conceptual Site Plan	Exhibit
Soil Test	Exhibit

Summary/Highlights:

This is a request for the City Commission to exercise the option of purchasing property located at 2400 Commerce Parkway for the location of a future City Hall Administration and Police Department Complex.

Background:

The City conducted the following inspections and feasibility studies during the 120 days due diligence period: Property was surveyed, Environmental Phase I completed, Soil tests complete, Appraisal completed, conceptual site plan completed and approved by the Flagler Central Commerce Park Owners Association. Based on the inspections and studies staff found the property to be suitable for purchase.

The lot was listed at \$249,500. The appraisal was \$238,000. Both City and Seller agreed the purchase of the property shall be \$228,000, includes all wetland permitting and utility connections, contingent on a 120 day feasibility period and a closing date of December 15th.

Staff Recommendation:

The staff recommends closing on property located at 2400 Commerce Parkway Lot 4. Authorizing the Mayor, Catherine Robinson and the City Manager, Dr. Alvin B. Jackson, Jr to execute all documents required to close on the purchase of said property for new City Administration/ Police Department.

City Attorney Review:

Commission discretion

Finance Department Review/Recommendation:

Approve

City Manager Review/Recommendation:

Approved.

REAL ESTATE APPRAISAL REPORT

Of
Vacant Commercial Land



2400 Commerce Pkwy
Bunnell, Florida 32110

As of
August 4, 2021

Prepared For
Dr. Alvin B. Jackson, Jr.
City Manager
City of Bunnell
P.O. Box 756
Bunnell, FL 32110
Client File: None

Prepared by
COOKSEY & ASSOCIATES, INC.

Howard J. Cooksey, MAI
State-Certified General Real Estate Appraiser
RZ2265

T. James Cooksey, MAI, CCIM
State-Certified General Real Estate Appraiser
RZ343

File Number: 9316

August 13, 2021

Dr. Alvin B. Jackson, Jr.
City Manager
City of Bunnell
P.O. Box 756
Bunnell, FL 32110

Re: Appraisal Report, Real Estate Valuation
Vacant Commercial Land
2400 Commerce Pkwy
Bunnell, Florida 32110
File Number: 9316

Dear Dr. Jackson:

At your request, we have prepared the following appraisal report which is a summary of the analysis applied to develop an opinion of market value for the referenced property. This report has been prepared in accordance Uniform Standards of Professional Practice (USPAP) Standards Rule 2-2(a) and is intended to conform to the Code of Professional Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute, and applicable state appraisal regulations.

The purpose of this appraisal is to form an "As Is" Market Value opinion of the Fee Simple interest of the subject. This opinion was made under market conditions prevailing as of August 4, 2021, the date of the most recent inspection of the subject.

The subject is a 2.88 acre vacant parcel located in the Flagler Commerce Park, just south of S.R. 100 in Bunnell, Flagler County, Florida. The parcel contains approximately 1.9 acres of usable uplands, which includes a pond that can be incorporated into the stormwater drainage/retention plan when developed. This location is just east of the Flagler County Courthouse and municipal complex.

Based on the intended use of the appraisal and considering the subject's physical and economic characteristics, we have prepared an appropriate scope of work to provide for a credible value result. The scope included: **1)** Adjacent roadway and aerial photos; **2)** An analysis of current economic factors as they pertain to the subject property type; **3)** Collection, verification and analysis of land sales of similar properties; **4)** and development of the sales comparison approach to value.

Your attention is directed to the Limiting Conditions and Assumptions section of this report (page 8). Acceptance of this report constitutes an agreement with these conditions and assumptions. In particular, we note the following Extraordinary Assumptions:

Charlie Faulkner, the seller's civil engineer was interviewed regarding the property's usable area, wetlands, etc. He indicated that the wetlands present on the westerly/front portion of the property can be developed due to mitigation. Based on information provided, we assume the usable area to be 1.9 acres, which includes the existing pond, that would be incorporated into the storm water drainage system when developed. Mr. Faulkner indicated that utilities will be brought to the site by the seller following closing, however, we did not see language in the contract for sale/purchase indicating such. The current listing also indicates utilities will be brought to the property by the seller after closing. We assume the information provided to be accurate.

Based on the valuation analysis in the accompanying report, and subject to the definitions, assumptions and limiting conditions expressed in the report our opinion is as follows:

The "As Is" Market Value of the Fee Simple estate of the subject property as of August 4, 2021, is:

\$238,000
Two Hundred Thirty Eight Thousand Dollars

Respectfully submitted,
Cooksey & Associates, Inc.



Howard J. Cooksey, MAI
State-Certified General Real Estate Appraiser
RZ2265



T. James Cooksey, MAI, CCIM
State-Certified General Real Estate Appraiser
RZ343

TABLE OF CONTENTS

Summary of Important Facts and Conclusions 1

Overview..... 2

 Scope of Work 2

 Definitions 7

 Limiting Conditions and Assumptions 8

 Disclosures 9

 Professional Standards 9

 Competency 9

 Personal Property & Intangibles 9

Market Area & Neighborhood Overview 10

 Flagler County 10

 Surrounding Market Area 11

 Demographic Profile 12

 Immediate Environment 14

 Life Cycle Stage 14

 Appraiser’s Summary of Area Influences 14

 Access & Linkages 15

Subject Property..... 15

 Identification of the Property..... 15

 Legal Description..... 15

 Current Ownership & Sale History 15

 Site Description 16

 Flood Map..... 17

 Survey 18

 Conceptual Plan 19

 Aerial Map 20

 Subject Photographs 21

 Assessment and Taxes 22

 Zoning..... 23

Analysis & Conclusions 23

 Market Analysis – Vacant Land..... 23

 Property Strengths & Weaknesses 23

 Highest and Best Use..... 24

 As Vacant 24

 Sales Comparison Approach – Land Valuation 25

 Comparable Land Sale Analysis 31

 Sales Comparison Approach Conclusion – Land Valuation 31

 Competitive Listings 32

 Exposure Time 33

 Certification Statement 34

Addenda 35

 Client Engagement Letter..... 35

 Qualifications of Appraisers..... 37

Summary of Important Facts and Conclusions

<i>Property Type</i>	Land	
<i>Real Estate Appraised</i>	2400 Commerce Pkwy Bunnell, Florida 32110	
<i>Property Rights Appraised</i>	Fee Simple	
<i>Client</i>	Dr. Alvin B. Jackson, Jr. City of Bunnell	
<i>Client File Number</i>	None	
<i>Intended Use of Appraisal</i>	Purchase decision/due diligence	
<i>Intended User</i>	City of Bunnell officials	
<i>Census Tract</i>	602.07	
<i>MSA</i>	Daytona Beach	
<i>Estimated Exposure Time:</i>	6 to 12 Months	
<i>Land Size</i>	2.88 ± acres	125,520 ± square feet
<i>Building Size</i>	± square feet	
<i>Flood Hazard</i>	Partial A	
<i>Zoning Classification</i>	B-1 Business District	
<i>Highest and Best Use</i>	As Though Vacant As Now Improved	Office/commercial N/A
<i>Effective Value Date</i>	August 4, 2021	
<i>Report Preparation Date</i>	August 13, 2021	
<i>Final Value Conclusion(s)</i>	As Is	
Value Conclusion(s)	\$238,000	

Overview

Scope of Work

According to the Uniform Standards of Professional Appraisal Practice, it is the appraiser's responsibility to develop and report a scope of work that results in credible results that are appropriate for the appraisal problem and intended user(s). The elements to be considered are summarized below in addition to the typical client expectations and typical appraisal work by peers for similar assignments.

Assignment Elements

The problem to be solved is to estimate the 'as is' market value of the subject property. This purpose necessitates identification of seven assignment elements listed below.

- | | | |
|----|--|---|
| 1. | The Client <i>(the person who engaged the appraisal and an intended user)</i> | Dr. Alvin B. Jackson, Jr.
City of Bunnell |
| 2. | Other Intended Users | None |
| 3. | Intended Use of Report <i>(To aid)</i> | Purchase decision/due diligence |
| 4. | Standard / Definition of Value Used to Form the Value Opinion | Market Value |
| 5. | Key Dates | |
| | Effective Value Date
<i>(point in time the value applies)</i> | August 4, 2021 |
| | Report Preparation Date
<i>(date the report was prepared)</i> | August 13, 2021 |
| | Date Property Appraised was Observed by One or More Appraisers Signing this Report | August 4, 2021 |
| 6. | Assignment Conditions | |
| | Extraordinary Assumptions: | This appraisal employs the following extraordinary assumptions: |
| | An extraordinary assumption is defined by USPAP to be <i>"an assumption, directly related to a specific assignment, which, if found to be false, could alter the appraiser's opinion or conclusions"</i> .
Extraordinary assumptions presume as fact otherwise uncertain information. In other words, this type assumption <u>involves uncertainty</u> about an underlying premise. An example is a survey that displays a lot size. If the lot size is later found to be much smaller, then the value conclusion may be negatively affected. | Charlie Faulkner, the seller's civil engineer was interviewed regarding the property's usable area, wetlands, etc. He indicated that the wetlands present on the westerly/front portion of the property can be developed due to mitigation. Based on information provided, we assume the usable area to be 1.9 acres, which includes the existing pond, that would be incorporated into the storm water drainage system when developed. Mr. Faulkner indicated that utilities will be brought to the site by the seller following closing, however, we did not see language in the contract for sale/purchase indicating such. The current listing also indicates utilities will be brought to the property by the seller after closing. We assume the information provided to be accurate. |
| | USPAP Standard Rule 1-2(f) requires the identification of all extraordinary assumptions that are necessary for credible assignment results. | |

Hypothetical Conditions:

This appraisal employs the following hypothetical conditions:

None

USPAP defines a hypothetical condition as “that which is contrary to what exists but is supposed for the purpose of analysis”. Hypothetical conditions assume conditions that are contrary to known fact. An illustration is the current valuation of a proposed home. For the purpose of a rational analysis, it is assumed the home exists on the effective value date, but it is known the home is nonexistent. Another example is a new zoning classification, that a property does not have today, but the new zoning is assumed for the purpose of a logical current valuation. Uncertainty is not involved with a hypothetical condition. An essential premise underlying the valuation is known not to exist on the date of value.

USPAP Standard Rule 1-2(g) requires the identification of all hypothetical conditions that are necessary for a credible value opinion.

Expected Public or Private On-Site or Off-Site Improvements Affecting Value

None

Assemblage of Estates or Component Parts Affecting Value

None

Information Not Available, If Any

None

Relevant Characteristics

The 7th assignment element is relevant characteristics about the property appraised. These characteristics are typically categorized as physical, legal, and economic.

Details about the physical attributes of the property appraised are presented later in the Subject section of this report. Some relevant characteristics considered are listed below. Atypical issues are detailed elsewhere herein.

Unless specifically stated otherwise, the estate appraised (listed below) assumes no adverse leases, liens or encumbrances other than normal covenants and restrictions of record.

7a. Physical

Existing Property Use	Commercial Land
Property Use Reflected in One or More Value Opinions	Vacant commercial land.
Sources of Information About the Property Appraised	Inspection, Public Records, Information provided by the client, etc.

7b. Legal

Category of Property Appraised	Real Property
Property Rights Appraised	Fee Simple
Legal Issues Considered	No adverse issues known.
Environmental Concerns	No adverse conditions known.

7c. Economic

Effect of Lease(s) on Value	N/A
Cost Information	
Type of Reconstruction Cost Used	N/A
Source of Reconstruction Cost Information	N/A

Extent of Services Provided

Number of Final Value Opinions Developed	1
Report Preparation Complies with Requirements Set Forth in USPAP Standard Rule	This is an Appraisal Report as defined by Uniform Standards of Professional Appraisal Practice under Standards Rule 2-2(A). This format provides a summary of the appraisal process, subject and market data and valuation analyses.
Format	Appraisal Report
Other Client Requirements	None
Extent of Data Research	Adequate
Economic Data Sources	CCIM Site To Do Business; CoStar; National Association of Realtors, MLS, local government, Appraisal Institute publications

Documents Considered	Client provided a copy of the contract for sale & purchase and survey. Seller's engineer provided conceptual site plans and background information on the property.
Data Verification	Direct and Third Party
Extent Of Subject Observation by One or More Appraisers Signing Report	Adjacent roadway and aerial photos

Other Intended Use Considerations

Client's Prior Engagement of Appraisal Services	Infrequent.
Loan to Value Ratio	N/A
Atypical Issues	N/A
Assignment Complexity	Typical Complexity
FIRREA Compliance	N/A
Insurable Value	N/A

Miscellaneous Matters

Other Than Signatories, Name(s) of Person(s) Providing Significant Real Property Assistance to the Development of the Value Opinion(s)	N/A
Extent and Type of Real Property Assistance	N/A
Scope of Work Agreement	Agreement in Addenda

Appraisal Development

Appraisal development is the extent of research and analyses that produce one or more credible opinions of value for one or more specifically identified intended users and an explicitly stated intended use. In this context, credible is defined as "worthy of belief".

The appraisal development process included the following tasks:

- observation of the property appraised
- research for appropriate market data
- data verification
- consideration of influential market area, physical, economic, and governmental factors
- determination of the subject's highest and best use(s), if appropriate
- development of one or more applicable approaches to value
- reconciliation of value indications
- preparation of this report

According to USPAP, all approaches that are applicable to the interest being appraised and necessary to produce credible results must be developed. The type of highest and best use; extent of feasibility considered; and the relevance of each major approach are listed below.

Highest and Best Use	Highest and best use analyses can be categorized into two different levels of detail - inferred and fundamental. A fundamental analysis forecasts demand from broad demographic and economic data like population and income. An inferred analysis is based on local trends and patterns from which inferences are made. Inferred analyses emphasize historical data while fundamental analyses are based on future projections. A(n) inferred analysis was prepared.
Cost Approach	A cost approach was not applied A cost approach was not applied as it is not applicable when appraising land as if vacant such as the subject.
Sales Comparison	A sales approach was applied . The sales comparison approach best measures the actions of buyers and sellers within a given market, and is well-supported herein.
Income Approach	An income capitalization approach was not applied as it is not applicable and not included in the report.

Applicable and necessary approaches were selected for development after consideration of available market data, intended use, and intended user(s). An approach considered not applicable was omitted because this methodology is not appropriate for the property interest being appraised, or sufficient data to properly develop the approach was not available.

Definitions

Definition of As Is Market Value: As is market value is defined as, "The estimate of the market value of real property in its current physical condition, use, and zoning as of the appraisal's effective date." (Source: *The Dictionary of Real Estate Appraisal, Fifth Edition, Appraisal Institute, Chicago, Illinois, 2010; also Interagency Appraisal and Evaluation Guidelines, Federal Register, 75 FR 77449, December 10, 2010, page 77471*)

Per Interagency; Appraisal and Evaluation Guidelines, December 10, 2010, Federal Register, Volume 75 Number 237, Page 77472

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

- Buyer and seller are typically motivated;
- Both parties are well informed or well advised, and acting in what they consider their own best interests;
- A reasonable time is allowed for exposure in the open market;
- Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
- The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

A **Fee Simple** estate is defined as:

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat.¹

¹ Appraisal Institute, *The Dictionary of Real Estate Appraisal*, 5th ed. (Chicago: Appraisal Institute, 2010).

Limiting Conditions and Assumptions

Acceptance of and/or use of this report constitutes acceptance of the following limiting conditions and assumptions; these can only be modified by written documents executed by both parties.

1. This appraisal is to be used only for the purpose stated herein. While distribution of this appraisal in its entirety is at the discretion of the client, individual sections shall not be distributed; this report is intended to be used in whole and not in part.
2. Real estate values are affected by many changing factors. Therefore, any value opinion expressed herein is considered credible only on the effective value date. Every day that passes thereafter, the degree of credibility wanes as the subject changes physically, the economy changes, or market conditions change
3. No part of this appraisal, its value estimates or the identity of the firm or the appraiser(s) may be communicated to the public through advertising, public relations, media sales, or other media.
4. All files, work papers and documents developed in connection with this assignment are the property of Cooksey & Associates, Inc. Information, estimates and opinions are verified where possible, but cannot be guaranteed. Plans provided are intended to assist the client in visualizing the property; no other use of these plans is intended or permitted.
5. No hidden or unapparent conditions of the property, subsoil or structure, which would make the property more or less valuable, were discovered by the appraiser(s) or made known to the appraiser(s). No responsibility is assumed for such conditions or engineering necessary to discover them. Unless otherwise stated, this appraisal assumes there is no existence of hazardous materials or conditions, in any form, on or near the subject property.
6. Unless otherwise stated in this report, the existence of hazardous substances, including without limitation asbestos, polychlorinated biphenyl, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, was not called to the attention of the appraiser nor did the appraiser become aware of such during the appraiser's inspection. The appraiser has no knowledge of the existence of such materials on or in the property unless otherwise stated. The appraiser, however, is not qualified to test for such substances. The presence of such hazardous substances may affect the value of the property. The value opinion developed herein is predicated on the assumption that no such hazardous substances exist on or in the property or in such proximity thereto, which would cause a loss in value. No responsibility is assumed for any such hazardous substances, nor for any expertise or knowledge required to discover them.
7. If this appraisal values the subject as though construction, repairs, alterations, remodeling, renovation, or rehabilitation will be completed in the future, it is assumed such work will be completed in a timely fashion, using non-defective materials, and proper workmanship. All previously completed work is assumed to substantially conform to plans, specifications, descriptions, or attachments made or referred to herein. It is also assumed all planned, in-progress, or recently completed construction complies with the zoning ordinance, and all applicable building codes. A prospective value opinion has an effective value date that is beyond or in the future and can be effected by unforeseen events.
8. Comments or descriptions about physical condition of the improvements, if any, are based solely on a superficial visual observation. Electric, heating, cooling, plumbing, water supply, sewer or septic, mechanical equipment, and other systems were not tested. No determination was made regarding the operability, capacity, or remaining physical life of any component in, on, or under the real estate appraised. All building components are assumed adequate and in good working order unless stated otherwise. Private water wells and private septic systems are assumed sufficient to comply with federal, state, or local health safety standards. No liability is assumed for the soundness of structural members since structural elements were not tested or studied to determine their structural integrity. The roof cover for all structures is assumed water tight unless otherwise noted. Comments regarding physical condition are included to familiarize the reader with the property. This document is not an engineering or architectural report.
9. Any estimate for repairs is a non-warranted opinion of the Appraiser
10. Good title, free of liens, encumbrances and special assessments is assumed. No responsibility is assumed for matters of a legal nature.

11. Necessary licenses, permits, consents, legislative or administrative authority from any local, state or Federal government or private entity are assumed to be in place or reasonably obtainable.
12. It is assumed there are no zoning violations, encroachments, easements or other restrictions which would affect the subject property, unless otherwise stated.
13. The appraiser(s) are not required to give testimony in Court in connection with this appraisal. If the appraisers are subpoenaed pursuant to a court order, the client agrees to pay the appraiser(s) Cooksey & Associates, Inc.'s regular per diem rate plus expenses.
14. Appraisals are based on the data available at the time the assignment is completed. Amendments/modifications to appraisals based on new information made available after the appraisal was completed will be made, as soon as reasonably possible, for an additional fee.
15. Cooksey & Associates, Inc. has not made a determination regarding the subject's American with Disabilities Act of 1990 compliance or non-compliance. Non-compliance could have a negative impact on value, however this has not been considered or analyzed in this appraisal.

Disclosures

Professional Standards

All leading professional appraisal organizations, the U.S. Congress, all state legislatures, and numerous legal jurisdictions recognize the Uniform Standards of Professional Appraisal Practice (USPAP), promulgated by the Appraisal Foundation. Revised biennially to keep it contemporary, these standards set forth ethical practices and proper procedures for a competent appraisal. This appraisal fully complies with all relevant portions of the USPAP version in effect on the date this report was prepared. It also complies with the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA), a federal law.

Competency

The person(s) signing this report are licensed to appraise real property in the state the subject is located. They affirm they have the experience, knowledge, and education to value this type property. They have previously appraised similar real estate.

Personal Property & Intangibles

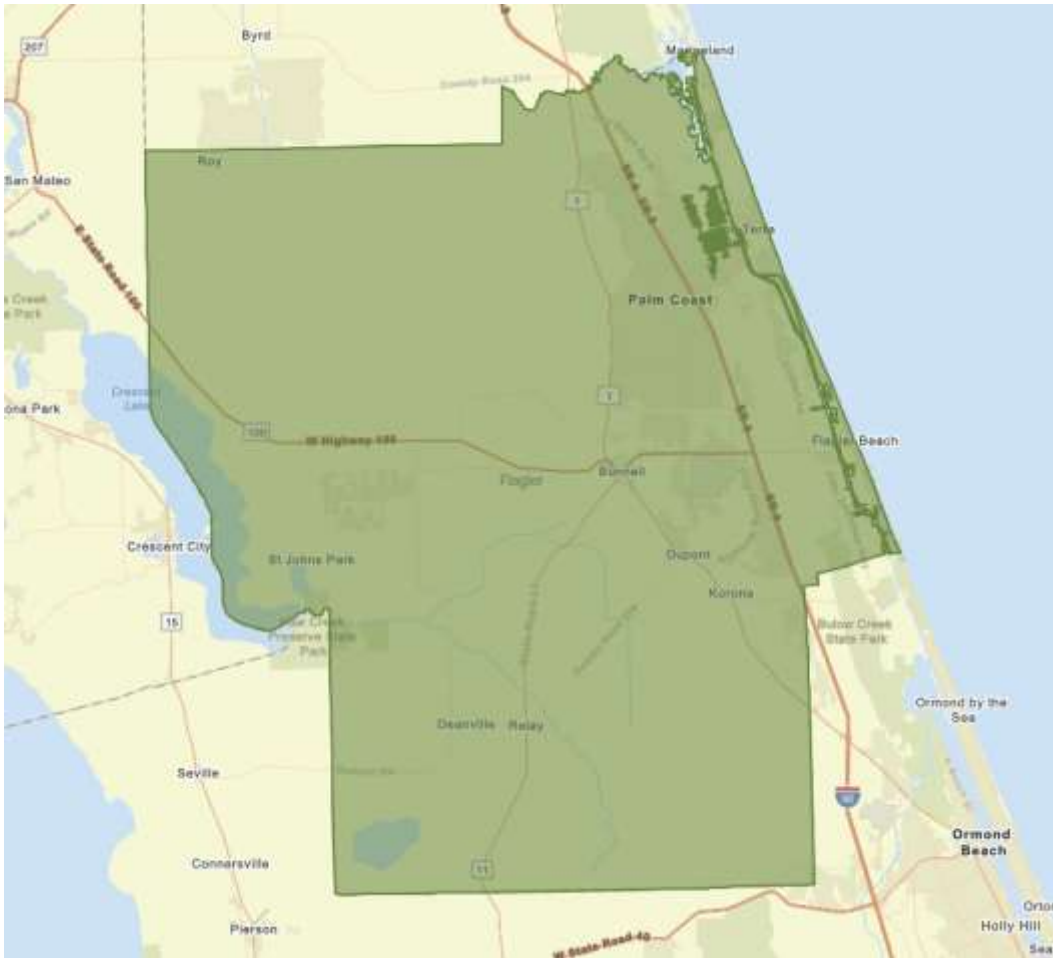
Personal property is movable and **not** permanently affixed to the real estate. Examples of personal property are freestanding ranges, refrigerators, tables, desks, chairs, beds, linen, silverware, hand tools, and small utensils. An intangible is a nonphysical asset like franchises, trademarks, patents, goodwill, and mineral rights.

The contributory value of the personal property included in the value conclusion is itemized as follows:

None considered.

Market Area & Neighborhood Overview

Flagler County



Flagler County is part of the Deltona-Daytona Beach-Palm Coast Metropolitan Statistical Area and covers approximately 571 square miles in east central Florida. It is bounded by the Atlantic Ocean to the east and Crescent Lake to the west. The 2020 population count is approximately 118,000 residents. The county seat is located in Bunnell, in the east-central portion of the county. Most of the county is considered rural and agricultural. The population centers are located on to the east along the coasts and I-95.

The county's median age is 50.6, which has been trending upward due to the area's attractiveness to retirees. Incomes are strong with median income at just under \$59,000 and a county average income of \$80,000 in 2020, driven primarily by Palm Coast and Flagler Beach areas. Population growth has cooled since prior highs in the early to mid-2000's, but remained a healthy 2.1% annually in 2020. Median incomes are rising at about 1.3% annually.

Major employers in the county include Palm Coast Data (magazine fulfillment house), Florida Hospital Flagler, Publix Supermarkets, Hammock Beach Resort and Wal-Mart. Flagler County Executive Airport is a major municipal airport and the primary airport in the county. Originally a Naval training facility built in WWII, it was converted to public use following the war. The airport is the 4th busiest general aviation airport in the state, largely due to its use as a practice field by Embry Riddle Aeronautical University's (Daytona Beach) flight training operations.

The primary population center of Flagler County is the city of Palm Coast located along I-95 and the Intracoastal Waterway. The city was developed beginning in 1970 by ITT Community Development Corporation, originally consisting of 48,000 home sites on approximately 40,000 acres. The city developed slowly through the 1970's and 80's and was officially incorporated in 1999. Growth picked up throughout the 1990s and 2000s. Prior to the 2008 Great Recession, Palm Coast and Flagler County were the fastest growing area in the country, roughly

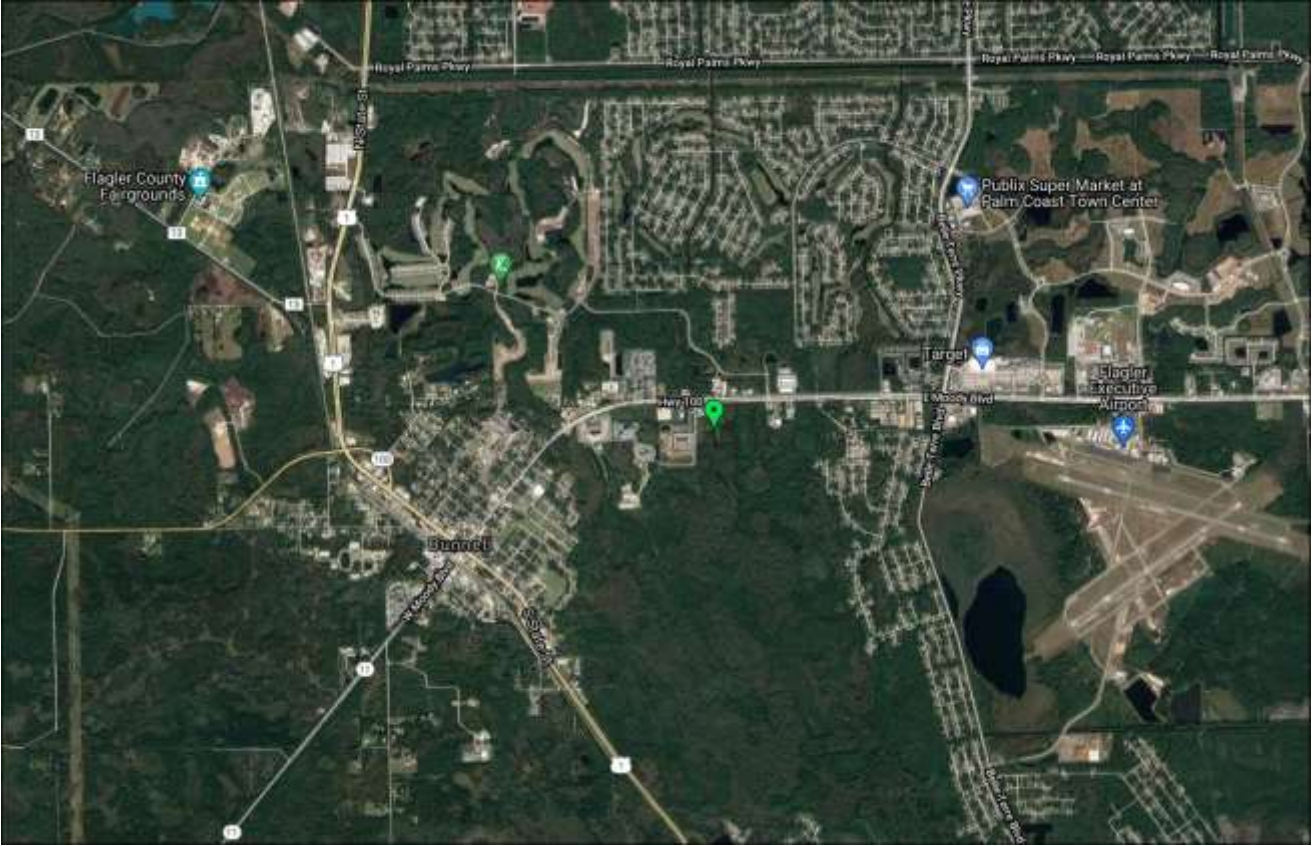
doubling in population between 2000 and 2010. The current 2020 population is approximately 90,000, and roughly three-quarters of the county's total population. Daytona State College operates a branch campus in eastern Palm Coast. As of 2020, growth has resumed in areas to the north and south of the established suburban neighborhoods.

Bunnell sits at the crossroads of US Highway 1, State Rd 100 and the Florida East Coast rail line. It was settled in the late 1800s and was incorporated in 1913. Its incorporated area contains approximately 138 square miles, making it the second largest city, by land area, in the state. Its 2020 population is around 4,200 residents. Despite being overtaken in size by neighboring Palm Coast, the city is still home to Flagler County's government offices.

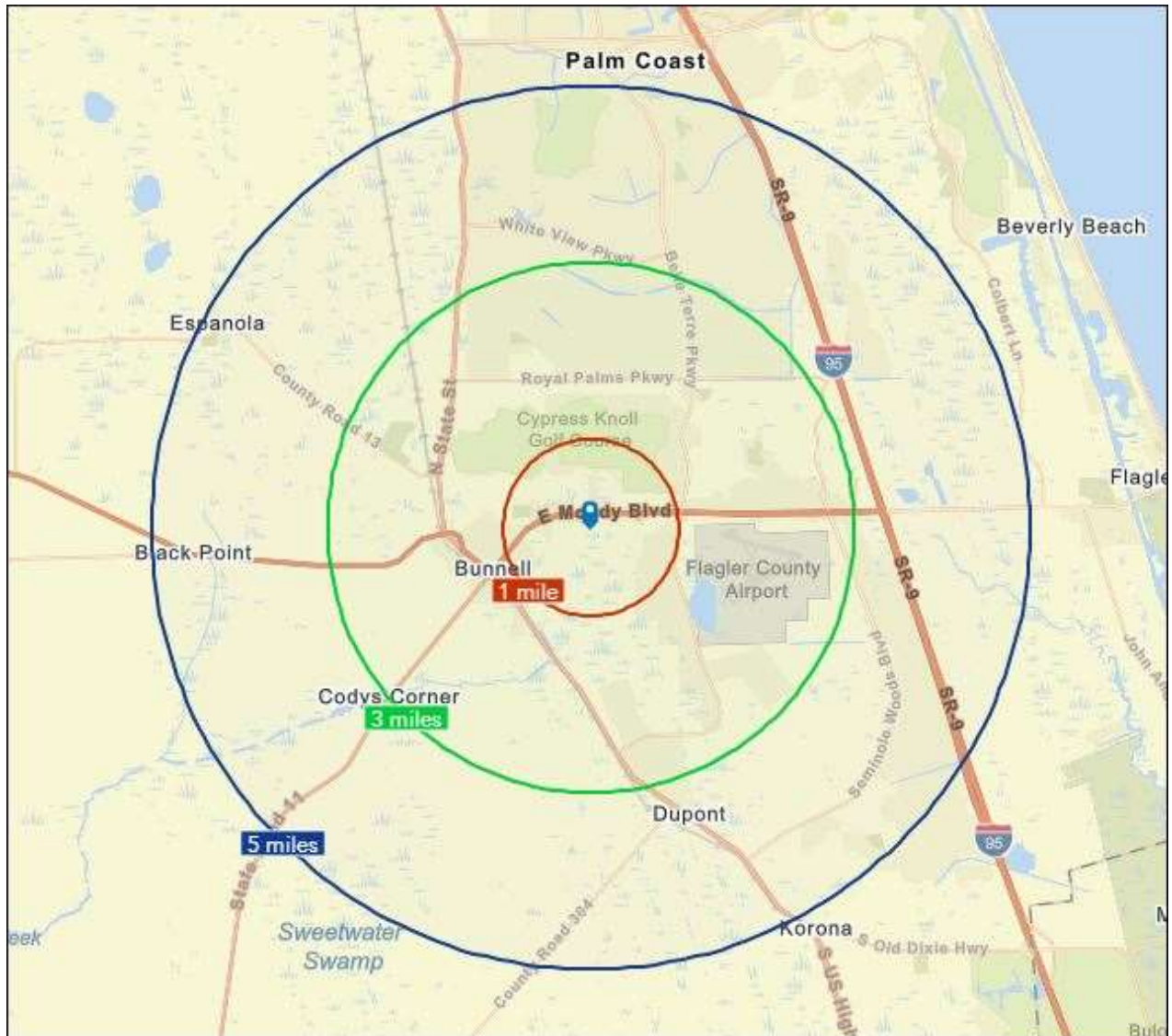
The city of Flagler Beach is a small beachfront town popular with tourists, retirees and second home owners. It was founded in 1925 and is located primarily on the peninsula west of the Intracoastal at the eastern terminus of State Rd 100. The city has a 2020 population of around 5,200 residents. The Flagler Beach Pier is a prominent attraction.

Surrounding Market Area

This is the area that most directly influences the subject's real estate market. A map of the surrounding area is shown below.



Demographic Profile





Cooksey & Associates Demographic Profile

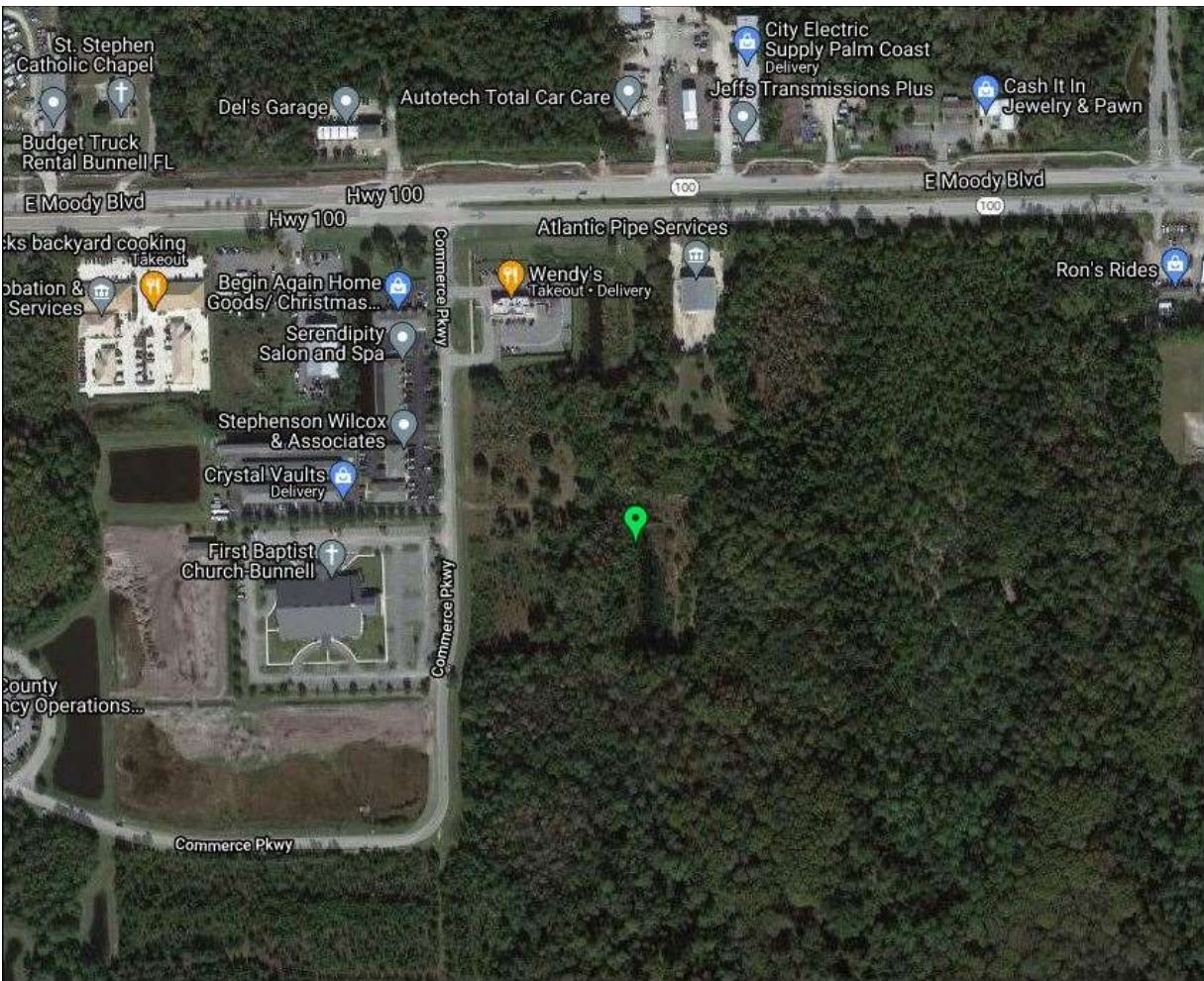
2400 Commerce Pkwy, Bunnell, Florida, 32110
Rings: 1, 3, 5 mile radii

Prepared by Esri
Latitude: 29.47313
Longitude: -81.23886

	1 mile	3 miles	5 miles
Census 2010 Summary			
Population	2,414	18,664	40,215
Households	1,005	7,041	15,285
Families	684	5,062	11,191
Average Household Size	2.24	2.60	2.61
Owner Occupied Housing Units	647	4,696	10,847
Renter Occupied Housing Units	358	2,345	4,438
Median Age	45.7	39.3	40.7
2021 Summary			
Population	3,328	23,697	52,016
Households	1,359	8,810	19,395
Families	924	6,263	14,027
Average Household Size	2.33	2.65	2.66
Owner Occupied Housing Units	862	5,628	13,303
Renter Occupied Housing Units	497	3,181	6,092
Median Age	47.3	41.2	43.2
Median Household Income	\$51,780	\$53,311	\$53,970
Average Household Income	\$71,668	\$71,865	\$70,549
2026 Summary			
Population	3,727	26,459	57,957
Households	1,520	9,786	21,466
Families	1,032	6,938	15,480
Average Household Size	2.34	2.67	2.68
Owner Occupied Housing Units	986	6,408	15,019
Renter Occupied Housing Units	534	3,378	6,447
Median Age	46.6	41.0	43.2
Median Household Income	\$57,994	\$58,912	\$59,808
Average Household Income	\$80,112	\$81,291	\$80,014
Trends: 2016-2021 Annual Rate			
Population	2.29%	2.23%	2.19%
Households	2.26%	2.12%	2.05%
Families	2.24%	2.07%	1.99%
Owner Households	2.72%	2.63%	2.46%
Median Household Income	2.29%	2.02%	2.08%

Immediate Environment

North: Vacant Commercial Parcels; Wooded Land
South: Vacant Commercial Parcels; Wooded Land
East: Vacant Commercial Parcels; Wooded Land
West: Church



Life Cycle Stage

Growth

Appraiser's Summary of Area Influences

The subject is located in the Flagler Central Commerce Park. The property is situated south of S.R. 100, the primary east-west commercial thoroughfare in the County and adjacent to the Flagler County government complex to the west, which includes the Courthouse and other County offices. The Sunshine Business Complex is located immediately north of the subject, with S.R. 100 frontage; it contains a combination of multi-tenant office and self/storage uses. Other uses along S.R. 100 in the immediate vicinity include a Wendy's QSR at the NE corner of S.R. 100 and Commerce Parkway, an automotive repair and sales facility and a multi-tenant office/retail complex. Flagler County recently purchased acreage from the subject owner to the south side of the subject and is considering a purchase of the subject, to assemble to other County properties for development of a new library facility.

Town Center at Palm Coast, a master planned mixed use DRI is located 1.2 mile east of the subject, on S.R. 100 includes a large lifestyle center, Palm Coast Landings, which is anchored by SuperTarget and other big-box stores, and draws patrons from all parts of Flagler County.

The population growth rate is high by virtue of the low population base ($\pm 110,000$) at the present time. The population within 3 miles of the subject is only 18,000.

Access & Linkages

Commerce Parkway extends south from E. Moody Boulevard/S.R. 100 before running west to the Flagler County government complex. Commerce Parkway is not a through-street and is utilized by those accessing the subject and neighboring County facilities. E. Moody Boulevard/S.R. 100 is the primary east-west thoroughfare in Bunnell and Flagler Beach, and is also a primary east-west route in Palm Coast. The subject’s location is roughly midway between the major north-south roads of U.S. 1 to the west and Belle Terre Parkway to the east. This location is near the center of Flagler County and conveniently accessed via these and other roadways.

Subject Street traffic count	N/A
	Local Traffic
Major East/West Street:	E Moody Blvd/S.R. 100
Major North/South Street:	Belle Terre Pkwy
Distance to I-95	3.46 miles east
Distance to Belle Terre Parkway/Town Center	1.2 miles east
Distance to U.S. 1	1.4 miles east
Atlantic Ocean – Flagler Beach	7± miles east
Municipal Airport – Flagler County	2.2 miles east
Distance to Palm Coast Parkway	6.8 miles north

Subject Property

Identification of the Property

The subject is a 2.88 acre vacant parcel located in the Flagler Commerce Park, just south of S.R. 100 in Bunnell, Flagler County, Florida. The parcel contains approximately 1.9 acres of usable uplands, which includes a pond that can be incorporated into the stormwater drainage/retention plan when developed. This location is just east of the Flagler County Courthouse and municipal complex.

Legal Description

FLAGLER CENTRAL COMMERCE PARK PHASE 1A REPLAT LOT 4 (2.88AC) MB 37 PG 36

Current Ownership & Sale History

The current owner of record is Oare Associates LLC. The current listing and/or pending contract is summarized below:

Pending Contract or Offer			
Price	Date	Buyer	Comments
\$228,000	12-15-2021	City of Bunnell	Under contract to the City of Bunnell. Asking price \$249,500. Contract date is July 26, 2021.

Site Description

Location:	East side of Commerce Parkway, south of S.R. 100
Current Use of the Property:	Vacant land.
Site Size:	Total: 2.88 acres; 125,520 square feet Usable: 1.90 acres; 82,764 square feet
Frontage/Access:	The subject property has access with frontage as follows: <ul style="list-style-type: none">• Commerce Pkwy: 170 feet The site has an average depth of 750 feet. It is a Mid-Block lot.
Utilities:	Electricity: FPL Sewer: City sewer to be extended to subject property by seller after closing. Water: City water to be extended to subject after closing Adequacy: Yes, see above.
Site Improvements:	There is a pond at the rear of the usable portion of the property.
Flood Zone:	The subject is located in an area mapped by the Federal Emergency Management Agency (FEMA), identified as flood zone Partial A. The subject is located in a flood plain: Yes FEMA Map Number: 12035C0226E FEMA Map Date: 06-06-2018 Flood Maps published by FEMA are not precise. If anyone desires a precise determination of the subject's flood hazard classification, a professional engineer, licensed surveyor, or local government authority
Environmental Issues:	No adverse conditions known.
Encumbrance / Easements:	40' drainage easement at the rear of the usable area, just east of the pond.
Site Comments:	It is our understanding wetlands on the usable area can be developed as a result of permitting and mitigation efforts to date done by the seller.
Shape:	Rectangular
Access:	Average
Traffic Count:	Not available. Local traffic only within park.
Exposure Rating:	Average
Topography:	Below Grade, Wooded
Soil Conditions:	Assumed adequate for development.
Landscaping:	None
Wetlands/Watershed:	Unusable wetlands at rear 227'; wetlands on usable area have been mitigated and permitted for development.

Flood Map

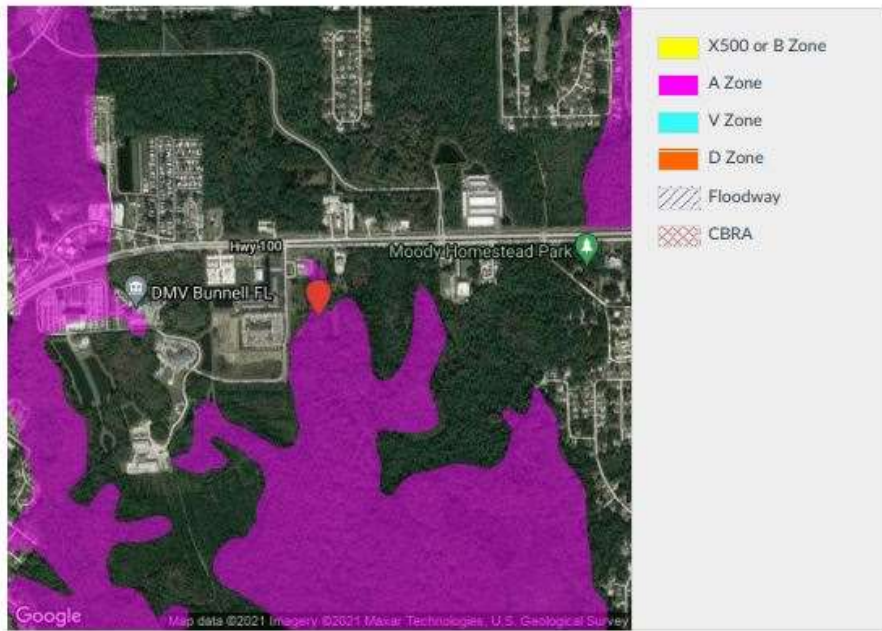
2400 COMMERCE PKWY BUNNELL, FL 32110-6358

LOCATION ACCURACY: *User-defined location*

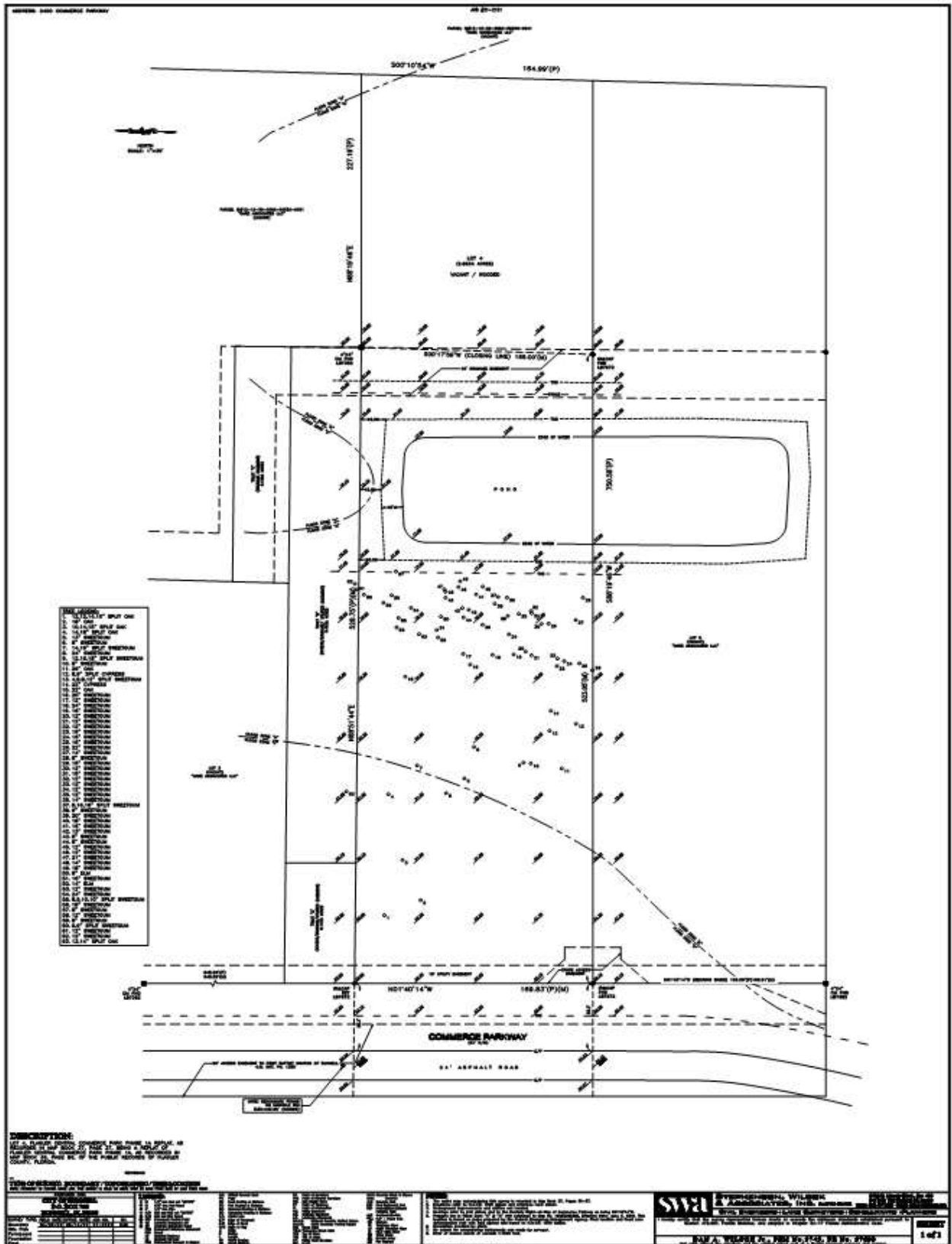
Flood Zone Determination Report

Flood Zone Determination: **IN** 

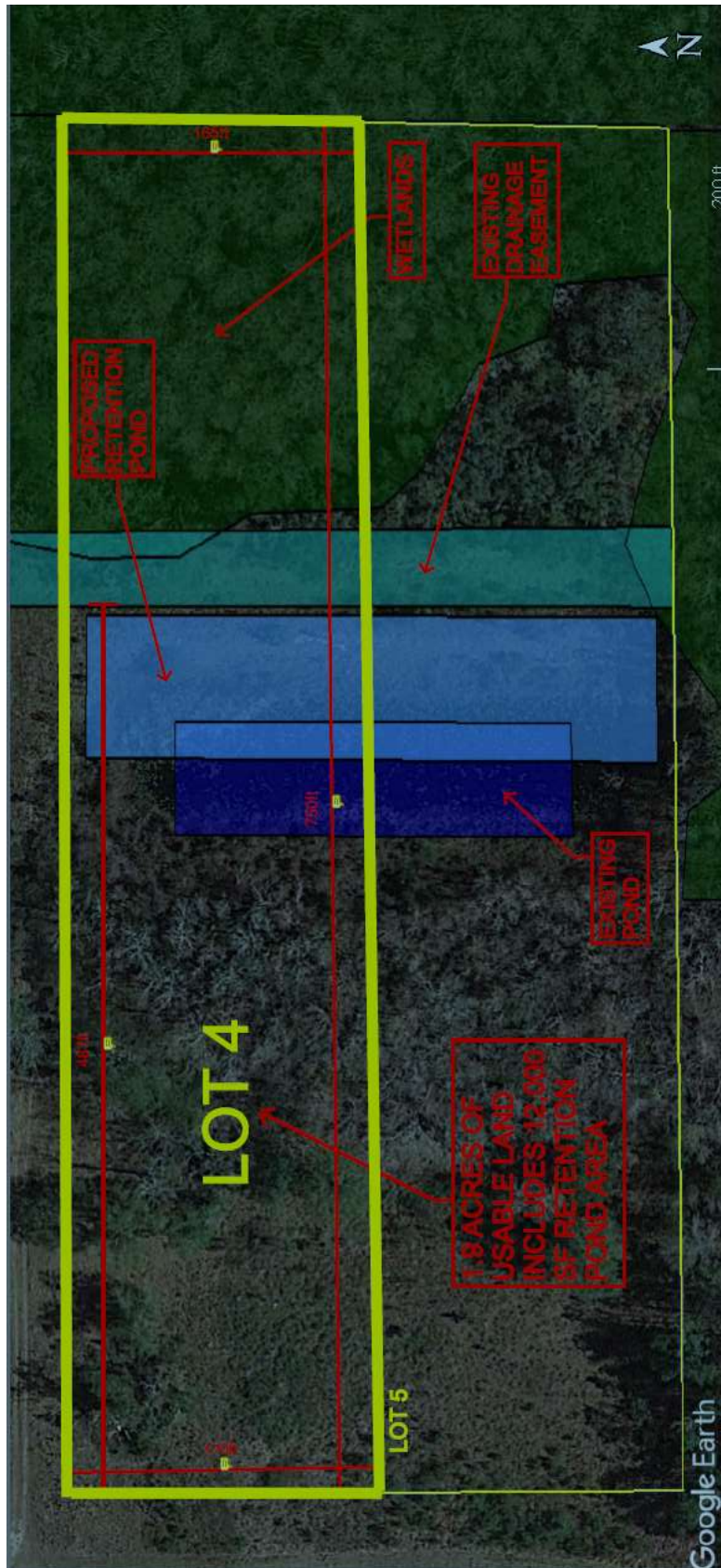
COMMUNITY	120086	PANEL	0226E
PANEL DATE	June 06, 2018	MAP NUMBER	12035C0226E



Survey



Conceptual Plan



Aerial Map



Subject Photographs



Front of subject, camera facing east



Commerce Pkwy facing north



Commerce Parkway facing south

Assessment and Taxes

Taxing Authority Flagler County
Assessment Year 2020

Assessment Summary	
County Appraised Value	
Parcel Number	11-12-30-2260-00000-0040
Land	\$200,248
Improvements	\$0
Total Just Value	\$200,248
Taxable Value	\$200,248
Millage Rate	21.5149
Tax Rate Per	\$1,000
Real Estate Taxes	\$4,308
Non-Ad Valorem	\$0
Total Taxes	\$4,308
Payment Status	Current
Amount Due	\$0

Comments

The target ratio of assessed value to market value is 85%. An analysis of recent sale transactions, however, indicate a wide range of ratios from 30% - 100%. This type of analysis generally does not yield a credible indication of value. In this case, the assessed value appears reasonable and would not be expected to increase after the pending sale closes. If purchased by the City of Bunnell, the property would be tax exempt.

Zoning

	Land Use Controls
Zoning Jurisdiction	City of Bunnell
Zoning Code	B-1
Future Land Use Designation	Commercial - Medium
Zoning Description	Business District. Permitted Uses include a variety of retail and service uses, hotels/motels, vehicle sales, churches, funeral homes, private clubs, bowling alley and certain special exception uses.
Zoning Density	50% Maximum Building Coverage; 0.4 FAR, 60% Maximum Impervious Coverage
Actual Density of Use	N/A
Current Use Legally Conforming	Yes
Zoning Change Likely?	Yes or No
Minimum Lot Size	None
Set Back & Side Yard Distances	25' Front, 10' Side and Rear
Maximum Building Height	35'
Zoning Comments	The purpose of this business-commercial district is to guide and regulate commercial uses including personal and business services and general retail business. It is the intent of this district to allow a wide-range of commercial uses, provide for a medium to high concentration of commercial activity, and ensure compatibility with the adjacent properties, and allow the potential for mixed-use commercial and residential development. This district is compatible with the commercial and commercial high land use categories.

Analysis & Conclusions

Market Analysis – Vacant Land

Jeanette Parker, the listing agent of the subject property and adjacent lots under the same ownership indicated that there has been significant interest in the lots recently, including a potential buyer for the subject lot that considered it for office development.

Property Strengths & Weaknesses

Strengths: Central location in Flagler County; proximity to County Seat and municipal facilities; good access from S.R. 100.

Weaknesses: Limited traffic exposure.

Highest and Best Use

Process

The highest and best use of the property must be determined for both the subject site as though vacant, and for the property as currently improved (if applicable). The highest and best use must be:

1. Physically possible for the site.
2. Permitted under the zoning laws and deed restrictions that apply to the site.
3. Economically feasible.
4. The use which will produce the highest net return on investment (i.e. highest value) from among the possible, permissible, and economically feasible uses.

As Vacant

Possible Use

As detailed in the site description section, the site's physical characteristics should reasonably accommodate any use that is not restricted by its size of 2.88 acres, or 125,520 square feet.

Permissible Use

Zoning codes, land use plans, easements, and private deed restrictions often restricts permitted uses. The site is zoned B-1, Business District. Permitted uses include a variety of retail and service uses, hotels/motels, vehicle sales, churches, funeral homes, private clubs, bowling alley and certain special exception uses. Given prevailing land use patterns in the area, and recognizing the principle of conformity, only commercial use has been given further consideration in determining highest and best use of the site, as if vacant.

Feasible Use

Given the lack of traffic exposure, only a commercial use that does not require visibility from a major road would be feasible at this location. The proximity to Flagler County's government complex and central location in the County would make this location appealing for office or mixed use commercial development.

Maximum Profitability

Considering the factors as analyzed above, the highest and best use of the subject as though vacant is for a permitted commercial use in accordance with the physically possible, appropriately supported, and financially feasible use of the site. The subject's location on an interior street would be most suitable for a commercial use such as office, institutional, or flex space that does not require high traffic exposure.

Most Probable Buyer:

Office user.

Sales Comparison Approach – Land Valuation

Introduction

The Sales Comparison Approach is based on the premise that a buyer would pay no more for a specific property than the cost of obtaining a property with the same quality, utility, and perceived benefits of ownership. It is based on the principles of supply and demand, balance, substitution and externalities. It includes the following steps.

- The market in which the subject property competes is investigated; comparable sales, contracts for sale and current offerings are reviewed.
- The most pertinent data is further analyzed and the quality of the transaction is determined.
- The most meaningful unit of value for the subject property is determined.
- Each comparable sale is analyzed and where appropriate, adjusted to equate with the subject property.
- The value indication of each comparable sale is analyzed and the data reconciled for a final indication of value via the Sales Comparison Approach.

Comparable Sales

The subject is a vacant parcel containing 1.9 usable acres with no frontage on a major road. Comparable sales with similar characteristics were selected for comparison, including two sales in an industrial/business park and a sale in Town Center.

The comparable sales are documented on the following pages followed by a location map and analysis grid. All sales have been researched through numerous sources.

Land Sale No. 1



Property Identification

Property Type	Industrial Land
Address	22 Commerce Boulevard
City, State Zip	Palm Coast, Florida 32164
County	Flagler
Tax ID	07-11-31-5112-00000-0080

Sale Data

Seller	Commerce Blvd. Holdings, LLC
Buyer	Palm Coast Commerce Storage LP
Sale Date	11-21-2019
Deed Book/Page	2401/703
Property Rights	Fee Simple
Conditions of Sale	Arm's length
Market Time	17 mos to contract
Financing	Cash
Verification	Margaret Sheehan-Jones, CCIM, listing agent
Sale Price	\$399,000
Proposed Use	Self Storage

Land Data

Total Land Size	4.32 acres or 187,964 SF
Topography	General level, mostly near road grade, almost fully wooded
Front Footage	270 Commerce Boulevard (access from within Pine Lakes Industrial Park)
Utilities	Adequate
Traffic Count	12,400
In Flood Plain?	No. Zone X
Zoning Code	IND-1 Industrial
Proposed Use	Self Storage

Indicators

\$/Gross Acre	\$92,467 per Acre
Price/Gross SF	\$2.12 per SF
Price/Front Foot	\$1,477.78

Remarks

There is a 50' restrictive use and a 50' drainage easement at the rear of the property (totaling 100'); also a 40' drainage easement along the east boundary.
Industrial site purchased for development of a self-storage facility that may include RV & boat storage.

Land Sale No. 2



Property Identification

Property Type	Industrial Land
Address	4 Commerce Boulevard
City, State Zip	Palm Coast, Florida 32164
County	Flagler
Tax ID	07-11-31-5112-00000-0110

Sale Data

Seller	LPLH Property Holdings, LLC
Buyer	GIOIA Properties, LLC
Sale Date	09-30-2020
Deed Book/Page	2483/1655
Property Rights	Fee Simple
Conditions of Sale	Arm's length
Sale Price	\$800,000
Proposed Use	Industrial

Land Data

Total Land Size	5.00 acres or 217,800 SF
Useable Land Size	5.00 acres or 217,800 SF
Topography	Generally level, densely wooded
Front Footage	320
Utilities	Typical
In Flood Plain?	. Zone
Zoning Code	Industrial
Proposed Use	Industrial

Indicators

\$/Gross Acre	\$160,000 per Acre
\$/Useable Acre	\$160,000 per Acre
Price/Gross SF	\$3.67 per SF
Price/Useable SF	\$3.67 per SF
Price/Front Foot	\$2,500.00

Remarks

Purchase of a wooded industrial site by Gioia Sails, which operates a sail manufacturing facility adjacent at 10 Commerce Pkwy. The site was purchased for development of an expansion of their facility.

Land Sale No. 3



Property Identification

Property Type	Commercial Land
Address	4 Medical Ct.
City, State Zip	Palm Coast, Florida 32164
County	Flagler
Tax ID	08-12-31-4965-00000-0060

Sale Data

Seller	Seacoast Bank (fka Floridian Bank)
Buyer	Palm Coast Medical Lot 6, LLC
Sale Date	04-04-2019
Deed Book/Page	2346/1939
Property Rights	Fee Simple
Conditions of Sale	Arm's length
Market Time	Extended
Verification	Alex Garcia, Seacoast Bank
Sale Price	\$175,000

Land Data

Total Land Size	1.00 acres or 43,560 SF
Useable Land Size	1.00 acres or 43,560 SF
Topography	Below Grade, Level, Cleared
Front Footage	225 144' Along Medical Ct. with one pre-paved apron
Utilities	Adequate
Traffic Count	3,700
In Flood Plain?	No. Zone X
Zoning Code	MPD Master Planned Development

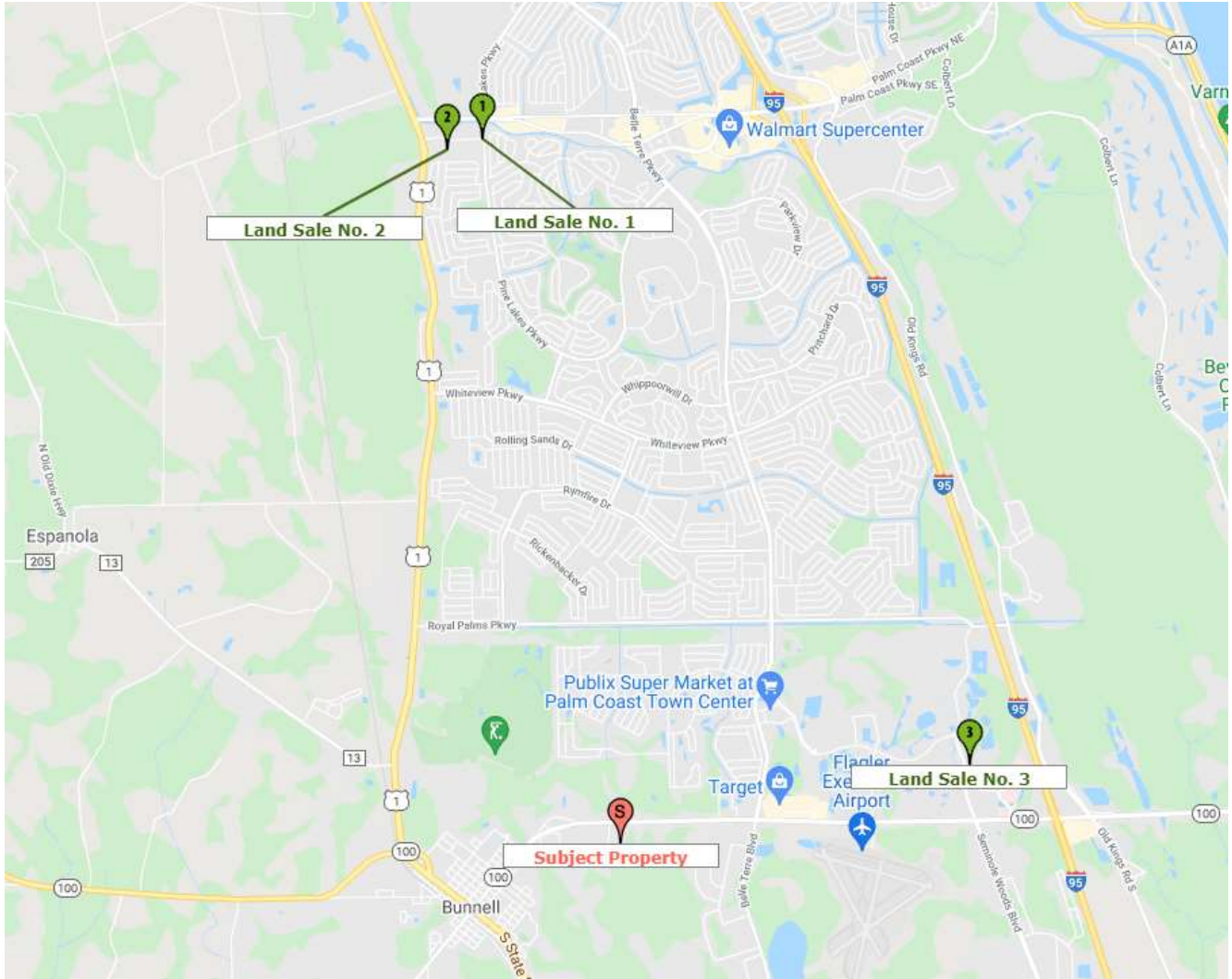
Indicators

\$/Gross Acre	\$175,000 per Acre
\$/Useable Acre	\$175,000 per Acre
Price/Gross SF	\$4.02 per SF
Price/Useable SF	\$4.02 per SF
Price/Front Foot	\$777.78

Remarks

This property is low and will require significant fill. Stormwater drainage is offsite.

Location Map



Comparison Analysis

The sales have been analyzed and compared with the subject property. We have considered adjustments for differences in the most pertinent areas summarized on the following page:

Land Sales Grid				
	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2400 Commerce Pkwy	22 Commerce Boulevard	4 Commerce Boulevard	4 Medical Court
City	Bunnell	Palm Coast	Palm Coast	Palm Coast
Property ID	10889	10139	6777	8501
OR Book/Page		2401/703	2483/1655	2346/1939
Sale Date	Pending	11/21/2019	9/30/2020	4/4/2019
Sale Price	\$228,000	\$399,000	\$800,000	\$175,000
Sale Price/Useable Acre	\$120,000	\$92,467	\$160,000	\$175,000
Property Rights	Fee Simple	Fee Simple	Fee Simple	Fee Simple
Adjustment		0%	0%	0%
Financing	Cash	Cash	Cash	Cash
Adjustment		0%	0%	0%
Conditions of Sale	Arm's length	Arm's length	Assemblage	Arm's length
Adjustment		0%	-15%	0%
Market Conditions	8/4/2021	11/21/2019	9/30/2020	4/4/2019
Adjustment		4%	2%	6%
Adj Price / Usable Acre		\$96,512	\$139,114	\$185,150
Location	Municipal - County Seat	Palm Coast - Industrial Park	Palm Coast - Industrial Park	Town Center Medical District - Near Hospital
Comparison		Similar	Similar	Superior
% Adjustment		0%	0%	-10%
\$ Adjustment		\$0	\$0	-\$18,515
Access	Average	Average	Average	Average
Average Daily Traffic	N/A	12,400	Local traffic only	3,700
Exposure/Visibility	Average	Average	Average	Average
Comparison				No adj.
% Adjustment		0%	0%	0%
\$ Adjustment		\$0	\$0	\$0
Gross Land Size	2.88	4.32	5.00	1.00
Usable Land Size	1.90	4.32	5.00	1.00
Comparison		Larger	Larger	Smaller
% Adjustment		10%	10%	-10%
\$ Adjustment		\$9,651	\$13,911	-\$18,515
Shape	Rectangular	Rectangular	Rectangle	Corner, nearly rectangular
Comparison				Superior
% Adjustment		0%	0%	-10%
\$ Adjustment		\$0.00	\$0.00	-\$18,515.00
Utilities	Adequate; To be extended to subject by seller	Adequate	Typical	Available
Comparison				
% Adjustment		0%	0%	0%
\$ Adjustment		\$0.00	\$0.00	\$0.00
Zoning	B-1	IND-1	IND-1	MPD
Comparison				
% Adjustment		0%	0%	0%
\$ Adjustment		\$0.00	\$0.00	\$0.00
Topography	Below Grade, Wooded, on-site retention req.	General level, mostly near road grade, almost fully wooded	Generally level, densely wooded	Clear, below grade, off-site drainage
Comparison				No Adj.
% Adjustment		0%	0%	
\$ Adjustment		\$0.00	\$0.00	\$0.00
Final Adjusted Price		\$106,164	\$153,026	\$129,605
Net Adjustments		10%	10%	-30%

Comparable Land Sale Analysis

Sale 1 is a vacant parcel located in the Pine Lakes Industrial Park at 22 Commerce Boulevard, Palm Coast. This location is at the corner of Commerce Boulevard and Pine Lakes Parkway. It is a 4.22-acre parcel that was purchased in November 2019 for \$399,000 or \$92,467 per acre. A slight upward adjustment was applied for market conditions. This parcel was wooded and was purchased for development of a mini-storage facility. Sale 1 is significantly larger than the subject and an upward adjustment was applied. It is similar to the subject in most other aspects.

Sale 2 is a vacant parcel located in the Pine Lakes Industrial Park at 4 Commerce Boulevard, Palm Coast. It is a 5-acre parcel that was purchased in September 2020 for \$800,000 or \$160,000 per acre. A slight upward adjustment was applied for market conditions. This parcel was wooded and was purchased for assemblage by an adjacent property owner; the sale price reflects a premium as compared to other similar sales, therefore a downward adjustment was applied. Sale 1 is significantly larger than the subject and an upward adjustment was applied. It is similar to the subject in most other aspects.

Sale 3 is a 1 acre vacant parcel at the corner of Town Center Boulevard and Medical Court in Town Center, Palm Coast. This parcel had formerly been purchased by a bank for development of a branch and was acquired by another bank in a bank purchase. It was purchased in April 2019 by an investor for \$175,000 or \$175,000/usable acre. A slight upward adjustment was applied for market conditions. This location is in a medical district near Advent Health Hospital; a downward adjustment was applied for location. Sale 1 is significantly smaller than the subject and was adjusted downward for this factor. It's corner location and exposure is considered superior to the subject; a downward adjustment was applied.

Sales Comparison Approach Conclusion – Land Valuation




The unadjusted sale prices per usable acre ranged from \$92,467 to \$175,000. After adjustments, a value range of \$106,164 to \$162,932 per usable acre was indicated. Based on our analysis, a value of \$125,000 per acre was concluded.

Land Value Conclusion	Per Useable Ac	Value Indication
Min. adj. Price/Useable Ac	\$106,164	\$201,700
Max. adj. Price/Useable Ac	\$153,026	\$290,700
Avg adj. Price/Useable Ac	\$129,595	\$246,200
Reconciled Value/Useable Ac	\$125,000	\$238,000

Two Hundred Thirty Eight Thousand Dollars

Competitive Listings

The following listings in the immediate vicinity were found. Asking prices range from \$131,375 to \$220,992 per usable acre. Listing 1 is adjacent to the south side of the subject and very similar in terms of size and physical characteristics. We would expect sale prices to be negotiated down from asking prices. Our value conclusion of \$125,000/usable acre is just below this range and is considered to be supported by the competitive listings.

1 2350 Commerce Pkwy - Land Busy SR 100 Corridor 2.5 ac Bunnell FL			
Bunnell, FL 32110 Land Busy SR 100 Corridor 2.5 ac Bunnell FL	Sale Price: \$249,000 Price/AC: \$99,600.00	Parcel Size (AC): 2.50 AC Parcel Size (SF): 108,900 SF	
Property Type: Commercial	Zoning: B-1	Proposed Use: Commercial, Retail, Office, Bank, Convenience Store, Day Care Center, Fast Food, General Freestanding, Restaurant	
Sale Status: Active	Proposed Use:		
Days on Market: 424			
\$131,375±/usable acre			
2 2470 Commerce Pkwy - 1.2+ ac in Busy SR 100 corridor Bunnell FL			
Bunnell, FL 32110 1.2+ ac in Busy SR 100 corridor Bunnell FL	Sale Price: \$249,500 Price/AC: \$196,456.69	Parcel Size (AC): 1.27 AC Parcel Size (SF): 55,321 SF	
Property Type: Commercial	Zoning: B-1	Proposed Use: Commercial, Retail, Office, Bank, Convenience Store, Day Care Center, Fast Food, General Freestanding, Restaurant	
Sale Status: Active	Proposed Use:		
Days on Market: 424			
Sale Conditions: -			
3 2520 Commerce Pkwy - Highly visible 1.3+ ac SR 100 Bunnell FL			
Bunnell, FL 32110 Highly visible 1.3+ ac SR 100 Bunnell FL	Sale Price: \$289,500 Price/AC: \$220,992.37	Parcel Size (AC): 1.31 AC Parcel Size (SF): 57,064 SF	
Property Type: Commercial	Zoning: B-1	Proposed Use: Commercial, Retail, Office, Bank, Convenience Store, Day Care Center, Fast Food, Restaurant	
Sale Status: Active	Proposed Use:		
Days on Market: 424			
Sale Conditions: -			

Exposure Time

Terminology abounds in the real estate appraisal profession. Two related but different concepts that are often confused are Exposure Time and Marketing Time. USPAP specifically addresses the confusion.

Term	Definition	Explanation
Exposure Time (Statement 6)	<i>"... the estimated length of time the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal".</i>	Backward looking; ends on the effective value date. Based on factual, past events.
Marketing Time (Advisory Opinion 7)	<i>"... an opinion of the amount of time it might take to sell a real or personal property interest at the concluded market value during the period immediately after the effective date of the appraisal".</i>	Forward looking; starts on the effective value date. A forecast based on expectancies of future occurrences.

USPAP Standard rule 1-2(c)(iv) requires an opinion of exposure time, not marketing time, when the purpose of the appraisal is to estimate market value. We estimate and "As Is" exposure time of approximately 6 to 12 Months.

Certification Statement

We certify that, to the best of our knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions and conclusions are limited only by the reported assumptions and limiting conditions, and are our personal, impartial, and unbiased professional analyses, opinions and conclusions.
- We have no present or prospective future interest in the property that is the subject of this report, and have no personal interest with respect to the parties involved.
- We have no bias with respect to the property that is the subject of this report, or to the parties involved with this assignment.
- Our engagement in this assignment was not contingent upon developing or reporting predetermined results.
- Our compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- Our analyses, opinions and conclusion were developed, and this report has been prepared in conformity with the requirements of the Code of Profession Ethics and Standards of Professional Appraisal Practice of the Appraisal Institute, which includes the Uniform Standards of Professional Appraisal Practice.
- Use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- T. James Cooksey & Howard J. Cooksey are designated members of the Appraisal Institute and have completed the continuing education program prior to this preparation date.
- No one provided significant real property appraisal assistance to the person(s) signing this certification.
- We certify sufficient competence to appraise this property through education and experience, in addition to the internal resources of the appraisal firm.
- The appraisers have not performed any prior services regarding the subject within the previous three years of the appraisal date.
- Howard J. Cooksey has personally inspected the subject property. T. James Cooksey has not personally inspected the subject property.



Howard J. Cooksey, MAI
State-Certified General Real Estate Appraiser
RZ2265



T. James Cooksey, MAI, CCIM
State-Certified General Real Estate Appraiser
RZ343

Addenda

Client Engagement Letter



Phone: 386.252.1293

1230 N. U.S. Highway 1, Suite 28 • Ormond Beach, FL 32174

Fax: 386.254.6992

July 27, 2021

Dr. Alvin B. Jackson, Jr.
City Manager
City of Bunnell
P.O. Box 756
Bunnell, FL 32110
(386) 986-6004
Ajackson@bunnellcity.us

Re: Vacant parcel
2400 Commerce Pkwy.
Bunnell, FL 32110

Dear Dr. Jackson,

Thank you for giving us the opportunity to provide appraisal services for the above referenced property. This letter serves as a formal agreement, upon acceptance, to prepare an appraisal with the following scope.

Report Type	Appraisal Report
Intended Use	Purchase decision/due diligence
Intended Users	City of Bunnell officials
Property Interest	Fee Simple
Appraisal Scope	Inspection from adjacent roadway(s), review of survey, aerial photos, sales comparison
Effective Date	Current
Property Type	Vacant Land
Parcel Number/s	11-12-30-2260-00000-0040

The appraisal will be prepared in accordance with the Uniform Standards of Professional Practice and subject to the attached Standard Assumptions & Limiting Conditions.

Our report will be submitted to you within approximately 4 weeks from acceptance at a fee of \$1,750. If you agree to the terms of this proposal, please indicate your authorization to proceed by signing below and sending via fax to 386-254-6992 or email to info@cookseyassociates.com.

Requested information: copy of contract for sale & purchase, survey & any other relevant information.

We look forward to being of service.

Sincerely,

Cooksey & Associates, Inc.

Howard J. Cooksey, MAI
St. Cert. Gen. RZ2265

Accepted:

Title
Date
City Mgr
7/27/21

Limiting Conditions and Assumptions

Acceptance of and/or use of this report constitutes acceptance of the following limiting conditions and assumptions; these can only be modified by written documents executed by both parties.

This appraisal is to be used only for the purpose stated herein. While distribution of this appraisal in its entirety is at the discretion of the client, individual sections shall not be distributed; this report is intended to be used in whole and not in part.

No part of this appraisal, its value estimates or the identity of the firm or the appraiser(s) may be communicated to the public through advertising, public relations, media sales, or other media.

All files, work papers and documents developed in connection with this assignment are the property of Cooksey & Associates. Information, estimates and opinions are verified where possible, but cannot be guaranteed. Plans provided are intended to assist the client in visualizing the property; no other use of these plans is intended or permitted.

No hidden or unapparent conditions of the property, subsoil or structure, which would make the property more or less valuable, were discovered by the appraiser(s) or made known to the appraiser(s). No responsibility is assumed for such conditions or engineering necessary to discover them. Unless otherwise stated, this appraisal assumes there is no existence of hazardous materials or conditions, in any form, on or near the subject property.

Unless otherwise stated in this report, the existence of hazardous substances, including without limitation asbestos, polychlorinated biphenyl, petroleum leakage, or agricultural chemicals, which may or may not be present on the property, was not called to the attention of the appraiser nor did the appraiser become aware of such during the appraiser's inspection. The appraiser has no knowledge of the existence of such materials on or in the property unless otherwise stated. The appraiser, however, is not qualified to test for such substances. The presence of such hazardous substances may affect the value of the property. The value opinion developed herein is predicated on the assumption that no such hazardous substances exist on or in the property or in such proximity thereto, which would cause a loss in value. No responsibility is assumed for any such hazardous substances, nor for any expertise or knowledge required to discover them.

Unless stated herein, the property is assumed to be outside of areas where flood hazard insurance is mandatory. Maps used by public and private agencies to determine these areas are limited with respect to accuracy. Due diligence has been exercised in interpreting these maps, but no responsibility is assumed for misinterpretation. Absolute determination requires an elevation certificate by a qualified surveyor.

Good title, free of liens, encumbrances and special assessments is assumed. No responsibility is assumed for matters of a legal nature.

Necessary licenses, permits, consents, legislative or administrative authority from any local, state or Federal government or private entity are assumed to be in place or reasonably obtainable.

It is assumed there are no zoning violations, encroachments, easements or other restrictions which would affect the subject property, unless otherwise stated.

The appraiser(s) are not required to give testimony in Court in connection with this appraisal. If the appraisers are subpoenaed pursuant to a court order, the client agrees to pay the appraiser(s) Cooksey & Associates' regular per diem rate plus expenses.

Appraisals are based on the data available at the time the assignment is completed. Amendments/modifications to appraisals based on new information made available after the appraisal was completed will be made, as soon as reasonably possible, for an additional fee.

Qualifications of Appraisers

Howard J. Cooksey, MAI

FLORIDA State-Certified General Real Estate Appraiser RZ2265

Education

Bachelor of Arts Degree, Economics
University of South Florida, August 1994
Tampa, Florida

Real Estate/Appraisal Courses & Seminars

- **2020-2021 7-Hour National USPAP Update Course for Non-Residential Property**
McKissock - Successfully Completed – November 2020
- **Florida Appraisal Laws and Regulations**
McKissock - Successfully Completed – November 2020
- **Supervisor-Trainee Course For Florida**
McKissock - Successfully Completed – November 2020
- **Appraisal of Fast Food Facilities**
McKissock - Successfully Completed – October 2020
- **Appraising Small Apartment Properties**
McKissock - Successfully Completed – October 2020
- **Commercial Land Valuation**
McKissock - Successfully Completed – October 2020
- **2018-2019 7-Hour National USPAP Update Course**
McKissock - Successfully Completed – November 2018
- **Appraisal of Land Subject to Ground Leases**
McKissock – Successfully Completed – November 2018
- **Appraisal of Owner-Occupied Commercial Properties**
McKissock - Successfully Completed – November 2018
- **Florida Appraisal Laws & Regulations**
McKissock – Successfully Completed – November 2018
- **The Dirty Dozen**
McKissock – Successfully Completed – November 2018
- **Business Practices & Ethics**
Appraisal Institute – Successfully Completed – February 2018
- **Appraisal of Self-Storage Facilities**
McKissock Appraisal School – Successfully Completed – November 2016
- **2016 Central Florida Real Estate Forum**
Appraisal Institute – Region X – October 2016
- **CI 101 Financial Analysis for Commercial Investment Real Estate**
CCIM Institute - Successfully Completed - August 2016
- **Florida Appraisal Laws and Regulations**
McKissock Appraisal School-Successfully Completed-November 2014
- **Essential Elements of Disclosures and Disclaimers**
McKissock Appraisal School-Successfully Completed-November 2014
- **Appraisal of Assisted Living Facilities**
McKissock Appraisal School-Successfully Completed-November 2014
- **Central Florida Real Estate Forum**
Appraisal Institute-Region X – October 2014
- **General Demonstration Report Writing**
Appraisal Institute – June 2013
- **Even Odder – More Oddball Appraisals**
McKissock Appraisal School-Successfully Completed-November 2012
- **The Nuts & Bolts of Green Building for Appraisers**
McKissock Appraisal School-Successfully Completed-November 2012
- **Appraising FHA Today**
McKissock Appraisal School-Successfully Completed-November 2012

- **Current Issues in Appraising**
McKissock Appraisal School-Successfully Completed-November 2010
- **Ad Valorem Tax Consulting**
McKissock Appraisal School-Successfully Completed-November 2010
- **Supervisor/Trainee Roles & Relationships**
McKissock Appraisal School-Successfully Completed-November 2010
- **Appraising Apartments, The Basics**
McKissock Appraisal School-Successfully Completed-November 2010
- **General Demonstration Report Writing Seminar**
Appraisal Institute-Successfully Completed-April 1, 2008
- **Supervisor/Trainee Roles & Relationships**
Appraisal Institute-Successfully Completed – February 2008
- **The Valuation of Wetlands**
Appraisal Institute – September 2007
- **Comprehensive Appraisal Workshop**
Ted Whitmer Seminars – July 2007
- **Computer Enhanced Cash Flow Modeling**
Appraisal Institute-Successfully Completed - March 2007
- **Analyzing Operating Expenses**
Appraisal Institute-November 2006
- **Using Your HP12C Financial Calculator**
Appraisal Institute-October 2006
- **Florida Dirty Dozen**
McKissock Appraisal School-October 2006
- **Analyzing Distressed Real Estate**
Appraisal Institute-October 2006
- **Real Estate Finance: Value and Investment Performance**
Appraisal Institute – November 2004
- **Sales Comparison Approach: General Applications**
Bert Rodgers Schools – September 2004
- **Communicating The Appraisal**
Bert Rodgers Schools – September 2004
- **Federal National Mortgage Association**
Bert Rodgers Schools – September 2004
- **Real Estate, Mortgages, and the Law**
Bert Rodgers Schools – September 2004
- **Residential Subdivision Analysis (ACE01-24)**
Bert Rodgers Schools, Inc.—November 2002
- **Communicating the Appraisal (ACE01-22)**
Bert Rodgers Schools, Inc.—November 2002
- **Analyzing Commercial Lease Clauses**
Appraisal Institute, Successfully Completed—February 2002
- **FREC Course I: Principles, Practices & Law/Real Estate Salesperson Pre-licensing**
Climer School of Real Estate, February 2002
- **Real Estate Fraud: The Appraiser's Responsibilities and Liabilities**
Appraisal Institute, Successfully Completed—February 2002
- **Legal Issues in Valuation (MSRA 610)**
University of St. Thomas, January 2001
- **540: Report Writing**
Appraisal Institute, Successfully Completed—July 2000
- **550: Advanced Applications**
Appraisal Institute, Successfully Completed—March 2000
- **Appraising From Blueprints and Specifications Seminar**
Appraisal Institute, Successfully Completed—February 2000
- **Standards of Professional Practice, Part C**
Appraisal Institute, Successfully Completed—December 1999
- **Argus Lease By Lease Training**
DCF Consulting & Services, Ltd., November 1999

- **FHA & The Appraisal Process Seminar**
Appraisal Institute, Successfully Completed—September 1999
- **520: Highest and Best Use & Market Analysis**
Appraisal Institute, Successfully Completed—August 1999
- **Cost Approach, Feasibility & Highest and Best Use Seminar**
Ted Whitmer, MAI, CCIM, January 1999
- **530: Advanced Sales Comparison and Cost Approaches**
Appraisal Institute, Challenged—May 1998
- **510: Advanced Income Capitalization**
Appraisal Institute, Successfully Completed—May 1998
- **Data Confirmation and Verification Methods Seminar**
Appraisal Institute, Successfully Completed—June 1996
- **320: General Applications**
Appraisal Institute, Successfully Completed—May 1996
- **420: Standards of Professional Practice, Part B**
Appraisal Institute, Successfully Completed—June, 1994
- **310: Basic Income Capitalization**
Appraisal Institute, Successfully Completed—May, 1994
- **410: Standards of Professional Practice (USPAP), Part A**
Appraisal Institute, Successfully Completed—October, 1993
- **120: Appraisal Procedures**
Appraisal Institute, Successfully Completed—August, 1993
- **110: Appraisal Principles**
Appraisal Institute, Successfully Completed—March, 1993
- **Principles of Real Estate**
University of South Florida, 1992

Professional Affiliations

- Appraisal Institute; MAI Member
- FHA Approved Appraiser
- Licensed Real Estate Sales Associate— State of Florida
- Daytona Beach Area Association of REALTORS[®], Member
- Florida Association of REALTORS[®]
- National Association of REALTORS[®]

Experience

General Appraiser
Cooksey & Associates, Inc. f/k/a Massie, Cooksey & Associates, Inc.
Daytona Beach, Florida
(1993 – Present)

Types of properties appraised include: Single and multi-tenant industrial, retail, office, and general commercial properties, shopping centers, mobile home parks, multi-family properties, condominiums, vacant land, subdivisions, and single family residences.



Ron DeSantis, Governor

Halsey Beshears, Secretary



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

FLORIDA REAL ESTATE APPRAISAL BD

THE CERTIFIED GENERAL APPRAISER HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 475, FLORIDA STATUTES



COOKSEY, HOWARD J

1230 N US HIGHWAY 1 UNIT 28
ORMOND BEACH FL 32174

LICENSE NUMBER: RZ2265

EXPIRATION DATE: NOVEMBER 30, 2022

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

T. James Cooksey, MAI, CCIM, AI-GRS
State-Certified General Real Estate Appraiser RZ343
Licensed Real Estate Broker

Education

Bachelor of Arts Degree, Behavioral Science, University of South Florida, 1973 with minor studies in accounting & economics.

Partial List of Specialized Appraisal & Real Estate Education:

Course 101 - Introduction to Appraising Real Property, 1976
Course 102 - Applied Residential Property Valuation, 1984
Course 201 - Principles of Income Property Appraising, 1984
Course 202 - Applied Income Property Valuation, 1985
Appraisal Regulations of the Federal Banking Agencies Seminar, 1991
Case Studies, University of San Diego, Appraisal Institute, June 10-15, 1991
Litigation Valuation, University of Colorado, Appraisal Institute, June, 1992
Business Valuation Parts I & II, Appraisal Institute, 1996
Market Analysis of Commercial Real Estate, CIREA, 1997
Eminent Domain – September 27, 1998
Highest & Best Use Applications – Appraisal Institute 1998
Partial Interest Valuation, Divided – Appraisal Institute, September 8, 2000
Marina Valuation – International Marina Institute, January 2002
Separating Real & Personal Property from Intangible Business Assets, May 2002
Subdivision Analysis-November 2003
Eminent Domain Conference – CLE, Tampa October 2004
Computer Enhanced Cash Flow Modeling, Appraisal Institute, February 2006
Uniform Appraisal Standards for Federal Land Acquisitions, April 2007
Analyzing Distressed Real Estate, December 2007
Supervisor/Trainee Roles & Relationships, November 2010
Ad Valorem Tax Consultation, 2010
Small Hotel/Motel Valuation, Appraisal Institute, 2010
Feasibility, Market Value, Investment Timing: Option Value, Appraisal Institute 2010
Business Practices and Ethics, Appraisal Institute December 2012
Appraisal Curriculum Overview – General, Appraisal Institute, November 2012
Review Theory – General, Appraisal Institute July 2014
Real Estate Damages, Appraisal Institute, Randall Bell, MAI, PhD, April 2018
Advanced Land Valuation – Sound Solutions – Appraisal Institute, January 2018
Ignorance Isn't Bliss – Understanding an Investigation by a State Regulatory Board, Appraisal Institute, November 2018
USPAP and Florida Law Update, McKissock, November 2018
Transferred Value – Appraisal Institute, June 2020
Trial Components – Appraisal Institute, July 2020
Valuation of Donated Real Estate Including Conservation Easement June 2020

Employment History

Military	1968-1970 USAF, Weather Observer
Banking	1974 – 1976 Florida National Bank, St. Petersburg, Fl, Credit Analyst 1976 – 1981 Ellis Banking Corporation, Bradenton, Flagler County and Ormond Beach, Fl; Holding Company Staff Auditor, Bank Operations & Vice President, Commercial Lending
Appraisal	1981 – Present. Cooksey & Associates, f/k/a Massie Appraisal Company acquired after retirement of founder E.R. Massie, Jr. MAI, JD in 1987
Teaching	Adjunct professor Daytona Beach Community College, Real Estate Appraisal State Certification (AB1) 1989 - 1992

Appraisal Experience

Vacant land and acreage, subdivisions, farms, single family residences, mobile home parks, condominiums, motels, timeshare projects, banking facilities, warehouses, industrial facilities, apartment projects, retail stores, neighborhood and community shopping centers, office buildings, gas station/convenience stores, restaurants, condemnation/litigation and market/feasibility studies.

Partial List of Clients:

In addition to area law and accounting firms we serve the following institutions:

Bank of America	Florida Community Bank	City of Port Orange
Fifth Third	PNC	City of Daytona Beach
National City Bank	Main Street Bank	Florida Power & Light
RBC Bank	Surety Bank	FDIC
Wells Fargo	Gateway Bank	Harbor Community Bank
Floridian Bank	Regions Bank	Dept. of Natural Resources
Intracoastal Bank	Prosperity Bank	International Speedway Corp
Flagler County School Board	BB&T	City of Flagler Beach
Halifax Health Systems	Flagler County Commission	Daytona State College
City of Ormond Beach	Volusia County Public Works	Embry Riddle University
Space Coast Credit Union	Florida Hospital – Adventist Health	Bethune- Cookman University

Qualified Expert Witness

District Courts in Volusia, Flagler and Alachua Counties. Federal Bankruptcy Courts in Jacksonville and Tampa.

Professional Memberships

- MAI - Member of the Appraisal Institute
- CCIM, Certified Commercial Investment Member - Commercial Investment Real Estate Institute
- AI-GRS, Appraisal Institute. General Review Appraiser
- State of Florida Certified General Real Estate Appraiser #0000343
- Licensed Real Estate Broker, Member of Daytona Beach, Board of Realtors
- Past President - Appraisal Institute, Volusia/Flagler Chapter, 1991;
- Past President, Ormond Beach Rotary Club,

Continuing Education Requirement

The Appraisal Institute conducts a program of continuing education for its designated members. Members who meet the minimum standards of this program are awarded periodic educational certification. I have completed the requirements under the continuing education program of the Appraisal Institute.



Ron DeSantis, Governor

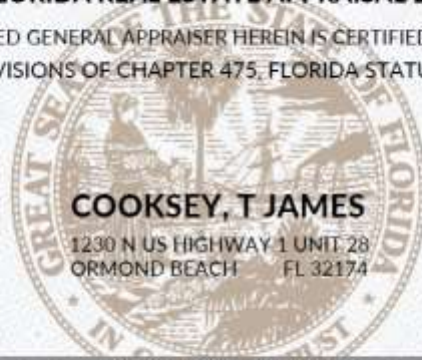
Hakey Beshears, Secretary



**STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION**

FLORIDA REAL ESTATE APPRAISAL BD

THE CERTIFIED GENERAL APPRAISER HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 475, FLORIDA STATUTES



COOKSEY, T JAMES

1230 N US HIGHWAY 1 UNIT 28
ORMOND BEACH FL 32174

LICENSE NUMBER: RZ343

EXPIRATION DATE: NOVEMBER 30, 2022

Always verify licenses online at MyFloridaLicense.com



Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.

PHASE I ENVIRONMENTAL SITE ASSESSMENT

Conducted on

Commerce Parkway
2400 Commerce Parkway
Bunnell, Flagler County, Florida 32110
UES Project No. 0440.2100065.0000
UES Report No. 139062

Report Date: September 3, 2021



Prepared for:
City of Bunnell
PO Box 756
Bunnell, Florida 32110
Attention: Mr. Dustin Vost
Infrastructure Director

Prepared by:
Universal Engineering Sciences
911 Beville Road, Suite 3
South Daytona, Florida 32119
(386) 756-1105
www.UniversalEngineering.com

Atlanta, GA
Chantilly, VA
Charlotte, NC
Daytona, FL
Fort Myers, FL
Fort Pierce, FL
Gainesville, FL

Jacksonville, FL
Miami, FL
Ocala, FL
Orlando, FL
Palm Coast, FL
Panama City, FL
Pensacola, FL

Rockledge, FL
Sarasota, FL
St. Petersburg, FL
Tampa, FL
Tifton, GA
West Palm Beach, FL



ENVIRONMENTAL PROFESSIONAL CERTIFICATION

Phase I Environmental Site Assessment

Commerce Parkway
2400 Commerce Parkway
Bunnell, Flagler County, Florida 32110

UES Project No. 0440.2100065.0000
UES Report No. 139062
Report Date: September 3, 2021

This environmental site assessment (ESA) was conducted in accordance with the guidelines of the ASTM E1527-13 Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, and therefore, the federal Environmental Protection Agency's All Appropriate Inquiry Rule. The accuracy, correctness and completeness of the ESA are provided with the knowledge of ASTM E1527-13.

This assessment was completed by Carly Boston, Environmental Staff Scientist, and reviewed by Joseph R. Rommel, Senior Project Manager, both employees of Universal Engineering Sciences. We declare that, to the best of our professional knowledge and belief, we meet the definition of Environmental Professional as defined in §312.10 of 40 CFR 312. We have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312. Qualifications of the personnel participating in this assessment are provided in **Appendix L**.

Written by

A handwritten signature in black ink that reads 'Carly Boston'.

Carly Boston
Environmental Staff Scientist
cboston@universalengineering.com

Reviewed by

A handwritten signature in black ink that reads 'Joseph R. Rommel'.

Joseph R. Rommel
Senior Project Manager
jrommel@universalengineering.com

TABLE OF CONTENTS

EXECUTIVE SUMMARY	1
1.0 INTRODUCTION	2
1.1 Purpose	2
1.2 Detailed Scope of Services	3
1.3 Limitations and Exceptions	3
1.4 Data Gaps	4
1.5 Special Terms and Conditions	5
1.6 User Reliance	5
2.0 SITE DESCRIPTION	5
2.1 Location and Legal Description	5
2.2 Property and Vicinity Characteristics	5
2.3 Current Use of the Site	5
2.4 Structures, Roads, and/or Other Improvements within the Site	6
2.5 Current Uses of Adjoining Parcels	6
3.0 USER PROVIDED INFORMATION	6
3.1 Title Records	6
3.2 Reason for Performing Phase I ESA	7
4.0 RECORDS REVIEW	7
4.1 Standard Environmental Record Sources	7
4.1.1 Federal, State, and County Records Review	8
4.2 Additional Environmental Records	10
4.3 Physical Setting Sources	10
4.4 Vapor Migration	11
4.5 Historical Information on Subject Property and Surrounding Area	12
4.5.1 Aerial Photograph Review	13
4.5.2 Property Ownership Records	15
4.5.3 Fire Insurance Map Review	15
4.5.4 City Directory Review	15
4.5.5 Land Use Records	17
According to the Volusia County Property Appraiser records, the subject property is zoned "001000 – Vacant Commercial."	17
4.5.6 Other Historical Sources	17

TABLE OF CONTENTS

5.0	INFORMATION FROM SITE RECONNAISSANCE	18
5.1	Methodology.....	18
5.2	General Site Setting	18
5.3	Site Observations	18
5.3.1	Limiting Conditions	19
5.3.2	Floor Drains	19
5.3.3	Buildings.....	19
5.3.4	Heating and Cooling Sources	19
5.3.5	Drinking Water Source.....	19
5.3.6	Wastewater Discharge Source	19
5.3.7	Current Tenant Operations.....	19
5.3.8	Past Tenant Operations	20
5.3.9	Polychlorinated Biphenyls.....	20
5.3.10	Hazardous Substances and Petroleum Products	20
5.3.11	Storage Tanks.....	20
5.3.12	Odors.....	20
5.3.13	Pools of Liquids	20
5.3.14	Drums and Containers.....	20
5.3.15	Unidentified Substance Containers.....	20
5.3.16	Stains or Corrosion on Floors, Walls, or Ceilings.....	20
5.3.17	Sumps.....	20
5.3.18	Pits, Ponds, or Lagoons	20
5.3.19	Stained Soil or Pavement	20
5.3.20	Stressed Vegetation	21
5.3.21	Wells.....	21
5.3.22	Adjacent and Nearby Properties.....	21
5.3.23	Solid Waste, Construction Debris and/or Imported Soil Stockpiles.....	21
5.3.24	Additional Notable Site Features	21
6.0	INTERVIEWS	21
7.0	FINDINGS AND OPINIONS	22
8.0	CONCLUSIONS.....	22

TABLE OF CONTENTS

9.0	DEVIATIONS.....	23
10.0	ADDITIONAL SERVICES	23
11.0	REFERENCES.....	23
11.1	Standards.....	23
11.2	Property Records.....	23
11.3	Regulatory & Historical Resource/Review.....	23
11.4	Physical Setting Sources.....	24

APPENDICES

APPENDIX A

SITE LOCATION MAP	A-1
SITE PLAN/2019 AERIAL PHOTOGRAPH	A-2

APPENDIX B

UES GENERAL CONDITIONS	B
------------------------------	---

APPENDIX C

FLAGLER COUNTY PROPERTY APPRAISER RECORDS.....	C
--	---

APPENDIX D

REGULATORY DATABASE REPORT.....	D
---------------------------------	---

APPENDIX E

ENVIRONMENTAL REPORTS.....	E
----------------------------	---

APPENDIX F

AERIAL PHOTOGRAPHS.....	F
-------------------------	---

APPENDIX G

FIRE INSURANCE MAPS.....	G
--------------------------	---

APPENDIX H

CITY DIRECTORIES	H
------------------------	---

APPENDIX I

INTERVIEW DOCUMENTATION	I
-------------------------------	---

APPENDIX J

SITE PHOTOGRAPHS.....	J
-----------------------	---

APPENDIX K

REFERENCES.....	K
-----------------	---

APPENDIX L

QUALIFICATIONS.....	L
---------------------	---

EXECUTIVE SUMMARY

Universal Engineering Sciences (UES) has completed a Phase I Environmental Site Assessment (ESA) in compliance with the American Society for Testing and Materials (ASTM) Standard E1527-13 for the parcel of land located at 2400 Commerce Parkway in Bunnell, Flagler County, Florida 32110 (Parcel ID No. 11-12-30-2260-00000-0040) (the "subject property"). The purpose of this assessment was to identify recognized environmental conditions in association with the subject property as defined in ASTM E1527-13. UES understands this Phase I ESA is being performed in association with the potential acquisition of the subject property. Please refer to the Site Location Map presented in **Appendix A-1** and the Site Plan/2019 Aerial Photograph presented in **Appendix A-2** for additional information pertaining to the location of the subject property.

TABLE 1
Subject Property Overview

Parcel ID(s)	Acreage	Number of Building(s) and Square Footage	Current Property Use
11-12-30-2260-00000-0040	2.88	N/A	Vacant, Undeveloped

NOTE: Please carefully review this report in its entirety for a full description of our evaluation procedures and findings.

Based on UES' field observations, historical research, public records review and interviews conducted in accordance with ASTM format E1527-13, the findings of this Phase I ESA are as follows:

- 1) Aerial photographs, city directories, interviews, and property records were reviewed by UES to determine the historical use of the subject property. The subject property previously consisted of undeveloped land from as early as 1943 (earliest aerial photograph). According to the historical aerial photographs reviewed, the subject property was improved with a retention pond sometime between 2010 and 2013.
- 2) No recognized environmental conditions, historical recognized environmental conditions, controlled recognized environmental conditions or de minimis conditions were identified in connection with the subject or surrounding properties.
- 3) The regulatory database report identified one (1) Brownfields site, one (1) LUST (Leaking Underground Storage Tank) site, one (1) UST (Underground Storage Tank) site, one (1) RCRA-VSQG (Very Small Quantity Generator) site, and one (1) Financial Assurance site in the vicinity of the subject property. Refer to **Table 4** in **Section 4.4.1** for specific information pertaining to these nearby properties.

The User of this report is required to ensure that continuing obligations are followed after purchase or acquisition of the subject property. Any land use restrictions in effect at the subject property must be maintained. The User should ensure that all parties at the subject property are following best management practices and taking "reasonable steps" with respect to preventing and limiting exposure to any hazardous substance releases on the subject property. In the event of a future release on the subject property, the property owner or responsible party should report it to the appropriate regulatory agency. Full cooperation must be provided to any parties authorized to conduct assessments or responses to the subject property.

Please note that an environmental liens or activity and use limitations search was not performed for the subject property. In accordance with ASTM E1527-13, it is the responsibility of the User of this report to confirm that there are no environmental liens or activity and use limitations filed for the subject property. In the event that any are identified, please contact UES immediately for further evaluation.

1.0 INTRODUCTION

1.1 Purpose

Universal Engineering Sciences (UES) has completed a Phase I Environmental Site Assessment (ESA) for the property located at 2400 Commerce Parkway in Bunnell, Flagler County, Florida 32110 (Parcel ID No. 11-12-30-2260-00000-0040) (the "subject property"). The primary purpose of this assessment is to conduct an evaluation of the subject property and surrounding properties to identify recognized environmental conditions (RECs), controlled recognized environmental conditions (CRECs), historical recognized environmental conditions (HRECs), *de minimis* conditions, vapor encroachment conditions (VECs), and business environmental risks (BERs) associated with the past or present uses of the subject property and surrounding properties. ASTM E1527-13 defines these conditions as follows:

- REC: the presence or likely presence of any hazardous substances or petroleum products in, on or at a property: (1) due to release to the environment; (2) under conditions indicative of a release to the environment; (3) under conditions that pose a material threat of a future release to the environment.
- CREC: a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority. The hazardous substances or petroleum products are allowed to remain in place and are subject to the implementation of required controls.
- HREC: a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls.

- *De minimis* Condition: a condition that generally does not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate government agencies.
- VEC: the presence or likely presence of "chemical of concern" vapors in the subsurface of the Target Property caused by the release of vapors from contaminated soil or groundwater or both either on or near the Target Property as identified by the Tier 1 or Tier 2 procedures.
- BER: a risk which can have a material environmental or environmentally driven impact on the business associated with the current or planned use of a parcel of commercial real estate, not necessarily limited to those environmental issues required to be investigated in this practice.

This environmental assessment was conducted in accordance with the guidelines of the ASTM E1527-13 Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process. This assessment was also intended to identify potential off-site contaminant sources within the distances set forth in ASTM E1527-13 guidelines.

Methodology followed good commercial and customary practice with a goal to identify RECs that would be subject to an enforcement action if brought to the attention of appropriate government agencies.

1.2 Detailed Scope of Services

The contracted scope of services consists of the preparation of a Phase I ESA of the subject property in accordance with the guidelines set forth in ASTM E1527-13. The accuracy, correctness and completeness of this Phase I ESA is provided with knowledge of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) as set forth in 42 United States Code Section 9601 et seq., as amended.

The scope of services does not include an evaluation of asbestos containing building materials, lead based paint, lead in drinking water, regulatory compliance, cultural and historical resources, industrial hygiene, health and safety, ecological resources, indoor air quality, radon, vapor intrusion, site geotechnics (soils, foundations, site retention, etc.), wetlands, endangered species, or construction materials testing, unless specified in the approved contract between UES and the client. UES can provide these additional services if necessary.

1.3 Limitations and Exceptions

The findings of this report represent our professional judgment; UES offers or extends no warranty, express or implied. These findings are relevant to the dates of our property inspection and the information cited herein. This report should not be relied upon to represent property conditions on other dates or at locations other than those specifically cited within the report. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for recognized environmental conditions in connection with the subject property.

Due to changing environmental regulatory conditions and potential on-site or adjacent activities occurring after this Phase I ESA, the client may not presume the continuing applicability to the subject property of the conclusions in this assessment for more than 180 days after the report's issuance date, per ASTM E1527-13.

1.4 Data Gaps

ASTM E1527-13 defines a "Data Gap" as a lack of, or inability to, obtain information despite good faith efforts that may affect the findings of the Phase I ESA. The Environmental Professional is to identify "*significant*" Data Gaps found in the Phase I ESA process, while "*insignificant*" Data Gaps do not have to be included in this evaluation. For both the ASTM Standard and the AAI Final Rule, the Environmental Professional must identify what was done to address the Data Gap. The Environmental Professional should provide an opinion regarding appropriate further investigations, if any, necessary to address Data Gaps. A Phase I ESA which includes Data Gaps is still considered as compliant with the Standard and the AAI Final Rule, as long as the Data Gaps are addressed as outlined above.

The following Data Gaps were encountered during completion of this Phase I ESA:

- Interviews were not conducted with property ownership, property management or local government officials. It is UES's opinion that this data failure does not appear to be a significant one that would warrant data failure and further investigation.
- The historical aerial photograph review was incomplete due to the lack of available photographs in five year intervals. Based on our review of historic data during this Phase I ESA, this Data Gap does not appear to be significant to the findings of this assessment and do not constitute a data failure due to other historical resources that were reviewed during these time periods.
- The chain-of-title documentation or recorded land title records were not provided to UES for review during this Phase I ESA. However, the User should obtain these records to be compliant with the ASTM Standard Practice E 1527-13 and be afforded CERCLA protection for this assessment. If the USER does not obtain these records, this Data Gap could be considered significant to the findings of this assessment and could constitute a data failure.
- An Owner and User Questionnaire were supplied to City of Bunnell. UES was not provided with a completed User or Owner Questionnaire for the subject property, which is considered to be a significant Data Gap. UES recommends the completion of the questionnaires provided in **Appendix I** of this report prior to any real estate transaction. If any environmental concerns are identified, please contact UES for further evaluation.

1.5 Special Terms and Conditions

This report, and the information contained herein, shall be the sole property of UES until payment of any unpaid balance is made in full. City of Bunnell, hereinafter referred to as the "User" of this Phase I ESA report, agrees that until payment is made in full, the User shall not have a proprietary interest in this report or the information contained herein. UES shall have the absolute right to request the return of any and all copies of this report submitted to other parties, public or private, on behalf of the User in the event of nonpayment of outstanding fees by the UES General Conditions that govern this assessment (**Appendix B**).

1.6 User Reliance

This report is intended for the sole use of City of Bunnell. Its contents may not be relied upon by other parties without the explicit written consent of UES. This is not a statement of suitability of the subject property for any use or purpose. In accepting this report, all parties herein mentioned agree to the General Conditions of the Agreement between UES and City of Bunnell, dated August 24, 2021 (UES Proposal No. 2021D-904). A copy of the UES General Conditions is presented in **Appendix B**.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

The subject property consists of one (1) tax parcel (ID No. 11-12-30-2260-00000-0040), which comprises approximately 2.88 acres of undeveloped land located at 2400 Commerce Parkway in Bunnell, Flagler County, Florida 32110. The subject property is located within Section 11, Township 12 South, and Range 30 East, as referenced in the USGS topographic quadrangle map titled "Flagler Beach West, Florida" provided in **Appendix A-1**. Please refer to the Site Plan/2019 Aerial Photograph in **Appendix A-2** and the property appraiser records in **Appendix C** for additional details, including the subject property legal description.

2.2 Property and Vicinity Characteristics

At the time of our evaluation, the subject property was an undeveloped vegetated parcel of land with wetlands and a retention pond. Refer to the Site Location Map in **Appendix A-1** and to the Site Plan/ 2019 Aerial Photograph in **Appendix A-2** for additional details pertaining to the subject and surrounding properties.

2.3 Current Use of the Site

At the time of the site reconnaissance, the subject property was an undeveloped vegetated parcel of land containing wetlands and a retention pond.

2.4 Structures, Roads, and/or Other Improvements within the Site

According to the Flagler County Property Appraiser records, the subject property is an undeveloped 2.88 acre parcel of land. The property is improved with a retention pond.

2.5 Current Uses of Adjoining Parcels

Currently, the parcels adjoining the subject property are used as follows:

TABLE 2
Description of Adjoining Parcels

Direction From Subject Property	Description of Current Use
North	Undeveloped vegetated parcel of land, and Wendy's and Atlantic Pipe Services beyond
East	Undeveloped vegetated parcel of land and wetlands
South	Undeveloped vegetated parcel of land, wetlands and a retention pond
West	Commerce Parkway, and First Baptist Church of Bunnell and Sunshine Business Complex beyond

3.0 USER PROVIDED INFORMATION

The ASTM Standard defines a User as “the party seeking to use Practice E 1527 to complete an environmental site assessment. A User may include, without limitation, a potential purchaser of property, a potential tenant of property, an owner of property, a lender, or a property manager.” The User has specific obligations for completing a successful application of this practice as outlined in Section 6 of the ASTM Standard Practice E 1527-13.

In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfield's Revitalization Act of 2001 (the “Brownfield's Amendments”) (if desired), the User must provide certain information (if available) identified in the User Questionnaire to the environmental professional. Failure to provide this information could result in a determination that “all appropriate inquiry” is not complete. A User Questionnaire was supplied to City of Bunnell. UES was not provided with a completed User Questionnaire for the subject property, which is considered to be a significant Data Gap. UES recommends the completion of the User Questionnaire provided in **Appendix I** of this report prior to any real estate transaction. If any environmental concerns are identified, please contact UES for further evaluation.

3.1 Title Records

The User did not contract UES to acquire a chain-of-title for the subject property, nor was one provided to UES during this assessment. Chain-of-title records typically contain information regarding historical site ownership. Therefore, UES did not review chain-of-title information during this assessment.

3.2 Reason for Performing Phase I ESA

UES was contracted to perform this Phase I ESA in order for the prospective owner to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser defense to CERCLA liability.

4.0 RECORDS REVIEW

The purpose of the records review is to obtain and review records that will help identify recognized environmental conditions in connection with the subject property. Accuracy and completeness of record information varies among information sources, including governmental sources. Record information is often inaccurate or incomplete. Standard sources that are reasonably ascertainable were reviewed by UES for this Phase I ESA.

4.1 Standard Environmental Record Sources

As a part of this assessment, UES reviewed information sources to obtain existing information pertaining to a release of hazardous substances or petroleum products on or near the subject property. UES obtained an ASTM regulatory database report from Environmental Risk Information Services (ERIS), which is provided in **Appendix D**. UES also reviewed other available standard environmental record sources from the Florida Department of Environmental Protection (FDEP) as needed.

Table 3 lists the approximate minimum search distances used during this assessment in review of the regulatory database, as set forth in ASTM E1527-13.

TABLE 3
 Minimum Search Distances - ASTM E1527-13

Source	Search Distance
Federal NPL Site List (National Priorities List)	1.0 mile
Federal Delisted NPL Site List	0.5 mile
Federal CERCLIS List (Comprehensive Environmental Response Compensation and Liability Act of 1980)	0.5 mile
Federal CERCLIS NFRAP Site List	0.5 mile
Federal RCRA CORRACTS Facilities List (Resource Conservation and Recovery Act)	1.0 mile
Federal RCRA non-CORRACTS TSD Facilities List	0.5 mile
Federal RCRA Generators List	subject property & adjoining parcels
Federal Institutional Control/Engineering Control Registries	subject property only
Federal ERNS List (Emergency Response Notification System)	subject property only
States and Tribal Lists of Hazardous Waste Sites identified for investigation or remediation:	
State- and Tribal-equivalent NPL	1.0 mile
State- and Tribal-equivalent CERCLIS	0.5 mile
State and Tribal Landfill and/or Solid Waste Disposal Site Lists	0.5 mile
State and Tribal Leaking Storage Tanks Lists	0.5 mile
State and Tribal Registered Storage Tank Lists	subject property & adjoining parcels

Source	Search Distance
State and Tribal Institutional Control/Engineering Control Registries	subject property only
State and Tribal Voluntary Cleanup Sites	0.5 mile
State and Tribal Brownfield Sites	0.5 mile

4.1.1 Federal, State, and County Records Review

UES reviewed available regulatory records pertaining to the subject property, adjoining parcels and surrounding properties, as warranted. According to information provided by Environmental Information Risk Services (ERIS) and a review of public records maintained by FDEP, the subject property is not listed on any Federal, State or local database. UES' review of the referenced databases also considered the potential or likelihood of contamination from adjoining and nearby sites. To evaluate which of the adjoining and nearby sites identified in the regulatory database report present potential environmental risks to the subject property, UES considered the following criteria:

- The type of database on which the site is identified.
- The direction and distance of the identified site from the subject property.
- The known or inferred groundwater flow direction in the subject property area.
- The status of any respective regulatory agency-required investigation(s) of the identified site.
- Surface and subsurface obstructions and diversions (e.g., buildings, roads, sewer systems, utility service lines, rivers, lakes, and ditches) that may be located between the identified site and the subject property.

Only those sites that are judged to present a potential environmental risk to the subject property and/or warrant additional clarification are further evaluated. Using the referenced criteria, and based upon a review of readily available information contained within the regulatory database report, UES did not identify adjoining (i.e., bordering) or nearby sites listed in the regulatory database report that were judged to present a potential environmental risk to the subject property with the exception of the following facilities discussed in the following table. Please refer to the regulatory database report in **Appendix D** for additional details.

TABLE 4
 Facilities Identified Within Minimum Search Distances

Facility	Area ID	Distance/Direction	Database
FLAGLER ECONOMIC ENHANCEMENT DISTRICT PALM COAST, FLORIDA	BF181001000	1 Foot	BROWNFIELDS
This area of Palm Coast is listed in the Brownfields database. The goals of designating an area as a Brownfield are to reduce health and environmental hazards on existing commercial and industrial sites that are abandoned or underused due to these hazards and create financial and regulatory incentives to encourage voluntary cleanup and redevelopment of sites. Typically, Brownfield designations incorporate a defined area within a community and do not necessarily indicate each of the defined properties in the Brownfield designation are impaired by environmental conditions. No specific areas of environmental concern were identified in the vicinity of the subject property that would impact the subject property.			

Facility	EPA ID	Distance/Direction	Database
LABA DRY CLEANERS 2710 EAST MOODY BOULEVARD BUNNELL, FLORIDA	FLR000168849	868 Feet Northwest	RCRA-VSQG
<p>This facility is listed in the RCRA-VSQG (Very Small Quantity Generator) database. Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month. According to EDR, this facility had violations cited in 2011 and 2014. According to the most recent FDEP correspondence dated 10/02/2014, this facility was operating as a “Drop-off Facility” with no use of drycleaning solvents, and was in compliance. This facility is now closed. Based on regulatory status, this facility does not present a REC to the subject property.</p>			

Facility	Facility ID	Distance/Direction	Database																																																																	
FLAGLER COUNTY ROAD & BRIDGE DEPT 1769 E MOODY BOULEVARD BUNNELL, FLORIDA	8628133	2,287 Feet West Northwest	LUST, UST, FINANCIAL ASSURANCE																																																																	
<p>This facility is listed in the LUST (Leaking Underground Storage Tank), UST (Underground Storage Tank), and Financial Assurance databases. According to EDR, this facility had a known discharge on 09/12/1991, and as of 01/03/2011 the Discharge Cleanup Status is “SRCR Complete.” According to an FDEP correspondence dated 09/23/1991, this facility had a discharge of an unknown quantity of unleaded gasoline, discovered upon emptying the tank. According to an FDEP correspondence dated 01/03/2011, this facility was granted a Site Rehabilitation Completion Order (SRCO), relieving them of any further obligation to conduct site rehabilitation for petroleum product contamination associated with the 1991 discharge. Based on distance from the subject property and regulatory status, this facility does not present a REC to the subject property.</p>																																																																				
<p>Summary of USTs</p> <table border="1"> <thead> <tr> <th>#</th> <th>Size</th> <th>Contents</th> <th>Installed</th> <th>Status</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>4,000</td> <td>Leaded Gasoline</td> <td>09/01/1981</td> <td>R</td> </tr> <tr> <td>2</td> <td>4,000</td> <td>Leaded Gasoline</td> <td>11/01/1977</td> <td>R</td> </tr> <tr> <td>3</td> <td>4,000</td> <td>Unleaded Gasoline</td> <td>11/01/1977</td> <td>R</td> </tr> <tr> <td>4</td> <td>4,000</td> <td>Unleaded Gasoline</td> <td>11/01/1977</td> <td>R</td> </tr> <tr> <td>5</td> <td>4,000</td> <td>Unleaded Gasoline</td> <td>08/01/1979</td> <td>R</td> </tr> <tr> <td>6</td> <td>4,000</td> <td>Unleaded Gasoline</td> <td>08/01/1979</td> <td>R</td> </tr> <tr> <td>7</td> <td>4,000</td> <td>Diesel Fuel</td> <td>11/01/1977</td> <td>R</td> </tr> <tr> <td>8</td> <td>4,000</td> <td>Diesel Fuel</td> <td>08/01/1979</td> <td>R</td> </tr> <tr> <td>9</td> <td>10,000</td> <td>Unleaded Gasoline</td> <td>03/01/1991</td> <td>R</td> </tr> <tr> <td>10</td> <td>10,000</td> <td>Unleaded Gasoline</td> <td>03/01/1991</td> <td>R</td> </tr> <tr> <td>11</td> <td>10,000</td> <td>Diesel Fuel</td> <td>03/01/1991</td> <td>R</td> </tr> <tr> <td>12</td> <td>10,000</td> <td>Diesel Fuel</td> <td>03/01/1991</td> <td>R</td> </tr> </tbody> </table> <p>NR – Not Reported R – Removed IS – In Service OS – Out of Service A – Abandoned</p>				#	Size	Contents	Installed	Status	1	4,000	Leaded Gasoline	09/01/1981	R	2	4,000	Leaded Gasoline	11/01/1977	R	3	4,000	Unleaded Gasoline	11/01/1977	R	4	4,000	Unleaded Gasoline	11/01/1977	R	5	4,000	Unleaded Gasoline	08/01/1979	R	6	4,000	Unleaded Gasoline	08/01/1979	R	7	4,000	Diesel Fuel	11/01/1977	R	8	4,000	Diesel Fuel	08/01/1979	R	9	10,000	Unleaded Gasoline	03/01/1991	R	10	10,000	Unleaded Gasoline	03/01/1991	R	11	10,000	Diesel Fuel	03/01/1991	R	12	10,000	Diesel Fuel	03/01/1991	R
#	Size	Contents	Installed	Status																																																																
1	4,000	Leaded Gasoline	09/01/1981	R																																																																
2	4,000	Leaded Gasoline	11/01/1977	R																																																																
3	4,000	Unleaded Gasoline	11/01/1977	R																																																																
4	4,000	Unleaded Gasoline	11/01/1977	R																																																																
5	4,000	Unleaded Gasoline	08/01/1979	R																																																																
6	4,000	Unleaded Gasoline	08/01/1979	R																																																																
7	4,000	Diesel Fuel	11/01/1977	R																																																																
8	4,000	Diesel Fuel	08/01/1979	R																																																																
9	10,000	Unleaded Gasoline	03/01/1991	R																																																																
10	10,000	Unleaded Gasoline	03/01/1991	R																																																																
11	10,000	Diesel Fuel	03/01/1991	R																																																																
12	10,000	Diesel Fuel	03/01/1991	R																																																																

In addition to reviewing the regulatory database report, UES performed reconnaissance of the subject property vicinity to identify any sites not mapped by ERIS due to inadequate or inaccurate address information and to look for unregistered facilities. No petroleum storage facilities or facilities suspected to use or generate hazardous materials were observed in the near vicinity of the subject property during field reconnaissance performed by UES.

4.2 Additional Environmental Records

UES searched the FDEP Map Direct Application for additional Waste Management Division facilities located at the subject property and adjoining properties. No additional facilities were identified.

UES reviewed the United States Fish and Wildlife Service National Wetlands Inventory map providing coverage of the subject property. According to the map, wetlands are present on the subject property.

Please refer to **Appendix E** for copies of environmental reports and documents that have been summarized in Sections 4.1.1 and 4.2 of this report.

4.3 Physical Setting Sources

USGS topographic quadrangle maps, soil survey data and regulatory files available regarding properties of environmental concern in the property vicinity were reviewed as sources for obtaining information regarding the physical setting of the subject property and surrounding vicinity and are summarized in **Table 5**.

TABLE 5
 Physical Setting

PHYSICAL SETTING INFORMATION FOR THE SUBJECT PROPERTY & SURROUNDING AREA		SOURCE
Topography: Refer to Figure 1 for an excerpt of the USGS Topographic Map		
<i>Site Elevation</i>	19 feet above sea level	United States Geologic Survey Division (USGS) 7.5-Minute Topographic Map of the Flagler Beach West, Florida Quadrangle, Dated 2012
<i>Topographic Gradient</i>	General Southwest	
<i>Closest Surface Water</i>	Retention pond and wetlands on the subject property	
General Soil Characteristics: Refer to Figure 2 for a copy of the soil survey map		
<i>Soil Type</i>	Candler sands	United States Department of Agriculture Soil Conservation Service, Soil Survey of Volusia County Area, Florida, Published 1980
<i>Description</i>	The general geology of Flagler County is characterized by 30 to 50 feet of undifferentiated fine- to medium- grained sands and clayey sands of Holocene age overlying the Miocene age Hawthorn Group. The Hawthorn is approximately 100 feet thick and is comprised of interbedded layers of clay, clayey sand, sandy clay, and phosphatic carbonates. The underlying Tertiary age carbonates gently dip east under an increasing thickness of younger sediments. According to the Soil Conservation Service, Flagler County Soil Survey of 1997, surficial soils at the site are classified as (11)-Myakka fine sand, (13)-Immokalee fine sand, (15)-Pomello fine sand, 0 to 5 percent slopes, (20)-Orsino fine sand, 0 to 5 percent slopes, (22)-Astatula fine sand, 0 to 8 percent slopes, and (27)-Cassia fine sand. This is nearly level to sloping, excessively drained and moderately well drained soils that are sandy throughout.	
Area Specific Geology/Hydrogeology Characteristics:		
<i>Geology</i>	The general geology of Flagler County is characterized by 20 to 50 feet of undifferentiated fine to medium grained sand, clayey sand and shell of Pleistocene to Holocene age overlying the Pliocene	

PHYSICAL SETTING INFORMATION FOR THE SUBJECT PROPERTY & SURROUNDING AREA		SOURCE
	to Miocene age Hawthorn Group. The Hawthorn is approximately 20 to 70 feet thick in the project area and is comprised of interbedded layers of clay, clayey sand, shell and calcareous silty clay. The Ocala Limestone (late Eocene Age) and the Avon Park Limestone (late middle Eocene age) formations underlie the Hawthorn Group and extend to depths 1200 or more feet. According to the 1980 Soil Conservation Service, Volusia County Soil Survey, surficial soils at the subject property are classified primarily as Candler sand. Candler sands are well to excessively drained soils that have a water table greater than six (6) feet. These soils have high infiltration rates and do not meet the requirements of a hydraulic soil.	Available from reasonably ascertainable resources reviewed as part of this Phase I ESA
<i>Hydrogeology</i>	The general hydrogeology of Flagler County includes an unconfined surficial aquifer separated from the underlying Floridian aquifer by the Hawthorn Group. The surficial aquifer is recharged by rainfall and can yield small to moderate amounts of water to small diameter wells. The Floridian aquifer may reach 2,000 feet in thickness and is the primary source of the public water supply. The direction of shallow groundwater flow generally mimics the topography and is toward surface water bodies. The inferred direction of shallow groundwater flow, based on the USGS Topographic Map is most likely toward the east southeast. Surface water was observed on the subject property the day of site reconnaissance.	

4.4 Vapor Migration

Vapor migration refers to the movement of *hazardous substances or petroleum products* vapor in the subsurface. A vapor encroachment condition (VEC) is defined as the presence of likely presence of chemicals of concern (COC) vapors in the subsurface of the subject property caused by the release of vapors from contaminated soil or groundwater or both either on or near the subject property.

UES conducted a Tier 1 Vapor Encroachment Screening (VES) for the subject property in accordance with ASTM E 2600-10. The Tier 1 screening process utilizes the information collected as part of this Phase I ESA. The Area of Concern for the purpose of this VES is 1/3 mile (1,760 feet) for COC and 1/10 mile (528 feet) for petroleum hydrocarbon COC. The approximate minimum search distances for Federal, Tribal and State-listed facilities surrounding the subject property are presented in **Table 6**.

TABLE 6
 Approximate Minimum Search Distance Surrounding the Subject Property (ASTM E2600-15)

Source	COC	Petroleum Hydrocarbon COC
Federal NPL Site List	1/3 mile	1/10 mile
Federal CERCLIS List	1/3 mile	1/10 mile
Federal RCRA CORRACTS Facilities List	1/3 mile	1/10 mile
Federal RCRA Non-CORRACTS TSD Facilities List	1/3 mile	1/10 mile
Federal RCRA Generators List	Subject property only	Subject property only

Source	COC	Petroleum Hydrocarbon COC
Federal Institutional Control/Engineering Control Registries	Subject property only	Subject property only
Federal ERNS List	Subject property only	Subject property only
State and Tribal Equivalent NPL	1/3 mile	1/10 mile
State and Tribal Equivalent CERCLIS	1/3 mile	1/10 mile
State and Tribal Landfill and/or Solid Waste Disposal Site Lists	1/3 mile	1/10 mile
State and Tribal Leaking UST/AST Lists	1/3 mile	1/10 mile
State and Tribal UST/AST Lists	Subject property only	Subject property only
State and Tribal Institutional Control/Engineering Control Registries	Subject property only	Subject property only
State and Tribal Voluntary Cleanup Sites	1/3 mile	1/10 mile
State and Tribal Brownfield Sites	1/3 mile	1/10 mile

Based on our regulatory records review detailed in Section 5.0, no facilities with documented contamination are located within the Area of Concern; and therefore, no potential vapor encroachment conditions were identified.

4.5 Historical Information on Subject Property and Surrounding Area

UES reviewed aerial photographs, city directories and property records to determine the historical use of the subject property.

According to the historic aerial photographs reviewed, the subject property was an undeveloped vegetated parcel of land dating back to 1943. According to the historic aerial photographs reviewed, a retention pond was developed toward the center of the subject property sometime between 2010 and 2013.

According to the historic aerial photographs reviewed, the adjoining property to the north of the subject property was an undeveloped vegetated parcel of land dating back to 1943. According to the historic aerial photographs reviewed, a commercial use property was developed to the north of the subject property sometime between 1999 and 2007, and an additional commercial use property was developed sometime between 2010 and 2013. According to the Flagler County Property Appraiser website, the vacant warehouse to the north of the subject property was constructed in 1999, and the Wendy's Restaurant was constructed in 2011.

According to the historic aerial photographs reviewed, the adjoining property to the south of the subject property was an undeveloped vegetated parcel of land dating back to 1943. According to the historic aerial photographs reviewed, a retention pond was developed on and to the south of the subject property sometime between 2010 and 2013.

According to the historic aerial photographs reviewed, the adjoining property to the east of the subject property was an undeveloped vegetated parcel of land and wetlands dating back to 1943.

According to the historic aerial photographs reviewed, the adjoining property to the west of the subject property was an undeveloped vegetated parcel of land dating back to 1943. According to the historic aerial photographs reviewed, Commerce Parkway was developed to the west of the subject property sometime between 1980 and 1993, and commercial use properties were developed sometime between 1999 and 2007. According to the Flagler County Property Appraiser website, the Sunshine Business Complex was constructed in 2003 and the First Baptist Church of Bunnell was constructed in 2008.

4.5.1 Aerial Photograph Review

In order to evaluate the previous land uses of the subject property and surrounding area, a series of aerial photographs was reviewed. The aerial photographs provide a progressive overview of the subject property and adjoining properties between 1943 and 2019. UES reviewed aerial photographs available from Environmental Data Resources, Inc. (EDR) and Google Earth. The Site Plan/2019 Aerial Photograph is available for review in **Appendix A-2**. Descriptions of UES’ observations are outlined in **Table 7**. Copies of the aerial photographs reviewed are presented in **Appendix F**.

TABLE 7
 Summary of Aerial Photographs Observations

Photograph Date	Photograph Quality	Remarks
2019	Excellent	Subject Property: Undeveloped vegetated parcel of land with a retention pond North: Undeveloped partially vegetated parcel of land, Wendy’s and Atlantic Pipe Services South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway, Sunshine Business Complex, and First Baptist Church of Bunnell
2017	Good	Subject Property: Undeveloped vegetated parcel of land with a retention pond North: Undeveloped partially vegetated parcel of land, Wendy’s and Atlantic Pipe Services South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway, Sunshine Business Complex, and First Baptist Church of Bunnell
2013	Good	Subject Property: Undeveloped vegetated parcel of land with a retention pond North: Undeveloped partially vegetated parcel of land, Wendy’s and Atlantic Pipe Services South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway, Sunshine Business Complex, and First Baptist Church of Bunnell
2010	Good	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped vegetated parcel of land and Atlantic Pipe Services South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway, Sunshine Business Complex, and First Baptist Church of Bunnell

Photograph Date	Photograph Quality	Remarks
2007	Good	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped vegetated parcel of land and Atlantic Pipe Services South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway, Sunshine Business Complex, and First Baptist Church of Bunnell
1999	Fair	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway and an undeveloped vegetated parcel of land
1995	Fair	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway and an undeveloped vegetated parcel of land
1993	Good	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Commerce Parkway and an undeveloped vegetated parcel of land
1980	Fair	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land
1977	Poor	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land
1970	Fair	Subject Property: Undeveloped partially vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land
1957	Fair	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land
1952	Poor	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land
1943	Poor	Subject Property: Undeveloped vegetated parcel of land North: Undeveloped partially vegetated parcel of land South: Undeveloped vegetated parcel of land East: Undeveloped vegetated parcel of land and wetlands West: Undeveloped partially vegetated parcel of land

4.5.2 Property Ownership Records

According to the Flagler County Property Appraiser reports, the current owner of the subject property is Oare Associates LLC. The User did not contract UES to acquire a chain-of-title report for the subject property, which typically contains information regarding historical site ownership.

4.5.3 Fire Insurance Map Review

Fire insurance maps generated by the Sanborn® Map Company were requested for the subject property and vicinity from EDR. According to EDR, coverage of the subject property was unavailable. A copy of EDR’s Certified Sanborn Map Report is presented in **Appendix G**.

4.5.4 City Directory Review

Historical street directories which list the former businesses and residences at the street addresses of the subject property and the adjoining properties were reviewed from EDR. UES reviewed available coverage from 1992 to 2017. Descriptions of UES observations are outlined in **Table 8**. Copies of the city directory pages reviewed are presented in **Appendix H**.

TABLE 8
 Summary of City Directory Observations

Date	Subject Property	Nearby Properties of Concern
2017	2400 Commerce Parkway: NOT LISTED	2301 Commerce Parkway: FIRST BAPTIST CHURCH 1501 E Moody Boulevard: BUNNELL FEED & SUPPLY CO 1769 E Moody Boulevard: COUNTY OF FLAGLER; MEDICAL CAREER INSTITUTE 2202 E Moody Boulevard: GOSPEL GARDENS 2275 E Moody Boulevard: LAKEWOOD APARTMENTS 2320 E Moody Boulevard: RESIDENTIAL 2360 E Moody Boulevard: BACHMANS ANTIQUESUSED FURNITURE; UHAUL 2405 E Moody Boulevard: ALLSTATE; CLASSY KIDS TOO; FLAGLER CATS; FLAGLER COUNTY BROADCASTING LLC; H&R BLOCK; LARRYS ITALIAN DELI; PET GROOMING BY RAINA LLC; STATE OF FLORIDA; STITCH ART EMBROIDERY; THE LOYAL ORDER OF MOOSE; WNZF 2700 E Moody Boulevard: MIVINA INC 2710 E Moody Boulevard: LABA DRY CLEANERS 2729 E Moody Boulevard: ACCUTAX; CASH FOR CAR REFERRALS; CLARK RELLEN BAIL BONDS; FURNITURE LEISURE INC; INTERLINK REALTY OF FLORIDA; LCI TAXES; LIVING FAITH CHRISTIAN CT; NATIONAL CORRECTIVE GROUP; NORTH EAST FLORIDA COMMUNITY ACTION; PALM COAST SECURITY SERVICE; PICNIC FURNITURE; SERENDIPITY SALON & SPA; TAK ENVIRONMENTAL SERVICES; THE FLAGLER PENNYSAVER 2902 E Moody Boulevard: AUTO TECH TOTAL CAR CARE 3000 E Moody Boulevard: CITY ELECTRIC SUPPLY; JEFFS TRANSMISSION; STONEWALL 3011 E Moody Boulevard: CITY ELECTRIC SUPPLY 3039 E Moody Boulevard: FLAGLER COUNTY PUBLIC SCHOOLS 3200 E Moody Boulevard: NATIONWIDE; NEW BEGINNINGS HAIR SALON

Date	Subject Property	Nearby Properties of Concern
		3300 E Moody Boulevard: CASH IT IN; NEW BEGINNINGS SALON 3501 E Moody Boulevard: A1 WINDOW TINTING; RESIDENTIAL 3701 E Moody Boulevard: MULTI-RESIDENTIAL
2014	2400 Commerce Parkway: NOT LISTED	2301 Commerce Parkway: FIRST BAPTIST CHURCH 1501 E Moody Boulevard: BUNNELL FEED & SUPPLY CO 1769 E Moody Boulevard: COUNTY OF FLAGLER; MEDICAL CAREER INSTITUTE; STATE OF FLORIDA 2202 E Moody Boulevard: GOSPEL GARDENS 2275 E Moody Boulevard: LAKEWOOD APARTMENTS 2350 E Moody Boulevard: BRIANS CUSTOM GOLF CARS 2360 E Moody Boulevard: BACHMANS ANTIQUESUSED FURNITURE; UHAUL 2405 E Moody Boulevard: BEACH 927; CLASSY KIDS TOO; D&S BEAUTY SUPPLY; FLAGLER CATS; FLAGLER COUNTY BROADCASTING LLC; H&R BLOCK; HAIR WE R; MOOSE LODGE; PET GROOMING BY RAINA LLC; STATE OF FLORIDA; STITCH ART EMBROIDERY; TREY TULLY ALLSTATE INSURANCE AGENCY; WNZF 2700 E Moody Boulevard: ACE AIR CONDITIONING INC; MATTS AUTO WORKSHOP 2710 E Moody Boulevard: LABA DRY CLEANERS 2729 E Moody Boulevard: ACCUTAX; CLARK RELLEN BAIL BONDS; FLAGLER MENTAL HEALTH CENTER; FLAGLER PENNSAVER THE; FURNITURE LEISURE INC; INTERLINK REALTY OF FLORIDA; LCI TAXES; LIVING FAITH CHRISTIAN CT; PAL; PALM COAST SECURITY SERVICE; PENNSAVER; PICNIC FURNITURE; SERENDIPITY SALON & SPA; TAK ENVIRONMENTAL SERVICES 2902 E Moody Boulevard: AUTO TECH TOTAL CAR CARE 3000 E Moody Boulevard: FOGLEMAN BUILDERS SUPPLY; JEFFS TRANSMISSION 3011 E Moody Boulevard: CITY ELECTRIC SUPPLY 3039 E Moody Boulevard: FLAGLER COUNTY PUBLIC SCHOOLS 3200 E Moody Boulevard: NEW BEGINNINGS HAIR SALON 3300 E Moody Boulevard: CASH IT IN 3501 E Moody Boulevard: A1 WINDOW TINTING; RESIDENTIAL 3701 E Moody Boulevard: MULTI-RESIDENTIAL
2010	2400 Commerce Parkway: NOT LISTED	1658 E Moody Boulevard: A 1 WINDOW TINTING; NEW CENTURY AUTO 1756 E Moody Boulevard: RESIDENTIAL 1759 E Moody Boulevard: FLAGLER COUNTY HAZARDOUS MTRLS 1769 E Moody Boulevard: COUNTY OF FLAGLER 2201 E Moody Boulevard: PAYLESS CAR SALES 2275 E Moody Boulevard: LAKEWOOD APARTMENTS 2285 E Moody Boulevard: CARIBBEAN GROCERY STORE & BVRG; DIRECT IMPORTERS INC; FERRARI SUNBELT BUS BROKERS; FLAGLER BAIL BONDS; FLAGLERMOVERSCOM; MA BOUTIQUE 2350 E Moody Boulevard: BRIANS CUSTOM GOLF CARS 2405 E Moody Boulevard: AMERICAN FIRST MORTGAGE; CANDY BOUQUET; CLASSY KIDS TOO; CLASSY NAILS & SPA; FLAGLER COUNTY BROADCASTING; H&R BLOCK; MELISSAS SUBS & GRILL; MOOSE LODGE; PROBATION & PAROLE SVC

Date	Subject Property	Nearby Properties of Concern
		2700 E Moody Boulevard: MATTS AUTO WORKSHOP INC 2710 E Moody Boulevard: FLAGLER COUNTY AOR; FLAGLER COUNTY BOARDREALTORS; ISLAND VIEW MILLWORK; LABA DRY CLEANERS 2729 E Moody Boulevard: ACCUTAX; FIRST METROPOLITAN MORTGAGE; FLAGLER PENNSAVER; FURNITURE LEISURE; INTERLINK REALTY OF FLORIDA; LIVING FAITH CHRISTIAN CT; METROPOLITAN HEALTH NTRWK INC; PICNIC FURNITURE; SARA J RILEY LMHC PA; SUNSHINE BUSINESS COMPLEX; TOC ENTERPRISES; UCPWORC; VOLUSIA PENNSAVER INC 2902 E Moody Boulevard: AUTO TECH TOTAL CAR CARE 3000 E Moody Boulevard: CITY ELECTRIC SUPPLY; FOGLEMAN BUILDERS SUPPL 3100 E Moody Boulevard: LAND CARE MANAGEMENT INC; LANDCARE NURSERY INC 3501 E Moody Boulevard: A&T AUTO REPAIR 3701 E Moody Boulevard: MULTI-RESIDENTIAL
2005	2400 Commerce Parkway: NOT LISTED	1658 E Moody Boulevard: A1 WINDOW TINTING & ULTIMATE DETAIL; FRANK GENNOTTI; M&M MOTORS; NEW CENTURY AUTO; SOUTH 2ND STREET AUTO REPAIR 1756 E Moody Boulevard: MULTI-RESIDENTIAL 2275 E Moody Boulevard: LAKEWOOD APARTMENTS 2285 E Moody Boulevard: FLAGER BAIL BONDS; FLAGLER COUNTY OF GUARDIAN AD LITEM; SEA MY HOME REALTY INC 2507 E Moody Boulevard: UHAUL CO 2700 E Moody Boulevard: DON ENTERPRISES 2729 E Moody Boulevard: FLAGLER COUNTY GUARDIAN AD LITEM PRO; INTER REALTY OF FLORIDA INC; SANDALS HOMES LLC; SOUTHERN COAST FUNDING INC; TAK ENVIRONMENTAL SERVICES INC; TWOS CO
2000	2400 Commerce Parkway: NOT LISTED	1501 E Moody Boulevard: BUNNELL FEED & SUPPLY CO 1565 E Moody Boulevard: FLAGLER COUNTY SHERIFF DEPARTMENT ATHLETIC LEAGUE; FLAGLER COUNTY YMCA 1658 E Moody Boulevard: BUNNELL AUTO HOSPITAL 1756 E Moody Boulevard: RESIDENTIAL 2285 E Moody Boulevard: FLAGLER COUNTY OF UTILITY REGULATORY AUTHORITY 2903 E Moody Boulevard: CREATIVE SIGNS & DESIGNS 3011 E Moody Boulevard: CITY ELECTRIC SUPPLY INC
1995	2400 Commerce Parkway: NOT LISTED	1506 E Moody Boulevard: AMERICAN RED CROSS 1756 E Moody Boulevard: RESIDENTIAL
1992	2400 Commerce Parkway: NOT LISTED	1500 E Moody Boulevard: AGRICULTURAL AGENT; AGRL AGENT; SHERIFF CIVIL DIV; SHERIFF OFC; ST JUDICIAL STATE ATTORNEY; TAX COLLECTOR MOTOR VEHICLE REGISTRTRN 1506 E Moody Boulevard: FLAGLER CO CIVIL DEFENSE 1510 E Moody Boulevard: FLAGLER CO ASST ADMINISTRATOR

4.5.5 Land Use Records

According to the Volusia County Property Appraiser records, the subject property is zoned “001000 – Vacant Commercial.”

4.5.6 Other Historical Sources

No other historical sources were reviewed in preparation of this Phase I ESA.

5.0 INFORMATION FROM SITE RECONNAISSANCE

On August 31, 2021, a site reconnaissance of the subject property was completed by Carly Boston UES. Carly was unescorted during the site reconnaissance. The purpose was to evaluate the current conditions of the subject property and to obtain information indicating the likelihood of identifying recognized environmental conditions in connection with the subject property.

5.1 Methodology

The reconnaissance included walking the accessible portions of the subject property and the site perimeter. This visual observation of the subject property focused primarily on its surface features. Property use and significant features are indicated on the 2019 Aerial Photograph/Site Plan contained in **Appendix A-2**. Representative site photographs are included in **Appendix J**.

5.2 General Site Setting

The general site setting is characterized primarily by undeveloped vegetated land, wetlands, retention ponds, Commerce Parkway, First Baptist Church of Bunnell, Sunshine Business Complex, Wendy's, and Atlantic Pipe Services.

5.3 Site Observations

Site features observed, encountered, or suspected during UES' site visit are summarized in **Table 9**. Affirmative responses are discussed in more detail following the table.

TABLE 9
 Site Reconnaissance Summary

Item	Observed or Encountered		
	Yes	No	Suspect
Limiting Conditions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Floor Drains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Heat/Cooling Source	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Drinking Water Source	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Domestic Wastewater Discharge Source	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Tenant Operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Past Tenant Operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Polychlorinated Biphenyls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hazardous Substances and Petroleum Products	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Odors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pools of Liquid	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Item	Observed or Encountered		
	Yes	No	Suspect
Drums and Containers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Unidentified Substance Containers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stains or Corrosion on Floors, Walls or Ceilings (not including water)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sumps	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pits, Ponds or Lagoons for Waste Disposal or Treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stained Soil or Pavement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stressed Vegetation (not from insufficient water)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Adjacent and Nearby Properties	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Solid Waste, Construction Debris and/or Imported Soil Stockpile	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Notable Site Features	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

5.3.1 Limiting Conditions

Limiting conditions were encountered during the site reconnaissance, as UES was not able to access all portions of the subject property due to dense, heavy vegetation and wetlands covering some surface areas.

5.3.2 Floor Drains

UES did not observe any floor drains on the day of site reconnaissance.

5.3.3 Buildings

The subject property is an undeveloped vegetated parcel of land.

5.3.4 Heating and Cooling Sources

The subject property is an undeveloped vegetated parcel of land.

5.3.5 Drinking Water Source

The subject property is an undeveloped vegetated parcel of land.

5.3.6 Wastewater Discharge Source

The subject property is an undeveloped vegetated parcel of land.

5.3.7 Current Tenant Operations

The subject property is an undeveloped vegetated parcel of land and is not occupied.

5.3.8 Past Tenant Operations

According to the historic aerial photographs, the subject property was an undeveloped parcel of land dating back to 1943.

5.3.9 Polychlorinated Biphenyls

UES did not observe evidence of PCBs during site reconnaissance on the subject property.

5.3.10 Hazardous Substances and Petroleum Products

UES did not observe any hazardous substances or petroleum products on the subject property during site reconnaissance.

5.3.11 Storage Tanks

UES did not observe any storage tanks on the subject property during site reconnaissance.

5.3.12 Odors

No unusual odors were noted by UES during the site reconnaissance on the subject property.

5.3.13 Pools of Liquids

UES did not observe pools of liquid during the site reconnaissance on the subject property.

5.3.14 Drums and Containers

UES did not observe any drums or containers on the subject property during site reconnaissance.

5.3.15 Unidentified Substance Containers

UES did not observe any unidentified substance containers during site reconnaissance on the subject property.

5.3.16 Stains or Corrosion on Floors, Walls, or Ceilings

The subject property is an undeveloped vegetated parcel of land.

5.3.17 Sumps

UES did not observe the presence of any sumps during site reconnaissance on the subject property.

5.3.18 Pits, Ponds, or Lagoons

UES did not observe pits, ponds, or lagoons during site reconnaissance.

5.3.19 Stained Soil or Pavement

UES did not observe stained soil or pavement during site reconnaissance on the subject property.

5.3.20 Stressed Vegetation

UES did not observe stressed vegetation during site reconnaissance on the subject property.

5.3.21 Wells

UES did not observe any wells on the subject property during site reconnaissance.

5.3.22 Adjacent and Nearby Properties

The adjoining property to the north consists of an undeveloped vegetated parcel of land, and Wendy's and Atlantic Pipe Services beyond. The adjoining property to the east consists of undeveloped vegetated land and wetlands. The adjoining property to the south consists of undeveloped vegetated land, a retention pond and wetlands. The adjoining property to the west consists of Commerce Parkway, and First Baptist Church of Bunnell and Sunshine Business Complex beyond.

5.3.23 Solid Waste, Construction Debris and/or Imported Soil Stockpiles

UES did not observe evidence of significant solid waste or imported soil stockpiles on the subject property during site reconnaissance.

5.3.24 Additional Notable Site Features

No additional notable site features were observed on the subject property during site reconnaissance.

6.0 INTERVIEWS

As part of this Phase I Environmental Site Assessment, interviews were conducted to obtain information indicating recognized environmental conditions in connection with the subject property. The following persons were contacted for interviews in an effort to obtain information regarding the subject property.

TABLE 10
 Interview Summary

Represents	Interviewed		Name & Title	Time Associated with Property	Comments
	Yes	No			
Current Property Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oare Associates LLC	Unknown	UES was not provided a completed Owner Questionnaire. An Owner Questionnaire for completion is provided in Appendix I of this report.
Past Property Owner(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	N/A	UES did not interview the past owner(s) of the subject property.
Key Site Manager	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	N/A	UES did not interview the site manager.
Occupant	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	N/A	The subject property was not historically or presently occupied.
Local Government	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A	N/A	UES did not interview local government officials.
User	<input type="checkbox"/>	<input checked="" type="checkbox"/>	City of Bunnell	N/A	UES was not provided a completed User Questionnaire. A User Questionnaire for completion is provided in Appendix I of this report.

7.0 FINDINGS AND OPINIONS

Based on UES' field observations, historical research, public records review and interviews conducted in accordance with ASTM format E1527-13, the findings and opinions of this Phase I ESA are as follows:

- 1) Aerial photographs, city directories, interviews, and property records were reviewed by UES to determine the historical use of the subject property. The subject property previously consisted of undeveloped land from as early as 1943 (earliest aerial photograph). According to the historical aerial photographs reviewed, the subject property was improved with a retention pond sometime between 2010 and 2013.
- 2) No recognized environmental conditions, historical recognized environmental conditions, controlled recognized environmental conditions or de minimis conditions were identified in connection with the subject or surrounding properties.
- 3) The regulatory database report identified one (1) Brownfields site, one (1) LUST (Leaking Underground Storage Tank) site, one (1) UST (Underground Storage Tank) site, one (1) RCRA-VSQG (Very Small Quantity Generator) site, and one (1) Financial Assurance site in the vicinity of the subject property. Refer to **Table 4** in **Section 4.4.1** for specific information pertaining to these nearby properties.

8.0 CONCLUSIONS

UES has performed a Phase I ESA in conformance with the scope and limitations of ASTM Practice E1527-13 of the property located at 2400 Commerce Parkway in Bunnell, Flagler County, Florida 32110 (Parcel ID No. 11-12-30-2260-00000-0040). Any exceptions to or deletions from this practice are described in Sections 1.2, 1.3, and 1.4 of this report. This assessment has not revealed evidence of recognized environmental conditions connected with the subject property. Further assessment does not appear warranted at this time.

The User of this report is required to ensure that continuing obligations are followed after purchase or acquisition of the subject property. Any land use restrictions in effect at the subject property must be maintained. The User should ensure that all parties at the subject property are following best management practices and taking "reasonable steps" with respect to preventing and limiting exposure to any hazardous substance releases on the subject property. In the event of a future release on the subject property, the property owner or responsible party should report it to the appropriate regulatory agency. Full cooperation must be provided to any parties authorized to conduct assessments or responses to the site.

Please note that an environmental liens or activity and use limitations search was not performed for the subject property. In accordance with ASTM E1527-13, it is the responsibility of the User of this report to

confirm that there are no environmental liens or activity and use limitations filed for the subject property. In the event that any are identified, please contact UES immediately for further evaluation.

9.0 DEVIATIONS

UES prepared this Phase I ESA in compliance with ASTM E1527-13.

10.0 ADDITIONAL SERVICES

Under the terms of the agreement between UES and City of Bunnell, no other services beyond the Phase I ESA were performed as part of this assessment.

11.0 REFERENCES

11.1 Standards

American Society of Testing and Materials (ASTM), Standard Practice for: Environmental Site Assessments: Phase I Environmental Site Assessment Process, Designation E 1527-13, November 2013.

Vapor Encroachment Screening on Property Involved In Real Estate Transactions, Designation E 2600-15, December 2015.

11.2 Property Records

Flagler County Property Appraisers, Property Records, Legal Description and Zoning Information. Available online at: <https://qpublic.net/fl/flagler>

11.3 Regulatory & Historical Resource/Review

Environmental Data Resources, Inc. (EDR); Regulatory Database Report, Historical Aerials, and Sanborn Maps, Order No. 6637912, dated August 26, 2021

OCULUS Electronic Document Management System, FDEP Regulatory Files Review for Storage Tanks, Hazardous Waste, Solid Waste and Waste Cleanup Program Areas. Available on-line at: <https://depedms.dep.state.fl.us/Oculus/servlet/login>

Florida Department of Environmental Protection, Map Direct Application (Groundwater Delineation Map). Available on-line at: https://ca.dep.state.fl.us/mapdirect/?focus=grndwtr_dl

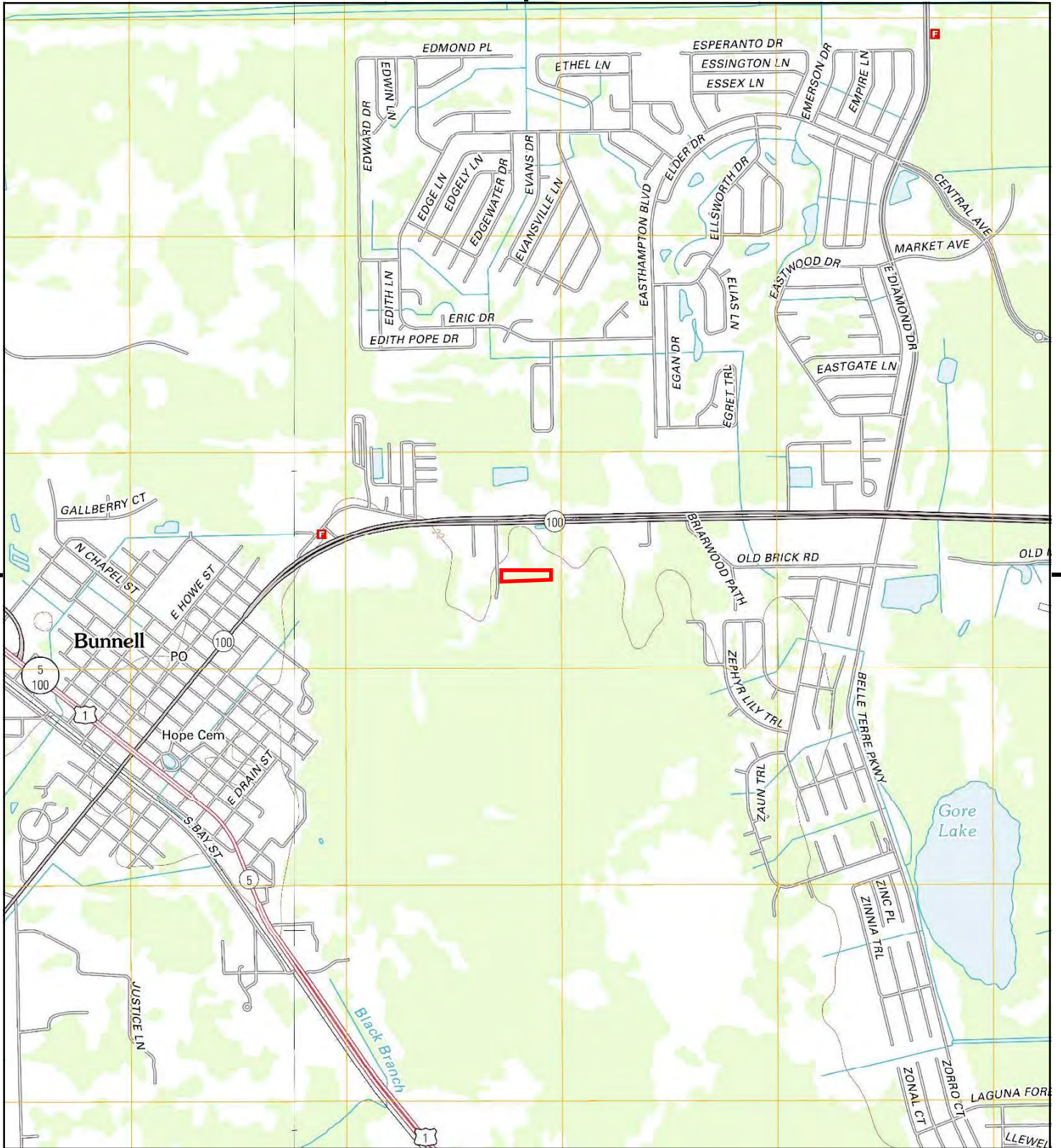
Google Earth Pro, 2019 aerial photograph

11.4 Physical Setting Sources

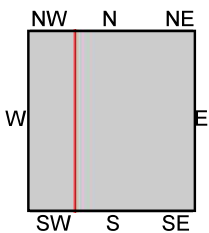
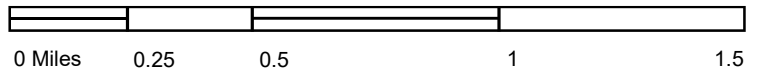
United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey (WSS). Available online at: <http://websoilsurvey.nrcs.usda.gov/app/>

United States Geological Survey, Digital US Topographic Maps, 7.5-Minute Quadrangle Map “Flagler Beach West, Florida,” dated 2012. Available online at: <http://www.usgs.gov/>

APPENDIX A
USGS Site Location Map
Site Plan / 2019 Aerial Photograph



This report includes information from the following map sheet(s).



TP, Flagler Beach West, 2012, 7.5-minute
 SW, Bunnell, 2012, 7.5-minute



SITE NAME: Commerce Parkway
ADDRESS: 2400 Commerce Parkway
 Bunnell, FL 32110
CLIENT: Universal Engineering Sciences





Google Earth

700 ft

	SITE PLAN		
CHECKED BY: C.R.B.	PARCEL ID NO. 11-12-30-2260-00000-0040 2400 COMMERCE PARKWAY BUNNELL, FLAGLER COUNTY, FLORIDA		
REVIEWED BY: C.R.B.	UNIVERSAL ENGINEERING SCIENCES 911 BEVILLE ROAD, STE 3, SOUTH DAYTONA, FLORIDA 32119		
NORTH 	SCALE IN FEET  NO SCALE	DATE 08-27-2021	FIGURE 2

APPENDIX B
General Conditions

Universal Engineering Sciences, LLC
GENERAL CONDITIONS

SECTION 1: RESPONSIBILITIES 1.1 Universal Engineering Sciences, LLC, and its subsidiaries and affiliated companies ("UES"), is responsible for providing the services described under the Scope of Services. The term "UES" as used herein includes all of UES's agents, employees, professional staff, and subcontractors. 1.2 The Client or a duly authorized representative is responsible for providing UES with a clear understanding of the project nature and scope. The Client shall supply UES with sufficient and adequate information, including, but not limited to, maps, site plans, reports, surveys, plans and specifications, and designs, to allow UES to properly complete the specified services. The Client shall also communicate changes in the nature and scope of the project as soon as possible during performance of the work so that the changes can be incorporated into the work product. 1.3 The Client acknowledges that UES's responsibilities in providing the services described under the Scope of Services section is limited to those services described therein, and the Client hereby assumes any collateral or affiliated duties necessitated by or for those services. Such duties may include, but are not limited to, reporting requirements imposed by any third party such as federal, state, or local entities, the provision of any required notices to any third party, or the securing of necessary permits or permissions from any third parties required for UES's provision of the services so described, unless otherwise agreed upon by both parties in writing.

SECTION 2: STANDARD OF CARE 2.1 Services performed by UES under this Agreement will be conducted in a manner consistent with the level of care and skill ordinarily exercised by members of UES's profession practicing contemporaneously under similar conditions in the locality of the project. No other warranty, express or implied, is made. 2.2 Execution of this document by UES is not a representation that UES has visited the site, become generally familiar with local conditions under which the work is to be performed, or correlated personal observations with the requirements of the Scope of Services. It is the Client's responsibility to provide UES with all information necessary for UES to provide the services described under the Scope of Services, and the Client assumes all liability for information not provided to UES that may affect the quality or sufficiency of the services so described.

SECTION 3: SITE ACCESS AND SITE CONDITIONS 3.1 Client will grant or obtain free access to the site for all equipment and personnel necessary for UES to perform the work set forth in this Agreement. The Client will notify any possessors of the project site that Client has granted UES free access to the site. UES will take reasonable precautions to minimize damage to the site, but it is understood by Client that, in the normal course of work, some damage may occur, and the correction of such damage is not part of this Agreement unless so specified in the Scope of Services. 3.2 The Client is responsible for the accuracy of locations for all subterranean structures and utilities. UES will take reasonable precautions to avoid known subterranean structures, and the Client waives any claim against UES, and agrees to defend, indemnify, and hold UES harmless from any claim or liability for injury or loss, including costs of defense, arising from damage done to subterranean structures and utilities not identified or accurately located. In addition, Client agrees to compensate UES for any time spent or expenses incurred by UES in defense of any such claim with compensation to be based upon UES's prevailing fee schedule and expense reimbursement policy.

SECTION 4: BILLING AND PAYMENT 4.1 UES will submit invoices to Client monthly or upon completion of services. Invoices will show charges for different personnel and expense classifications. 4.2 Payment is due 30 days after presentation of invoice and is past due 31 days from invoice date. Client agrees to pay a finance charge of one and one-half percent (1 ½ %) per month, or the maximum rate allowed by law, on past due accounts. 4.3 If UES incurs any expenses to collect overdue billings on invoices, the sums paid by UES for reasonable attorneys' fees, court costs, UES's time, UES's expenses, and interest will be due and owing by the Client.

SECTION 5: OWNERSHIP AND USE OF DOCUMENTS 5.1 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by UES, as instruments of service, shall remain the property of UES. Neither Client nor any other entity shall change or modify UES's instruments of service. 5.2 Client agrees that all reports and other work furnished to the Client or his agents, which are not paid for, will be returned upon demand and will not be used by the Client for any purpose. 5.3 UES will retain all pertinent records relating to the services performed for a period of five years following submission of the report or completion of the Scope of Services, during which period the records will be made available to the Client in a reasonable time and manner. 5.4 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by UES, are prepared for the sole and exclusive use of Client, and may not be given to any other entity, or used or relied upon by any other entity, without the express written consent of UES. Client is the only entity to which UES owes any duty or duties, in contract or tort, pursuant to or under this Agreement.

SECTION 6: DISCOVERY OF UNANTICIPATED HAZARDOUS MATERIALS 6.1 Client represents that a reasonable effort has been made to inform UES of known or suspected hazardous materials on or near the project site. 6.2 Under this agreement, the term hazardous materials include hazardous materials, hazardous wastes, hazardous substances (40 CFR 261.31, 261.32, 261.33), petroleum products, polychlorinated biphenyls, asbestos, and any other material defined by the U.S. EPA as a hazardous material. 6.3 Hazardous materials may exist at a site where there is no reason to believe they are present. The discovery of unanticipated hazardous materials constitutes a changed condition mandating a renegotiation of the scope of work. The discovery of unanticipated hazardous materials may make it necessary for UES to take immediate measures to protect health and safety. Client agrees to compensate UES for any equipment decontamination or other costs incident to the discovery of unanticipated hazardous materials. 6.4 UES will notify Client when unanticipated hazardous materials or suspected hazardous materials are encountered. Client will make any disclosures required by law to the appropriate governing agencies. Client will hold UES harmless for all consequences of disclosures made by UES which are required by governing law. In the event the project site is not owned by Client, Client it is the Client's responsibility to inform the property owner of the discovery of unanticipated hazardous materials or suspected hazardous materials. 6.5 Notwithstanding any other provision of the Agreement, Client waives any claim against UES, and to the maximum extent permitted by law, agrees to defend, indemnify, and save UES harmless from any claim, liability, and/or defense costs for injury or loss arising from UES's discovery of unanticipated hazardous materials or suspected hazardous materials including any costs created by delay of the project and any cost associated with possible reduction of the property's value. Client will be responsible for ultimate disposal of any samples secured by UES which are found to be contaminated.

SECTION 7: RISK ALLOCATION 7.1 Client agrees that UES's liability for any damage on account of any breach of contract, error, omission, or professional negligence will be limited to a sum not to exceed \$50,000 or UES's fee, whichever is greater. If Client prefers to have higher limits on contractual or professional liability, UES agrees to increase the limits up to a maximum of \$1,000,000.00 upon Client's written request at the time of accepting UES's proposal provided that Client agrees to pay an additional consideration of four percent of the total fee, or \$400.00, whichever is greater. If Client prefers a \$2,000,000.00 limit on contractual or professional liability, UES agrees to increase the limits up to a maximum of \$2,000,000.00 upon Client's written request at the time of accepting UES's proposal provided that Client agrees to pay an additional consideration of four percent of the total fee, or \$800.00, whichever is greater. The additional charge for the higher liability limits is because of the greater risk assumed and is not strictly a charge for additional professional liability insurance. 7.2 Client shall not be liable to UES and UES shall not be liable to Client for any incidental, special, or consequential damages (including lost profits, loss of use, and lost savings) incurred by either party due to the fault of the other, regardless of the nature of the fault, or whether it was committed by Client or UES, their employees, agents, or subcontractors; or whether such liability arises in breach of contract or warranty, tort (including negligence), statutory, or any other cause of action. 7.3 As used in this Agreement, the terms "claim" or "claims" mean any claim in contract, tort, or statute alleging negligence, errors, omissions, strict liability, statutory liability, breach of contract, breach of warranty, negligent misrepresentation, or any other act giving rise to liability.

SECTION 8: INSURANCE 8.1 UES represents it and its agents, staff and consultants employed by UES, is and are protected by worker's compensation insurance and that UES has such coverage under public liability and property damage insurance policies which UES deems to be adequate. Certificates for all such policies of insurance shall be provided to Client upon request in writing. Within the limits and conditions of such insurance, UES agrees to indemnify and save Client harmless from and against loss, damage, or liability arising from negligent acts by UES, its agents, staff, and consultants employed by it. UES shall not be responsible for any loss, damage or liability beyond the amounts, limits, and conditions of such insurance or the limits described in Section 7, whichever is less. The Client agrees to defend, indemnify, and save UES harmless for loss, damage or liability arising from acts by Client, Client's agents, staff, and others employed by Client. 8.2 Under no circumstances will UES indemnify Client from or for Client's own actions, negligence, or breaches of contract. 8.3

To the extent damages are covered by property insurance, Client and UES waive all rights against each other and against the contractors, consultants, agents, and employees of the other for damages, except such rights as they may have to the proceeds of such insurance.

SECTION 9: DISPUTE RESOLUTION **9.1** All claims, disputes, and other matters in controversy between UES and Client arising out of or in any way related to this Agreement will be submitted to mediation or non-binding arbitration, before and as a condition precedent to other remedies provided by law. **9.2** If a dispute arises and that dispute is not resolved by mediation or non-binding arbitration, then: (a) the claim will be brought in the state or federal courts having jurisdiction where the UES office which provided the service is located; and (b) the prevailing party will be entitled to recovery of all reasonable costs incurred, including staff time, court costs, attorneys' fees, expert witness fees, and other claim related expenses.

SECTION 10: TERMINATION **10.1** This agreement may be terminated by either party upon seven (7) days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof, or in the case of a force majeure event such as terrorism, act of war, public health or other emergency. Such termination shall not be effective if such substantial failure or force majeure has been remedied before expiration of the period specified in the written notice. In the event of termination, UES shall be paid for services performed to the termination notice date plus reasonable termination expenses. **10.2** In the event of termination, or suspension for more than three (3) months, prior to completion of all reports contemplated by the Agreement, UES may complete such analyses and records as are necessary to complete its files and may also complete a report on the services performed to the date of notice of termination or suspension. The expense of termination or suspension shall include all direct costs of UES in completing such analyses, records, and reports.

SECTION 11: REVIEWS, INSPECTIONS, TESTING, AND OBSERVATIONS **11.1** Plan review, private provider inspections, and building inspections are performed for the purpose of observing compliance with applicable building codes. Threshold inspections are performed for the purpose of observing compliance with an approved threshold inspection plan. Construction materials testing ("CMT") is performed to document compliance of certain materials or components with applicable testing standards. UES's performance of plan reviews, private provider inspections, building inspections, threshold inspections, or CMT, or UES's presence on the site of Client's project while performing any of the foregoing activities, is not a representation or warranty by UES that Client's project is free of errors in either design or construction. **11.2** If UES is retained to provide construction monitoring or observation, UES will report to Client any observed work which, in UES's opinion, does not conform to the plans and specifications provided to UES. UES shall have no authority to reject or terminate the work of any agent or contractor of Client. No action, statements, or communications of UES, or UES's site representative, can be construed as modifying any agreement between Client and others. UES's performance of construction monitoring or observation is not a representation or warranty by UES that Client's project is free of errors in either design or construction. **11.3** Neither the activities of UES pursuant to this Agreement, nor the presence of UES or its employees, representatives, or subcontractors on the project site, shall be construed to impose upon UES any responsibility for means or methods of work performance, superintendence, sequencing of construction, or safety conditions at the project site. Client acknowledges that Client or its contractor is solely responsible for project jobsite safety. **11.4** Client is responsible for scheduling all inspections and CMT activities of UES. All testing and inspection services will be performed on a will-call basis. UES will not be responsible for tests and inspections that are not performed due to Client's failure to schedule UES's services on the project, or for any claims or damages arising from tests and inspections that are not scheduled or performed.

SECTION 12: ENVIRONMENTAL ASSESSMENTS Client acknowledges that an Environmental Site Assessment ("ESA") is conducted solely to permit UES to render a professional opinion about the likelihood or extent of regulated contaminants being present on, in, or beneath the site in question at the time services were conducted. No matter how thorough an ESA study may be, findings derived from the study are limited and UES cannot know or state for a fact that a site is unaffected by reportable quantities of regulated contaminants as a result of conducting the ESA study. Even if UES states that reportable quantities of regulated contaminants are not present, Client still bears the risk that such contaminants may be present or may migrate to the site after the ESA study is complete.

SECTION 13: SUBSURFACE EXPLORATIONS **13.1** Client acknowledges that subsurface conditions may vary from those observed at locations where borings, surveys, samples, or other explorations are made, and that site conditions may change with time. Data, interpretations, and recommendations by UES will be based solely on information available to UES at the time of service. UES is responsible for those data, interpretations, and recommendations, but will not be responsible for other parties' interpretations or use of the information developed or provided by UES. **13.2** Subsurface explorations may result in unavoidable cross-contamination of certain subsurface areas, as when a probe or boring device moves through a contaminated zone and links it to an aquifer, underground stream, or other hydrous body not previously contaminated. UES is unable to eliminate totally cross-contamination risk despite use of due care. Since subsurface explorations may be an essential element of UES's services indicated herein, Client shall, to the fullest extent permitted by law, waive any claim against UES, and indemnify, defend, and hold UES harmless from any claim or liability for injury or loss arising from cross-contamination allegedly caused by UES's subsurface explorations. In addition, Client agrees to compensate UES for any time spent or expenses incurred by UES in defense of any such claim with compensation to be based upon UES's prevailing fee schedule and expense reimbursement policy.

SECTION 14: SOLICITATION OF EMPLOYEES Client agrees not to hire UES's employees except through UES. In the event Client hires a UES employee within one year following any project through which Client had contact with said employee, Client shall pay UES an amount equal to one-half of the employee's annualized salary, as liquidated damages, without UES waiving other remedies it may have.

SECTION 15: ASSIGNS Neither Client nor UES may delegate, assign, sublet, or transfer its duties or interest in this Agreement without the written consent of the other party.

SECTION 16: GOVERNING LAW AND SURVIVAL **16.1** This Agreement shall be governed by and construed in accordance with the laws of the jurisdiction in which the UES office performing the services hereunder is located. **16.2** In any of the provisions of this Agreement are held illegal, invalid, or unenforceable, the enforceability of the remaining provisions will not be impaired and will survive. Limitations of liability and indemnities will survive termination of this agreement for any cause.

SECTION 17: INTEGRATION CLAUSE **17.1** This Agreement represents and contains the entire and only agreement and understanding among the parties with respect to the subject matter of this Agreement, and supersedes any and all prior and contemporaneous oral and written agreements, understandings, representations, inducements, promises, warranties, and conditions among the parties. No agreement, understanding, representation, inducement, promise, warranty, or condition of any kind with respect to the subject matter of this Agreement shall be relied upon by the parties unless expressly incorporated herein. **17.2** This Agreement may not be amended or modified except by an agreement in writing signed by the party against whom the enforcement of any modification or amendment is sought.

SECTION 18: WAIVER OF JURY TRIAL Both Client and UES waive trial by jury in any action arising out of or related to this Agreement.

SECTION 19: INDIVIDUAL LIABILITY PURSUANT TO FLORIDA STAT. 558.0035, AN INDIVIDUAL EMPLOYEE OR AGENT OF UES MAY NOT BE HELD INDIVIDUALLY LIABLE FOR NEGLIGENCE.

APPENDIX C
Flagler County Property Appraiser's Report



Owner Information

Primary Owner

[Oare Associates LLC](#)

Janet E Martinez, Esq Shuffeld Lowman Wilson
203 East Rich Avenue
Deland, FL 32724

Parcel Summary

Parcel ID 11-12-30-2260-00000-0040
Prop ID 11249
Location Address 2400 COMMERCE PKWY
 BUNNELL, FL 32110
Brief Tax Description* FLAGLER CENTRAL COMMERCE PARK PHASE 1A REPLAT LOT 4 (2.88AC) MB 37 PG 36
 (Note: *The Description above is not to be used on legal documents.)
Property Use Code VACANT COMMERCIAL (001000)
Tax District CITY OF BUNNELL, BUNNELL CRA AREA WITH MOSQ CONTROL (District 14)
Millage Rate 21.5149
Homestead N
Feet (GIS) 125,520.434

[View Map](#)

Valuation

	2021 Working Values	2020 Certified Values	2019 Certified Values	2018 Certified Values
Building Value	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$200,119	\$200,248	\$235,010	\$235,010
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$200,119	\$200,248	\$235,010	\$235,010
Assessed Value	\$200,119	\$200,248	\$235,010	\$228,070
Exempt Value	\$0	\$0	\$0	\$0
Taxable Value	\$200,119	\$200,248	\$235,010	\$228,070
Protected Value	\$0	\$0	\$0	\$6,940

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Historical Assessment

Year	Building Value	Extra Features Value	Land Value	Just (Market) Value
2020	\$0	\$0	\$200,248	\$200,248
2019	\$0	\$0	\$235,010	\$235,010
2018	\$0	\$0	\$235,010	\$235,010
2017	\$0	\$0	\$235,010	\$235,010
2016	\$0	\$0	\$188,487	\$188,487
2015	\$0	\$0	\$188,487	\$188,487
2014	\$0	\$0	\$188,487	\$188,487
2013	\$0	\$0	\$188,487	\$188,487
2012	\$0	\$0	\$187,306	\$187,306
2011	\$0	\$0	\$234,259	\$234,259
2010	\$0	\$0	\$0	\$234,512

TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

No data available for the following modules: Property Information, Residential Buildings, Commercial Buildings, Sketches, Building Area Types, Extra Features, Sales, Photos.

The Property Appraiser makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. If you feel that any information contained herein is incorrect, please contact our office at (386)313-4150.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)



APPENDIX D
Regulatory Database Report

Commerce Parkway

2400 Commerce Parkway

Bunnell, FL 32110

Inquiry Number: 6637912.2s

August 26, 2021

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	8
Orphan Summary	26
Government Records Searched/Data Currency Tracking	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting Source Map	A-9
Physical Setting Source Map Findings	A-10
Physical Setting Source Records Searched	PSGR-1

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2020 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

2400 COMMERCE PARKWAY
BUNNELL, FL 32110

COORDINATES

Latitude (North): 29.4731260 - 29° 28' 23.25"
Longitude (West): 81.2388560 - 81° 14' 19.88"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 476841.7
UTM Y (Meters): 3260251.8
Elevation: 19 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5652298 FLAGLER BEACH WEST, FL
Version Date: 2012

Southwest Map: 5651654 BUNNELL, FL
Version Date: 2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20151112
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
 2400 COMMERCE PARKWAY
 BUNNELL, FL 32164

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
Reg	FLAGLER ECONOMIC ENH		BROWNFIELDS	Same	1 ft.
1	LABA DRY CLEANERS	2710 EAST MOODY BLVD	RCRA-VSQQ	Higher	868, 0.164, NW
2	FLAGLER CNTY-ROAD &	1769 E MOODY BLVD	LUST, UST, Financial Assurance	Higher	2287, 0.433, WNW

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROLS..... Institutional Controls Sites List

EXECUTIVE SUMMARY

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... Florida's State-Funded Action Sites

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... Solid Waste Facility Database

State and tribal leaking storage tank lists

LAST..... Leaking Aboveground Storage Tank Listing

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FF TANKS..... Federal Facilities Listing

FEMA UST..... Underground Storage Tank Listing

UST..... Storage Tank Facility Information

AST..... Storage Tank Facility Information

INDIAN UST..... Underground Storage Tanks on Indian Land

TANKS..... Storage Tank Facility List

State and tribal institutional control / engineering control registries

ENG CONTROLS..... Institutional Controls Registry

INST CONTROL..... Institutional Controls Registry

State and tribal voluntary cleanup sites

VCP..... Voluntary Cleanup Sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Recycling Centers

INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations

ODI..... Open Dump Inventory

IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register

EXECUTIVE SUMMARY

PRIORITYCLEANERS.....	Priority Ranking List
FI Sites.....	Sites List
US CDL.....	National Clandestine Laboratory Register
PFAS.....	PFOS and PFOA stand for perfluorooctane sulfonate and perfluorooctanoic acid

Local Land Records

LIENS 2.....	CERCLA Lien Information
--------------	-------------------------

Records of Emergency Release Reports

HMIRS.....	Hazardous Materials Information Reporting System
SPILLS.....	Oil and Hazardous Materials Incidents
SPILLS 90.....	SPILLS 90 data from FirstSearch
SPILLS 80.....	SPILLS 80 data from FirstSearch

Other Ascertainable Records

RCRA NonGen / NLR.....	RCRA - Non Generators / No Longer Regulated
FUDS.....	Formerly Used Defense Sites
DOD.....	Department of Defense Sites
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PRP.....	Potentially Responsible Parties
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
FINDS.....	Facility Index System/Facility Registry System
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
ECHO.....	Enforcement & Compliance History Information
UXO.....	Unexploded Ordnance Sites

EXECUTIVE SUMMARY

FUELS PROGRAM.....	EPA Fuels Program Registered Listing
AIRS.....	Permitted Facilities Listing
ASBESTOS.....	ASBESTOS
CLEANUP SITES.....	DEP Cleanup Sites - Contamination Locator Map Listing
DEDB.....	Ethylene Dibromide Database Results
DRYCLEANERS.....	Drycleaning Facilities
DWM CONTAM.....	DWM CONTAMINATED SITES
Financial Assurance.....	Financial Assurance Information Listing
FL Cattle Dip. Vats.....	Cattle Dipping Vats
HW GEN.....	Hazardous Waste Generators
RESP PARTY.....	Responsible Party Sites Listing
SITE INV SITES.....	Site Investigation Section Sites Listing
TIER 2.....	Tier 2 Facility Listing
UIC.....	Underground Injection Wells Database Listing
NPDES.....	Wastewater Facility Regulation Database
MINES MRDS.....	Mineral Resources Data System

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Auto.....	EDR Exclusive Historical Auto Stations
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS.....	Recovered Government Archive State Hazardous Waste Facilities List
RGA LF.....	Recovered Government Archive Solid Waste Facilities List
RGA LUST.....	Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal RCRA generators list

EXECUTIVE SUMMARY

RCRA-VSQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQG list, as provided by EDR, and dated 03/22/2021 has revealed that there is 1 RCRA-VSQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
LABA DRY CLEANERS EPA ID:: FLR000168849	2710 EAST MOODY BLVD	NW 1/8 - 1/4 (0.164 mi.)	1	8

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Protection's PCTO1--Petroleum Contamination Detail Report.

A review of the LUST list, as provided by EDR, and dated 04/27/2021 has revealed that there is 1 LUST site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FLAGLER CNTY-ROAD & Discharge Cleanup Status: SRCR - SRCR COMPLETE Facility Status: CLOSED Facility-Site Id: 8628133	1769 E MOODY BLVD	WNW 1/4 - 1/2 (0.433 mi.)	2	15

State and tribal Brownfields sites

BROWNFIELDS: Brownfields are defined by the Florida Department of Environmental Protection (FDEP) as abandoned, idled, or underused industrial and commercial facilities where expansion or redevelopment is complicated by real or perceived environmental contamination.

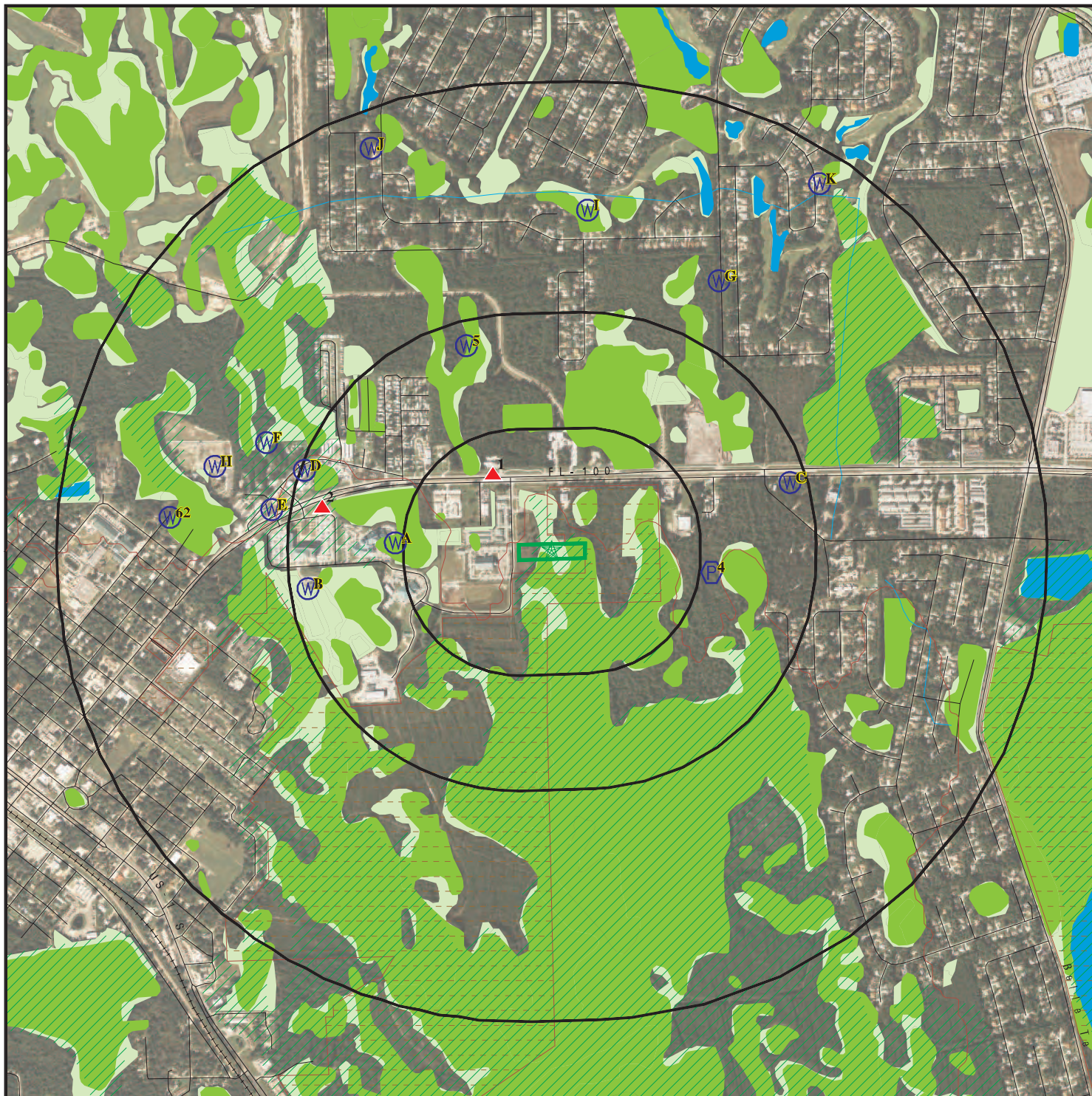
A review of the BROWNFIELDS list, as provided by EDR, has revealed that there is 1 BROWNFIELDS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FLAGLER ECONOMIC ENH Database: BROWNFIELDS AREAS, Date of Government Version: 12/28/2020		0 - 1/8 (0.000 mi.)	0	8

EXECUTIVE SUMMARY

There were no unmapped sites in this report.

OVERVIEW MAP - 6637912.2S



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites



Indian Reservations BIA

Special Flood Hazard Area (1%)

0.2% Annual Chance Flood Hazard

National Wetland Inventory

State Wetlands

FL Brownfield

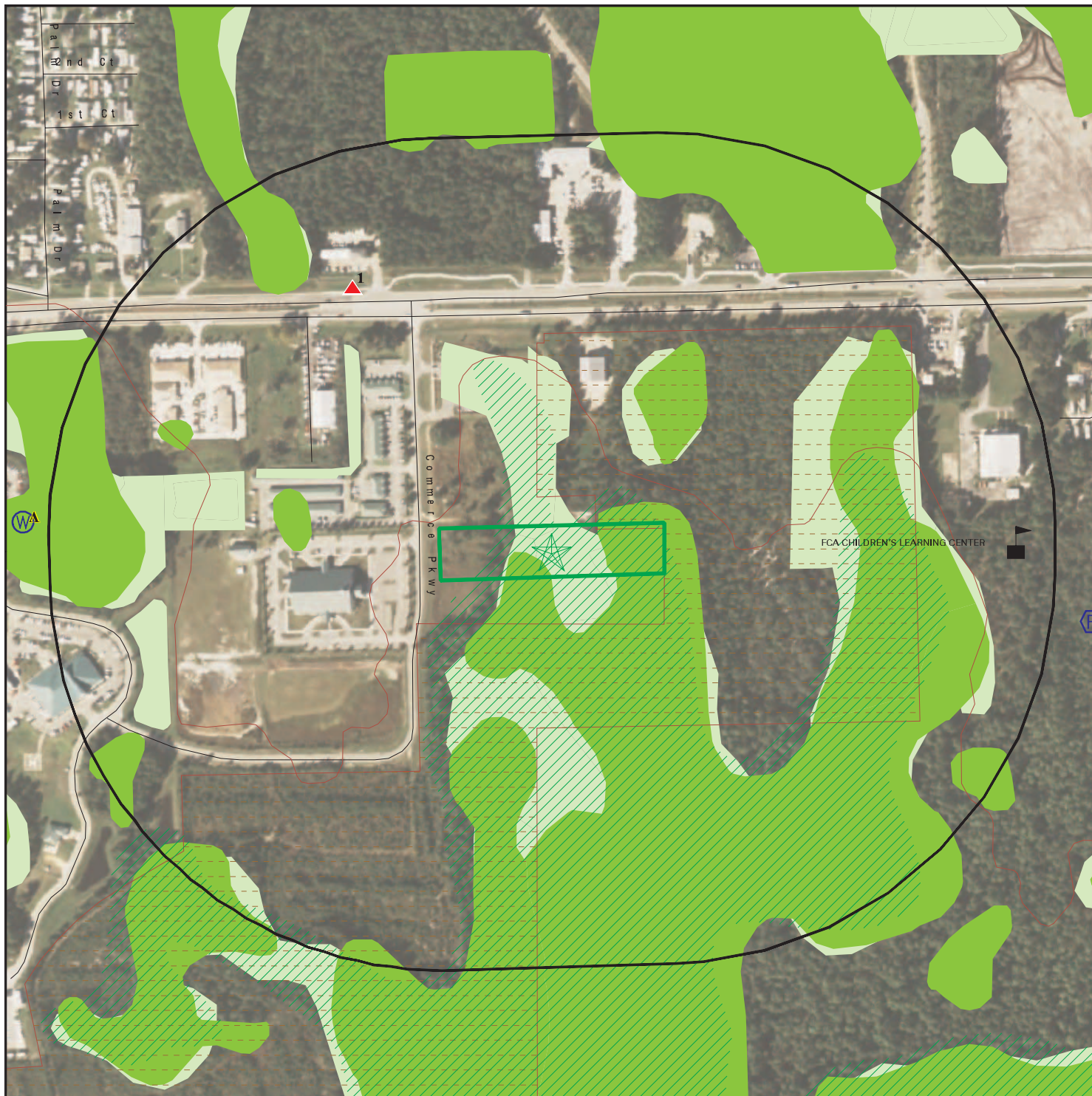









This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.







SITE NAME: Commerce Parkway
 ADDRESS: 2400 Commerce Parkway
 Bunnell FL 32110
 LAT/LONG: 29.473126 / 81.238856

CLIENT: Universal Engineering Sciences
 CONTACT: Carly Boston
 INQUIRY #: 6637912.2s
 DATE: August 26, 2021 7:18 pm

DETAIL MAP - 6637912.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Special Flood Hazard Area (1%)
-  0.2% Annual Chance Flood Hazard
-  National Wetland Inventory
-  State Wetlands
-  FL Brownfield



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Commerce Parkway ADDRESS: 2400 Commerce Parkway Bunnell FL 32110 LAT/LONG: 29.473126 / 81.238856</p>	<p>CLIENT: Universal Engineering Sciences CONTACT: Carly Boston INQUIRY #: 6637912.2s DATE: August 26, 2021 7:18 pm</p>
---	--

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		0	1	NR	NR	NR	1
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
LAST	0.500		0	0	0	NR	NR	0
LUST	0.500		0	0	1	NR	NR	1
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
FF TANKS	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250		0	0	NR	NR	NR	0
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
TANKS	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
ENG CONTROLS	0.500		0	0	0	NR	NR	0
INST CONTROL	0.500		0	0	0	NR	NR	0
State and tribal voluntary cleanup sites								
VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		1	0	0	NR	NR	1
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
Local Lists of Landfill / Solid Waste Disposal Sites								
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
PRIORITYCLEANERS	0.500		0	0	0	NR	NR	0
FI Sites	1.000		0	0	0	0	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
SPILLS 90	TP		NR	NR	NR	NR	NR	0
SPILLS 80	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
CLEANUP SITES	TP		NR	NR	NR	NR	NR	0
DEDB	0.250		0	0	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
DWM CONTAM	0.500		0	0	0	NR	NR	0
Financial Assurance	TP		NR	NR	NR	NR	NR	0
FL Cattle Dip. Vats	0.250		0	0	NR	NR	NR	0
HW GEN	0.250		0	0	NR	NR	NR	0
RESP PARTY	0.500		0	0	0	NR	NR	0
SITE INV SITES	0.500		0	0	0	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
<u>EDR HIGH RISK HISTORICAL RECORDS</u>								
<i>EDR Exclusive Records</i>								
EDR MGP	1.000		0	0	0	0	NR	0
EDR Hist Auto	0.125		0	NR	NR	NR	NR	0
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
<u>EDR RECOVERED GOVERNMENT ARCHIVES</u>								
<i>Exclusive Recovered Govt. Archives</i>								
RGA HWS	TP		NR	NR	NR	NR	NR	0
RGA LF	TP		NR	NR	NR	NR	NR	0
RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	1	1	1	0	0	3

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

< 1/8
1 ft. **FLAGLER ECONOMIC ENHANCEMENT DISTRICTS** **BROWNFIELDS** **S110523101**
PALM COAST, FL **N/A**

BROWNFIELDS AREAS:

Name: FLAGLER ECONOMIC ENHANCEMENT DISTRICTS
 Address: Not reported
 City,State,Zip: PALM COAST, FL
 Area id: BF181001000
 District: Northeast
 Acreage: 4010.83035
 Resolution: 2015-35
 Resolution Date: 05/04/2015
 Source: The Board of County Commissioners of Flagler County
 Object Id: 378
 Method: PAPER
 Area: 16231254.5
 XCoord: 670190.395
 YCoord: 610959.8293

1
NW
1/8-1/4
0.164 mi.
868 ft. **LABA DRY CLEANERS** **RCRA-VSQG** **1014389015**
2710 EAST MOODY BLVD **FLR000168849**
BUNNELL, FL 32110

Relative:
Higher
Actual:
23 ft.

RCRA-VSQG:
 Date Form Received by Agency: 2011-06-15 00:00:00.0
 Handler Name: LABA DRY CLEANERS
 Handler Address: 2710 EAST MOODY BLVD
 Handler City,State,Zip: BUNNELL, FL 32110
 EPA ID: FLR000168849
 Contact Name: MICHAEL BOLCHUNAS
 Contact Address: EAST MOODY BLVD
 Contact City,State,Zip: BUNNELL, FL 32110
 Contact Telephone: 386-437-4365
 Contact Fax: Not reported
 Contact Email: MBOLCHUNAN@CFL.RR.COM
 Contact Title: OWNER
 EPA Region: 04
 Land Type: Private
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
 Non-Notifier: X
 Biennial Report Cycle: Not reported
 Accessibility: Not reported
 Active Site Indicator: Handler Activities
 State District Owner: FL
 State District: NE
 Mailing Address: EAST MOODY BLVD
 Mailing City,State,Zip: BUNNELL, FL 32110
 Owner Name: Not reported
 Owner Type: Not reported
 Operator Name: MICHAEL BOLCHUNAS
 Operator Type: Private
 Short-Term Generator Activity: No
 Importer Activity: No
 Mixed Waste Generator: No
 Transporter Activity: No
 Transfer Facility Activity: No
 Recycler Activity with Storage: No

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site Fed-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site Converter Treatment storage and Disposal Facility:	Not reported
Active Site State-Reg Treatment Storage and Disposal Facility:	Not reported
Active Site State-Reg Handler:	---
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
Commercial TSD Indicator:	No
Treatment Storage and Disposal Type:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
Permit Renewals Workload Universe:	Not reported
Permit Workload Universe:	Not reported
Permit Progress Universe:	Not reported
Post-Closure Workload Universe:	Not reported
Closure Workload Universe:	Not reported
202 GPRA Corrective Action Baseline:	No
Corrective Action Workload Universe:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
TSDFs Potentially Subject to CA Under 3004 (u)/(v) Universe:	No
TSDFs Only Subject to CA under Discretionary Auth Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Operating TSDF Universe:	Not reported
Full Enforcement Universe:	Not reported
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	2011-11-28 10:43:53.0
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	Not reported
Manifest Broker:	Not reported
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	IGNITABLE WASTE

Handler - Owner Operator:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

Owner/Operator Indicator: Operator
Owner/Operator Name: MICHAEL BOLCHUNAS
Legal Status: Private
Date Became Current: 2011-05-23 00:00:00.
Date Ended Current: Not reported
Owner/Operator Address: 2710 EAST MOODY BOULEVARD
Owner/Operator City,State,Zip: BUNNELL, FL 32110
Owner/Operator Telephone: Not reported
Owner/Operator Telephone Ext: Not reported
Owner/Operator Fax: Not reported
Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 2011-06-15 00:00:00.0
Handler Name: LABA DRY CLEANERS
Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator
State District Owner: FL
Large Quantity Handler of Universal Waste: No
Recognized Trader Importer: No
Recognized Trader Exporter: No
Spent Lead Acid Battery Importer: No
Spent Lead Acid Battery Exporter: No
Current Record: Yes
Non Storage Recycler Activity: Not reported
Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 81232
NAICS Description: DRYCLEANING AND LAUNDRY SERVICES (EXCEPT COIN-OPERATED)

Facility Has Received Notices of Violation:

Found Violation: Yes
Agency Which Determined Violation: State
Violation Short Description: Listing - General
Date Violation was Determined: 2014-07-29 00:00:00.0
Actual Return to Compliance Date: 2014-09-08 00:00:00.0
Return to Compliance Qualifier: Unverifiable
Violation Responsible Agency: State
Scheduled Compliance Date: Not reported
Enforcement Identifier: Not reported
Date of Enforcement Action: Not reported
Enforcement Responsible Agency: Not reported
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: Not reported
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: Not reported
Enforcement Responsible Person: Not reported
Enforcement Responsible Sub-Organization: Not reported

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

SEP Sequence Number:	Not reported	
SEP Expenditure Amount:		Not reported
SEP Scheduled Completion Date:		Not reported
SEP Actual Date:		Not reported
SEP Defaulted Date:		Not reported
SEP Type:		Not reported
SEP Type Description:		Not reported
Proposed Amount:		Not reported
Final Monetary Amount:		Not reported
Paid Amount:		Not reported
Final Count:		Not reported
Final Amount:		Not reported
Found Violation:		No
Agency Which Determined Violation:		Not reported
Violation Short Description:		Not reported
Date Violation was Determined:		Not reported
Actual Return to Compliance Date:		Not reported
Return to Compliance Qualifier:		Not reported
Violation Responsible Agency:		Not reported
Scheduled Compliance Date:		Not reported
Enforcement Identifier:		Not reported
Date of Enforcement Action:		Not reported
Enforcement Responsible Agency:		Not reported
Enforcement Docket Number:		Not reported
Enforcement Attorney:		Not reported
Corrective Action Component:		Not reported
Appeal Initiated Date:		Not reported
Appeal Resolution Date:		Not reported
Disposition Status Date:		Not reported
Disposition Status:		Not reported
Disposition Status Description:		Not reported
Consent/Final Order Sequence Number:	Not reported	
Consent/Final Order Respondent Name:		Not reported
Consent/Final Order Lead Agency:		Not reported
Enforcement Type:	Not reported	
Enforcement Responsible Person:		Not reported
Enforcement Responsible Sub-Organization:		Not reported
SEP Sequence Number:	Not reported	
SEP Expenditure Amount:		Not reported
SEP Scheduled Completion Date:		Not reported
SEP Actual Date:		Not reported
SEP Defaulted Date:		Not reported
SEP Type:		Not reported
SEP Type Description:		Not reported
Proposed Amount:		Not reported
Final Monetary Amount:		Not reported
Paid Amount:		Not reported
Final Count:		Not reported
Final Amount:		Not reported
Found Violation:		Yes
Agency Which Determined Violation:		State
Violation Short Description:		State Statute or Regulation
Date Violation was Determined:		2011-04-19 00:00:00.0
Actual Return to Compliance Date:		2011-06-16 00:00:00.0
Return to Compliance Qualifier:		Unverifiable

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

Violation Responsible Agency: State
Scheduled Compliance Date: Not reported
Enforcement Identifier: 123
Date of Enforcement Action: 2011-05-24 00:00:00.0
Enforcement Responsible Agency: State
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: No
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: DEP NON-COMPLIANCE LETTER
Enforcement Responsible Person: TAA
Enforcement Responsible Sub-Organization: NE
SEP Sequence Number: Not reported
SEP Expenditure Amount: Not reported
SEP Scheduled Completion Date: Not reported
SEP Actual Date: Not reported
SEP Defaulted Date: Not reported
SEP Type: Not reported
SEP Type Description: Not reported
Proposed Amount: Not reported
Final Monetary Amount: Not reported
Paid Amount: Not reported
Final Count: Not reported
Final Amount: Not reported

Found Violation: Yes
Agency Which Determined Violation: State
Violation Short Description: Listing - General
Date Violation was Determined: 2011-04-19 00:00:00.0
Actual Return to Compliance Date: 2011-06-16 00:00:00.0
Return to Compliance Qualifier: Unverifiable
Violation Responsible Agency: State
Scheduled Compliance Date: Not reported
Enforcement Identifier: 123
Date of Enforcement Action: 2011-05-24 00:00:00.0
Enforcement Responsible Agency: State
Enforcement Docket Number: Not reported
Enforcement Attorney: Not reported
Corrective Action Component: No
Appeal Initiated Date: Not reported
Appeal Resolution Date: Not reported
Disposition Status Date: Not reported
Disposition Status: Not reported
Disposition Status Description: Not reported
Consent/Final Order Sequence Number: Not reported
Consent/Final Order Respondent Name: Not reported
Consent/Final Order Lead Agency: Not reported
Enforcement Type: DEP NON-COMPLIANCE LETTER
Enforcement Responsible Person: TAA
Enforcement Responsible Sub-Organization: NE

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

SEP Sequence Number: Not reported
 SEP Expenditure Amount: Not reported
 SEP Scheduled Completion Date: Not reported
 SEP Actual Date: Not reported
 SEP Defaulted Date: Not reported
 SEP Type: Not reported
 SEP Type Description: Not reported
 Proposed Amount: Not reported
 Final Monetary Amount: Not reported
 Paid Amount: Not reported
 Final Count: Not reported
 Final Amount: Not reported

Found Violation: No
 Agency Which Determined Violation: Not reported
 Violation Short Description: Not reported
 Date Violation was Determined: Not reported
 Actual Return to Compliance Date: Not reported
 Return to Compliance Qualifier: Not reported
 Violation Responsible Agency: Not reported
 Scheduled Compliance Date: Not reported
 Enforcement Identifier: Not reported
 Date of Enforcement Action: Not reported
 Enforcement Responsible Agency: Not reported
 Enforcement Docket Number: Not reported
 Enforcement Attorney: Not reported
 Corrective Action Component: Not reported
 Appeal Initiated Date: Not reported
 Appeal Resolution Date: Not reported
 Disposition Status Date: Not reported
 Disposition Status: Not reported
 Disposition Status Description: Not reported
 Consent/Final Order Sequence Number: Not reported
 Consent/Final Order Respondent Name: Not reported
 Consent/Final Order Lead Agency: Not reported
 Enforcement Type: Not reported
 Enforcement Responsible Person: Not reported
 Enforcement Responsible Sub-Organization: Not reported
 SEP Sequence Number: Not reported
 SEP Expenditure Amount: Not reported
 SEP Scheduled Completion Date: Not reported
 SEP Actual Date: Not reported
 SEP Defaulted Date: Not reported
 SEP Type: Not reported
 SEP Type Description: Not reported
 Proposed Amount: Not reported
 Final Monetary Amount: Not reported
 Paid Amount: Not reported
 Final Count: Not reported
 Final Amount: Not reported

Evaluation Action Summary:
 Evaluation Date: 2014-07-29 00:00:00.0
 Evaluation Responsible Agency: State
 Found Violation: Yes
 Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Evaluation Responsible Person Identifier: NHH

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

Evaluation Responsible Sub-Organization: NE
Actual Return to Compliance Date: 2014-09-08 00:00:00.0
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2010-08-13 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: COMPLIANCE ASSISTANCE VISIT
Evaluation Responsible Person Identifier: TAA
Evaluation Responsible Sub-Organization: NE
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2011-04-19 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: TAA
Evaluation Responsible Sub-Organization: NE
Actual Return to Compliance Date: 2011-06-16 00:00:00.0
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2011-04-19 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: Yes
Evaluation Type Description: COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier: TAA
Evaluation Responsible Sub-Organization: NE
Actual Return to Compliance Date: 2011-06-16 00:00:00.0
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported
Request Agency: Not reported
Former Citation: Not reported

Evaluation Date: 2011-06-16 00:00:00.0
Evaluation Responsible Agency: State
Found Violation: No
Evaluation Type Description: FOLLOW-UP INSPECTION
Evaluation Responsible Person Identifier: TAA
Evaluation Responsible Sub-Organization: NE
Actual Return to Compliance Date: Not reported
Scheduled Compliance Date: Not reported
Date of Request: Not reported
Date Response Received: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LABA DRY CLEANERS (Continued)

1014389015

Request Agency: Not reported
Former Citation: Not reported

2
WNW
1/4-1/2
0.433 mi.
2287 ft.

FLAGLER CNTY-ROAD & BRIDGE DEPT
1769 E MOODY BLVD
BUNNELL, FL 32110

LUST **U004151881**
UST **N/A**
Financial Assurance

Relative:
Higher
Actual:
19 ft.

LUST:
Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: STATE
Facility Id: 8628133
Facility Status: CLOSED
Facility Type: I - County Government
Facility Phone: (386)437-7480
Facility Cleanup Rank: 2322
District: Northeast District
Lat/Long (dms): 29 28 22.2365 / 81 14 50.9573
Section: Not reported
Township: Not reported
Range: Not reported
Feature: Not reported
Method: AGPS
Datum: 0
Score: 56
Score Effective Date: 1998-01-06 00:00:00
Score When Ranked: 56
Operator: RICHARD GORDON EXT 234
Name Update: 1995-09-11 00:00:00
Address Update: 2010-04-06 00:00:00

Petroleum Cleanup PCT Facility Score:
Facility Cleanup Status: CMPL - COMPLETED
Contact: BENJAMIN F CAULEY JR
Contact Company: FLAGLER CNTY PURCHASING
Contact Address: 1769 E MOODY BLVD #11
Contact City/State/Zip: BUNNELL, FL 32110
Phone: (904)437-7474
Bad Address Ind: N
State: FL
Zip: 32110
Score: 56
Score Effective Date: 1998-01-06 00:00:00
Related Party ID: 36281
Primary RP Role: ACCOUNT OWNER
RP Begin Date: 1995-01-26
RP Zip: 1488
RP Extension: Not reported

Discharge Cleanup Summary:
Discharge Date: 9/12/1991
PCT Discharge Combined: Not reported
Cleanup Required: R - CLEANUP REQUIRED
Discharge Cleanup Status: SRCR - SRCR COMPLETE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Disch Cleanup Status Date: 1/3/2011
Cleanup Work Status: COMPLETED
Information Source: I - PLIRP (INSURANCE)
Other Source Description: Not reported
Eligibility Indicator: E - ELIGIBLE
Site Manager: TRUEBLOOD_K
Site Mgr End Date: 1/3/2011
Tank Office: PCTM5 - PETROLEUM CLEANUP TEAM 5

Petroleum Cleanup Program Eligibility:

Facility ID: 8628133
Discharge Date: 9/12/1991
Pct Discharge Combined With: Not reported
Cleanup Required: R - CLEANUP REQUIRED
Discharge Cleanup Status: SRCR - SRCR COMPLETE
Disch Cleanup Status Date: 1/3/2011
Cleanup Work Status: COMPLETED
Information Source: Not reported
Other Source Description: Not reported
Application Received Date: Not reported
Cleanup Program: A - ABANDONED TANK RESTORATION PROGRAM
Eligibility Status: Not reported
Elig Status Date: Not reported
Letter Of Intent Date: Not reported
Redetermined: Not reported
Inspection Date: Not reported
Site Manager: TRUEBLOOD_K
Site Mgr End Date: 1/3/2011
Tank Office: PCTM5 - PETROLEUM CLEANUP TEAM 5

Deductible Amount: Not reported
Deductible Paid To Date: Not reported
Co-Pay Amount: Not reported
Co-Pay Paid To Date: Not reported
Cap Amount: 1200000
Facility ID: 8628133
Discharge Date: 9/12/1991
Pct Discharge Combined With: Not reported
Cleanup Required: R - CLEANUP REQUIRED
Discharge Cleanup Status: SRCR - SRCR COMPLETE
Disch Cleanup Status Date: 1/3/2011
Cleanup Work Status: COMPLETED
Information Source: Not reported
Other Source Description: Not reported
Application Received Date: Not reported
Cleanup Program: P - PETROLEUM LIABILITY AND RESTORATION INSURANCE PROGRAM
Eligibility Status: Not reported
Elig Status Date: Not reported
Letter Of Intent Date: Not reported
Redetermined: Not reported
Inspection Date: Not reported
Site Manager: TRUEBLOOD_K
Site Mgr End Date: 1/3/2011
Tank Office: PCTM5 - PETROLEUM CLEANUP TEAM 5
Deductible Amount: Not reported
Deductible Paid To Date: Not reported
Co-Pay Amount: Not reported
Co-Pay Paid To Date: Not reported
Cap Amount: 1200000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Contaminated Media:

Discharge Date: 9/12/1991
Pct Discharge Combined With: Not reported
Cleanup Required: R - CLEANUP REQUIRED
Discharge Cleanup Status: SRCR - SRCR COMPLETE
Disch Cleanup Status Date: 1/3/2011
Cleanup Work Status: COMPLETED
Information Source: I - PLIRP (INSURANCE)
Other Source Description: Not reported
Elig Indicator: E - ELIGIBLE
Site Manager: TRUEBLOOD_K
Site Mgr End Date: 1/3/2011
Tank Office: PCTM5 - PETROLEUM CLEANUP TEAM
Contaminated Drinking Wells: 0
Contaminated Monitoring Well: No
Contaminated Soil: Yes
Contaminated Surface Water: No
Contaminated Ground Water: No
Pollutant: B - Unleaded Gas
Pollutant Other Description: Not reported
Gallons Discharged: Not reported

Task Information:

District: NED
Facility ID: 8628133
Facility Status: CLOSED
Facility Type: I - County Government -
County: FLAGLER
County ID: 18
Cleanup Eligibility Status: E
Source Effective Date: 12-14-2010
Discharge Date: 09-12-1991
Cleanup Required: R - CLEANUP REQUIRED
Discharge Cleanup Status: SRCR - SRCR COMPLETE
Disch Cleanup Status Date: 01-03-2011
SRC Action Type: SRCR - SITE REHABILITATION COMPLETION REPORT
SRC Submit Date: 11-17-2010
SRC Review Date: 12-14-2010
SRC Completion Status: A - APPROVED
SRC Issue Date: 01-03-2011
SRC Comment: Not reported
Cleanup Work Status: COMPLETED
Site Mgr: TRUEBLOOD_K
Site Mgr End Date: 01-03-2011
Tank Office: PCTM5 - Team 5
SR Task ID: 77742
SR Cleanup Responsible: -
SR Funding Eligibility Type: -
SR Actual Cost: Not reported
SR Completion Date: 01-24-2006
SR Payment Date: Not reported
SR Oral Date: Not reported
SR Written Date: Not reported
SR Soil Removal: Y
SR Free Product Removal: Not reported
SR Soil Tonnage Removed: 2612
SR Soil Treatment: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

SR Other Treatment: 183.4 TONS EXC CONTA
SR Alternate Proc Received Date: Not reported
SR Alternate Procedure Status: Not reported
SR Alternate Procedure Status Date: Not reported
SR Alternate Procedure Comments: Not reported
SA Task ID: 13336
SA Cleanup Responsible: -
SA Funding Eligibility Type: -
SA Actual Cost: Not reported
SA Completion Date: 04-07-1993
SA Payment Date: Not reported
RAP Task ID: 63699
RAP Cleanup Responsible ID: -
RAP Funding Eligibility Type: -
RAP Actual Cost: Not reported
RAP Completion Date: Not reported
RAP Payment Date: Not reported
RAP Last Order Approved: Not reported
RA Task ID: 71988
RA Cleanup Responsible: -
RA Funding Eligibility Type: -
RA Years to Complete: 0
RA Actual Cost: Not reported

[Click here for Florida Oculus:](#)

UST:

Facility Id: 8628133
Facility Status: CLOSED
Type Description: County Government
Facility Phone: 3864377480
Region: STATE
Positioning Method: AGPS
Lat/Long (dms): 29 28 22 / 81 14 52

Owner:

Owner Id: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address 2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Owner Contact: BENJAMIN F CAULEY JR
Owner Phone: 9044377474

Tank Info:

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 1
Status: Removed
Status Date: 09/30/1991
Install Date: 9/1/1981
Substance: Leaded gas
Content Description: Leaded Gas
Gallons: 4000
Vessel Indicator: TANK

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 10
Status: Removed
Status Date: 01/01/2006
Install Date: 3/1/1991
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 10000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 11
Status: Removed
Status Date: 01/01/2006
Install Date: 3/1/1991
Substance: Vehicular diesel
Content Description: Vehicular Diesel
Gallons: 10000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 12
Status: Removed
Status Date: 01/01/2006
Install Date: 3/1/1991
Substance: Vehicular diesel
Content Description: Vehicular Diesel
Gallons: 10000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 2
Status: Removed
Status Date: 09/30/1991
Install Date: 11/1/1977
Substance: Leaded gas

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Content Description: Leaded Gas
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 3
Status: Removed
Status Date: 09/30/1991
Install Date: 11/1/1977
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 4
Status: Removed
Status Date: 09/30/1991
Install Date: 11/1/1977
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 5
Status: Removed
Status Date: 09/30/1991
Install Date: 8/1/1979
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 6
Status: Removed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Status Date: 09/30/1991
Install Date: 8/1/1979
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 7
Status: Removed
Status Date: 09/30/1991
Install Date: 11/1/1977
Substance: Vehicular diesel
Content Description: Vehicular Diesel
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 8
Status: Removed
Status Date: 09/30/1991
Install Date: 8/1/1979
Substance: Vehicular diesel
Content Description: Vehicular Diesel
Gallons: 4000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City: BUNNELL
Zip: 32110
Tank Id: 9
Status: Removed
Status Date: 01/01/2006
Install Date: 3/1/1991
Substance: Unleaded gas
Content Description: Unleaded Gas
Gallons: 10000
Vessel Indicator: TANK
Tank Location: UNDERGROUND
DEP Contractor: P

[Click here for Florida Oculus:](#)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

FL Financial Assurance 3:

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 8628133
Facility Phone: 3864377480
Facility Status: CLOSED
Facility Type: I
Type Description: County Government
DEP CO: P
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2005
Expire Date: 01/31/2006
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2009
Expire Date: 01/31/2010
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Effective Date: 01/31/2010
Expire Date: 01/31/2011
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2011
Expire Date: 01/31/2012
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2013
Expire Date: 01/31/2014
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2014
Expire Date: 01/31/2015
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2015
Expire Date: 01/31/2017
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2017
Expire Date: 01/31/2018
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FLAGLER CNTY-ROAD & BRIDGE DEPT (Continued)

U004151881

Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY
Effective Date: 01/31/2018
Expire Date: 01/31/2019
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Name: FLAGLER CNTY-ROAD & BRIDGE DEPT
Address: 1769 E MOODY BLVD
City,State,Zip: BUNNELL, FL 32110
Region: 3
Facility ID: 9807845
Facility Phone: 3863134191
Facility Status: OPEN
Facility Type: I
Type Description: County Government
DEP CO: C
Financial Responsibility: INSURANCE
Insurance Company: COMMERCE & INDUSTRY INSURANCE CO
Effective Date: 01/31/2019
Expire Date: 01/31/2021
Owner ID: 36281
Owner Name: FLAGLER CNTY PURCHASING
Owner Address: 1769 E MOODY BLVD #11
Owner Address2: ATTN: PURCHASING
Owner City,St,Zip: BUNNELL, FL 32110
Contact: BENJAMIN F CAULEY JR
Resp Party Phone: 9044377474

Count: 0 records.

ORPHAN SUMMARY

<u>City</u>	<u>EDR ID</u>	<u>Site Name</u>	<u>Site Address</u>	<u>Zip</u>	<u>Database(s)</u>
NO SITES FOUND					

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: N/A
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: N/A
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991
Date Data Arrived at EDR: 02/02/1994
Date Made Active in Reports: 03/30/1994
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: EPA
Telephone: N/A
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 02/22/2021
Date Data Arrived at EDR: 03/30/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 79

Source: Environmental Protection Agency
Telephone: 703-603-8704
Last EDR Contact: 06/23/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/22/2021	Source: EPA
Date Data Arrived at EDR: 03/23/2021	Telephone: 800-424-9346
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/22/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/23/2021	Telephone: (404) 562-8651
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 06/21/2021
Number of Days to Update: 57	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 05/10/2021	Source: Department of the Navy
Date Data Arrived at EDR: 05/13/2021	Telephone: 843-820-7326
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 08/05/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/22/2021
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

US INST CONTROLS: Institutional Controls Sites List

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 05/17/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 703-603-0695
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/23/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 06/14/2021
Date Data Arrived at EDR: 06/17/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 61

Source: National Response Center, United States Coast Guard
Telephone: 202-267-2180
Last EDR Contact: 06/17/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

State- and tribal - equivalent CERCLIS

SHWS: Florida's State-Funded Action Sites

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 01/13/2020
Date Data Arrived at EDR: 02/19/2020
Date Made Active in Reports: 04/28/2020
Number of Days to Update: 69

Source: Department of Environmental Protection
Telephone: 850-488-0190
Last EDR Contact: 08/19/2020
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Semi-Annually

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Solid Waste Facility Database

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 04/12/2021
Date Data Arrived at EDR: 04/13/2021
Date Made Active in Reports: 06/28/2021
Number of Days to Update: 76

Source: Department of Environmental Protection
Telephone: 850-922-7121
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Quarterly

State and tribal leaking storage tank lists

LUST: Petroleum Contamination Detail Report

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 04/28/2021
Date Made Active in Reports: 07/14/2021
Number of Days to Update: 77

Source: Department of Environmental Protection
Telephone: 850-245-8839
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

LAST: Leaking Aboveground Storage Tank Listing

The file for Leaking Aboveground Storage Tanks. Please remember STCM does not track the source of the discharge so the agency provides a list of facilities with an aboveground tank and an open discharge split by facilities with aboveground tanks only and facilities with aboveground and underground tanks.

Date of Government Version: 04/29/2021
Date Data Arrived at EDR: 04/29/2021
Date Made Active in Reports: 07/15/2021
Number of Days to Update: 77

Source: Department of Environmental Protection
Telephone: 850-245-8799
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-6597
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2020	Source: EPA Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-8677
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6271
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land
Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 10/07/2020	Source: EPA, Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-7439
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 10/01/2020	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3372
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing
A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/29/2021	Source: FEMA
Date Data Arrived at EDR: 02/17/2021	Telephone: 202-646-5797
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 06/29/2021
Number of Days to Update: 33	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Varies

FF TANKS: Federal Facilities Listing
A listing of federal facilities with storage tanks.

Date of Government Version: 03/29/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/30/2021	Telephone: 850-245-8250
Date Made Active in Reports: 06/17/2021	Last EDR Contact: 06/15/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

UST: Storage Tank Facility Information
Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 04/28/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/28/2021	Telephone: 850-245-8839
Date Made Active in Reports: 07/14/2021	Last EDR Contact: 07/20/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

AST: Storage Tank Facility Information
Registered Aboveground Storage Tanks.

Date of Government Version: 04/28/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/28/2021	Telephone: 850-245-8839
Date Made Active in Reports: 07/14/2021	Last EDR Contact: 07/20/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

INDIAN UST R5: Underground Storage Tanks on Indian Land
The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 10/07/2020	Source: EPA Region 5
Date Data Arrived at EDR: 12/16/2020	Telephone: 312-886-6136
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 09/30/2020	Source: EPA Region 7
Date Data Arrived at EDR: 12/22/2020	Telephone: 913-551-7003
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA Region 9
Date Data Arrived at EDR: 12/16/2020	Telephone: 415-972-3368
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2020	Source: EPA, Region 1
Date Data Arrived at EDR: 12/16/2020	Telephone: 617-918-1313
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 10/02/2020	Source: EPA Region 4
Date Data Arrived at EDR: 12/18/2020	Telephone: 404-562-9424
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/12/2020	Source: EPA Region 10
Date Data Arrived at EDR: 12/16/2020	Telephone: 206-553-2857
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 10/09/2020	Source: EPA Region 8
Date Data Arrived at EDR: 12/16/2020	Telephone: 303-312-6137
Date Made Active in Reports: 03/12/2021	Last EDR Contact: 06/11/2021
Number of Days to Update: 86	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/08/2020	Source: EPA Region 6
Date Data Arrived at EDR: 05/20/2020	Telephone: 214-665-7591
Date Made Active in Reports: 08/12/2020	Last EDR Contact: 06/11/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

TANKS: Storage Tank Facility List

This listing includes storage tank facilities that do not have tank information. The tanks have either be closed or removed from the site, but the facilities were still registered at some point in history.

Date of Government Version: 04/28/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/28/2021	Telephone: 850-245-8841
Date Made Active in Reports: 07/14/2021	Last EDR Contact: 07/20/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

State and tribal institutional control / engineering control registries

ENG CONTROLS: Institutional Controls Registry

The registry is a database of all contaminated sites in the state of Florida which are subject to engineering controls. Engineering Controls encompass a variety of engineered remedies to contain and/or reduce contamination, and/or physical barriers intended to limit access to property. ECs include fences, signs, guards, landfill caps, provision of potable water, slurry walls, sheet pile (vertical caps), pumping and treatment of groundwater, monitoring wells, and vapor extraction systems.

Date of Government Version: 03/29/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/30/2021	Telephone: 850-245-8927
Date Made Active in Reports: 06/17/2021	Last EDR Contact: 06/24/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Semi-Annually

Inst Control: Institutional Controls Registry

The registry is a database of all contaminated sites in the state of Florida which are subject to institutional and engineering controls.

Date of Government Version: 03/29/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/30/2021	Telephone: 850-245-8927
Date Made Active in Reports: 06/17/2021	Last EDR Contact: 06/24/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Semi-Annually

State and tribal voluntary cleanup sites

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: No Update Planned

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/27/2015
Date Data Arrived at EDR: 09/29/2015
Date Made Active in Reports: 02/18/2016
Number of Days to Update: 142

Source: EPA, Region 1
Telephone: 617-918-1102
Last EDR Contact: 06/15/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: No Update Planned

VCP: Voluntary Cleanup Sites

Listing of closed and active voluntary cleanup sites.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/14/2021
Date Made Active in Reports: 07/27/2021
Number of Days to Update: 74

Source: Department of Environmental Protection
Telephone: 850-245-8705
Last EDR Contact: 08/19/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS AREAS: Brownfields Areas Database

A "brownfield area" means a contiguous area of one or more brownfield sites, some of which may not be contaminated, that has been designated as such by a local government resolution. Such areas may include all or portions of community redevelopment areas, enterprise zones, empowerment zones, other such designated economically deprived communities and areas, and Environmental Protection Agency (EPA) designated brownfield pilot projects. This layer provides a polygon representation of the boundaries of these designated Brownfield Areas in Florida.

Date of Government Version: 12/28/2020
Date Data Arrived at EDR: 03/30/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 79

Source: Department of Environmental Protection
Telephone: 850-245-8934
Last EDR Contact: 06/24/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Quarterly

BROWNFIELDS: Brownfields Sites Database

Brownfields are defined by the Florida Department of Environmental Protection (FDEP) as abandoned, idled, or underused industrial and commercial facilities where expansion or redevelopment is complicated by real or perceived environmental contamination.

Date of Government Version: 01/06/2021
Date Data Arrived at EDR: 03/30/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 79

Source: Department of Environmental Protection
Telephone: 850-245-8927
Last EDR Contact: 06/24/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Semi-Annually

BSRA: Brownfield Site Rehabilitation Agreements Listing

The BSRA provides DEP and the public assurance that site rehabilitation will be conducted in accordance with Florida Statutes and DEP's Contaminated Site Cleanup Criteria rule. In addition, the BSRA provides limited liability protection for the voluntary responsible party. The BSRA contains various commitments by the voluntary responsible party, including milestones for completion of site rehabilitation tasks and submittal of technical reports and plans.

It also contains a commitment by DEP to review technical reports according to an agreed upon schedule. Only those brownfield sites with an executed BSRA are eligible to apply for a voluntary cleanup tax credit incentive pursuant to Section 376.30781, Florida Statutes.

Date of Government Version: 07/14/2020
Date Data Arrived at EDR: 09/29/2020
Date Made Active in Reports: 12/17/2020
Number of Days to Update: 79

Source: Department of Environmental Protection
Telephone: 850-245-8934
Last EDR Contact: 06/24/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/10/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/10/2021	Telephone: 202-566-2777
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 06/10/2021
Number of Days to Update: 68	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY: Recycling Centers

A listing of recycling centers located in the state of Florida.

Date of Government Version: 12/03/2018	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/15/2019	Telephone: 850-245-8718
Date Made Active in Reports: 03/14/2019	Last EDR Contact: 07/16/2021
Number of Days to Update: 58	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/03/2007	Telephone: 703-308-8245
Date Made Active in Reports: 01/24/2008	Last EDR Contact: 07/20/2021
Number of Days to Update: 52	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: No Update Planned

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009	Source: EPA, Region 9
Date Data Arrived at EDR: 05/07/2009	Telephone: 415-947-4219
Date Made Active in Reports: 09/21/2009	Last EDR Contact: 07/13/2021
Number of Days to Update: 137	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: No Update Planned

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/09/2004	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/2004	Last EDR Contact: 06/09/2004
Number of Days to Update: 39	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: No Update Planned

PRIORITYCLEANERS: Priority Ranking List

The Florida Legislature has established a state-funded program to cleanup properties that are contaminated as a result of the operations of a drycleaning facility.

Date of Government Version: 04/21/2021
Date Data Arrived at EDR: 05/11/2021
Date Made Active in Reports: 07/27/2021
Number of Days to Update: 77

Source: Department of Environmental Protection
Telephone: 850-245-8927
Last EDR Contact: 08/10/2021
Next Scheduled EDR Contact: 11/22/2021
Data Release Frequency: Varies

FL SITES: Sites List

This summary status report was developed from a number of lists including the Eckhardt list, the Moffitt list, the EPA Hazardous Waste Sites list, EPA's Emergency & Remedial Response information System list (RCRA Section 3012) & existing department lists such as the obsolete uncontrolled Hazardous Waste Sites list. This list is no longer updated.

Date of Government Version: 12/31/1989
Date Data Arrived at EDR: 05/09/1994
Date Made Active in Reports: 08/04/1994
Number of Days to Update: 87

Source: Department of Environmental Protection
Telephone: 850-245-8705
Last EDR Contact: 03/24/1994
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 05/18/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 77

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Quarterly

PFAS: PFOS and PFOA stand for perfluorooctane sulfonate and perfluorooctanoic acid

PFOS and PFOA stand for perfluorooctane sulfonate and perfluorooctanoic acid, respectively. Both are fluorinated organic chemicals, part of a larger family of compounds referred to as perfluoroalkyl substances (PFASs).

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 04/29/2021
Date Made Active in Reports: 07/19/2021
Number of Days to Update: 81

Source: Department of Environmental Protection
Telephone: 850-245-8690
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 04/27/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/03/2021	Telephone: 202-564-6023
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/22/2021	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 03/24/2021	Telephone: 202-366-4555
Date Made Active in Reports: 06/17/2021	Last EDR Contact: 06/17/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Quarterly

SPILLS: Oil and Hazardous Materials Incidents

Statewide oil and hazardous materials inland incidents.

Date of Government Version: 04/05/2021	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2021	Telephone: 850-245-2010
Date Made Active in Reports: 06/24/2021	Last EDR Contact: 06/29/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Semi-Annually

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 12/10/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 03/04/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 60	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 09/01/2001	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 03/06/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 62	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/23/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 57

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 05/04/2021
Date Data Arrived at EDR: 05/18/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 85

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 07/13/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018
Date Data Arrived at EDR: 04/11/2018
Date Made Active in Reports: 11/06/2019
Number of Days to Update: 574

Source: U.S. Geological Survey
Telephone: 888-275-8747
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017
Date Data Arrived at EDR: 02/03/2017
Date Made Active in Reports: 04/07/2017
Number of Days to Update: 63

Source: Environmental Protection Agency
Telephone: 615-532-8599
Last EDR Contact: 08/06/2021
Next Scheduled EDR Contact: 11/22/2021
Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/22/2021
Date Data Arrived at EDR: 03/23/2021
Date Made Active in Reports: 06/17/2021
Number of Days to Update: 86

Source: Environmental Protection Agency
Telephone: 202-566-1917
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 07/26/2021
Number of Days to Update: 88	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: No Update Planned

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 08/06/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/17/2020	Telephone: 202-260-5521
Date Made Active in Reports: 09/10/2020	Last EDR Contact: 06/17/2021
Number of Days to Update: 85	Next Scheduled EDR Contact: 09/27/2021
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2018	Source: EPA
Date Data Arrived at EDR: 08/14/2020	Telephone: 202-566-0250
Date Made Active in Reports: 11/04/2020	Last EDR Contact: 08/17/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/29/2021
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 04/19/2021	Source: EPA
Date Data Arrived at EDR: 04/20/2021	Telephone: 202-564-4203
Date Made Active in Reports: 07/16/2021	Last EDR Contact: 07/19/2021
Number of Days to Update: 87	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 04/27/2021	Source: EPA
Date Data Arrived at EDR: 05/03/2021	Telephone: 703-416-0223
Date Made Active in Reports: 05/19/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 16	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Annually

RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 05/07/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/13/2021	Telephone: 202-564-8600
Date Made Active in Reports: 08/03/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 12/30/2020	Source: EPA
Date Data Arrived at EDR: 01/14/2021	Telephone: 202-564-6023
Date Made Active in Reports: 03/05/2021	Last EDR Contact: 08/04/2021
Number of Days to Update: 50	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/19/2020	Source: EPA
Date Data Arrived at EDR: 01/08/2021	Telephone: 202-566-0500
Date Made Active in Reports: 03/22/2021	Last EDR Contact: 07/09/2021
Number of Days to Update: 73	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 06/29/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/18/2021
	Data Release Frequency: No Update Planned

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/08/2021	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 03/11/2021	Telephone: 301-415-7169
Date Made Active in Reports: 05/11/2021	Last EDR Contact: 07/14/2021
Number of Days to Update: 61	Next Scheduled EDR Contact: 11/01/2021
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2019	Source: Department of Energy
Date Data Arrived at EDR: 12/01/2020	Telephone: 202-586-8719
Date Made Active in Reports: 02/09/2021	Last EDR Contact: 05/27/2021
Number of Days to Update: 70	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 05/27/2021
Number of Days to Update: 251	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 08/06/2021
Number of Days to Update: 96	Next Scheduled EDR Contact: 11/15/2021
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 07/01/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 07/01/2019	Telephone: 202-343-9775
Date Made Active in Reports: 09/23/2019	Last EDR Contact: 06/22/2021
Number of Days to Update: 84	Next Scheduled EDR Contact: 10/11/2021
	Data Release Frequency: No Update Planned

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 01/28/2020	Telephone: 202-366-4595
Date Made Active in Reports: 04/17/2020	Last EDR Contact: 07/23/2021
Number of Days to Update: 80	Next Scheduled EDR Contact: 11/08/2021
	Data Release Frequency: Quarterly

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 06/30/2021
Date Data Arrived at EDR: 07/14/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 2

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 06/22/2020
Date Made Active in Reports: 11/20/2020
Number of Days to Update: 151

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 06/21/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Biennially

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 07/14/2015
Date Made Active in Reports: 01/10/2017
Number of Days to Update: 546

Source: USGS
Telephone: 202-208-3710
Last EDR Contact: 07/02/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 08/08/2017
Date Data Arrived at EDR: 09/11/2018
Date Made Active in Reports: 09/14/2018
Number of Days to Update: 3

Source: Department of Energy
Telephone: 202-586-3559
Last EDR Contact: 07/23/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019
Date Data Arrived at EDR: 11/15/2019
Date Made Active in Reports: 01/28/2020
Number of Days to Update: 74

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 08/12/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 04/27/2021
Date Data Arrived at EDR: 05/03/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 16

Source: Environmental Protection Agency
Telephone: 703-603-8787
Last EDR Contact: 08/04/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/05/2001
Date Data Arrived at EDR: 10/27/2010
Date Made Active in Reports: 12/02/2010
Number of Days to Update: 36

Source: American Journal of Public Health
Telephone: 703-305-6451
Last EDR Contact: 12/02/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: No Update Planned

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 05/03/2021
Date Data Arrived at EDR: 05/25/2021
Date Made Active in Reports: 08/11/2021
Number of Days to Update: 78

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 08/24/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Semi-Annually

MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 05/27/2021
Date Data Arrived at EDR: 05/27/2021
Date Made Active in Reports: 06/10/2021
Number of Days to Update: 14

Source: DOL, Mine Safety & Health Admi
Telephone: 202-693-9424
Last EDR Contact: 08/25/2021
Next Scheduled EDR Contact: 12/13/2021
Data Release Frequency: Quarterly

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 05/06/2020
Date Data Arrived at EDR: 05/27/2020
Date Made Active in Reports: 08/13/2020
Number of Days to Update: 78

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011	Source: USGS
Date Data Arrived at EDR: 06/08/2011	Telephone: 703-648-7709
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 05/27/2021
Number of Days to Update: 97	Next Scheduled EDR Contact: 09/06/2021
	Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 06/15/2021	Source: Department of Interior
Date Data Arrived at EDR: 06/16/2021	Telephone: 202-208-2609
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 06/14/2021
Number of Days to Update: 62	Next Scheduled EDR Contact: 09/20/2021
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 05/05/2021	Source: EPA
Date Data Arrived at EDR: 05/18/2021	Telephone: (404) 562-9900
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 05/18/2021
Number of Days to Update: 91	Next Scheduled EDR Contact: 09/13/2021
	Data Release Frequency: Quarterly

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 12/31/2018	Source: Department of Defense
Date Data Arrived at EDR: 07/02/2020	Telephone: 703-704-1564
Date Made Active in Reports: 09/17/2020	Last EDR Contact: 07/07/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/25/2021
	Data Release Frequency: Varies

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 202-564-0527
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 05/21/2021
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/06/2021
	Data Release Frequency: Varies

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/04/2021
Date Data Arrived at EDR: 04/06/2021
Date Made Active in Reports: 06/25/2021
Number of Days to Update: 80

Source: Environmental Protection Agency
Telephone: 202-564-2280
Last EDR Contact: 07/01/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Quarterly

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 05/14/2021
Date Data Arrived at EDR: 05/14/2021
Date Made Active in Reports: 08/03/2021
Number of Days to Update: 81

Source: EPA
Telephone: 800-385-6164
Last EDR Contact: 08/13/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Quarterly

AIRS: Permitted Facilities Listing

A listing of Air Resources Management permits.

Date of Government Version: 01/26/2021
Date Data Arrived at EDR: 01/28/2021
Date Made Active in Reports: 02/03/2021
Number of Days to Update: 6

Source: Department of Environmental Protection
Telephone: 850-921-9558
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Varies

ASBESTOS: Asbestos Notification Listing

Asbestos sites

Date of Government Version: 05/12/2021
Date Data Arrived at EDR: 05/13/2021
Date Made Active in Reports: 07/27/2021
Number of Days to Update: 75

Source: Department of Environmental Protection
Telephone: 850-717-9086
Last EDR Contact: 08/10/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Varies

CLEANUP SITES: DEP Cleanup Sites - Contamination Locator Map Listing

This listing includes the locations of waste cleanup sites from various programs. The source of the cleanup site data includes Hazardous Waste programs, Site Investigation Section, Compliance and Enforcement Tracking, Drycleaning State Funded Cleanup Program (possibly other state funded cleanup), Storage Tank Contamination Monitoring.

Date of Government Version: 05/21/2021
Date Data Arrived at EDR: 05/21/2021
Date Made Active in Reports: 08/09/2021
Number of Days to Update: 80

Source: Department of Environmental Protection
Telephone: 866-282-0787
Last EDR Contact: 08/23/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Quarterly

DEDB: Ethylene Dibromide Database Results

Ethylene dibromide (EDB), a soil fumigant, that has been detected in drinking water wells. The amount found exceeds the maximum contaminant level as stated in Chapter 62-550 or 520. It is a potential threat to public health when present in drinking water.

Date of Government Version: 06/22/2021
Date Data Arrived at EDR: 06/23/2021
Date Made Active in Reports: 07/12/2021
Number of Days to Update: 19

Source: Department of Environmental Protection
Telephone: 850-245-8335
Last EDR Contact: 06/22/2021
Next Scheduled EDR Contact: 09/27/2021
Data Release Frequency: Varies

DRYCLEANERS: Drycleaning Facilities

The Drycleaners database, maintained by the Department of Environmental Protection, provides information about permitted dry cleaner facilities.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/19/2021
Date Data Arrived at EDR: 04/20/2021
Date Made Active in Reports: 07/07/2021
Number of Days to Update: 78

Source: Department of Environmental Protection
Telephone: 850-245-8927
Last EDR Contact: 07/16/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Semi-Annually

DWM CONTAM: DWM CONTAMINATED SITES

A listing of active or known sites. The listing includes sites that need cleanup but are not actively being working on because the agency currently does not have funding (primarily petroleum and drycleaning).

Date of Government Version: 11/13/2020
Date Data Arrived at EDR: 11/17/2020
Date Made Active in Reports: 02/10/2021
Number of Days to Update: 85

Source: Department of Environmental Protection
Telephone: 850-245-7503
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

Financial Assurance 1: Financial Assurance Information Listing

A list of hazardous waste facilities required to provide financial assurance under RCRA.

Date of Government Version: 04/07/2021
Date Data Arrived at EDR: 04/28/2021
Date Made Active in Reports: 07/14/2021
Number of Days to Update: 77

Source: Department of Environmental Protection
Telephone: 850-245-8793
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Semi-Annually

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities.

Date of Government Version: 01/07/2021
Date Data Arrived at EDR: 02/26/2021
Date Made Active in Reports: 05/19/2021
Number of Days to Update: 82

Source: Department of Environmental Protection
Telephone: 850-245-8743
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Semi-Annually

Financial Assurance 3: Financial Assurance Information Listing

A listing of financial assurance information for storage tanks sites.

Date of Government Version: 04/26/2021
Date Data Arrived at EDR: 04/27/2021
Date Made Active in Reports: 07/14/2021
Number of Days to Update: 78

Source: Department of Environmental Protection
Telephone: 850-245-8853
Last EDR Contact: 07/20/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

FL Cattle Dip. Vats: Cattle Dipping Vats

From the 1910's through the 1950's, these vats were filled with an arsenic solution for the control and eradication of the cattle fever tick. Other pesticides, such as DDT, were also widely used. By State law, all cattle, horses, mules, goats, and other susceptible animals were required to be dipped every 14 days. Under certain circumstances, the arsenic and other pesticides remaining at the site may present an environmental or public health hazard.

Date of Government Version: 09/27/2019
Date Data Arrived at EDR: 01/10/2020
Date Made Active in Reports: 02/11/2020
Number of Days to Update: 32

Source: Department of Environmental Protection
Telephone: 850-245-4444
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

HW GEN: Hazardous Waste Generators

Small Quantity Hazardous Waste Generators are regulated under the federal Resource Conservation and Recovery Act (RCRA) and applicable state regulations as generators of hazardous wastes in quantities greater than 100 Kg but less than 1,000 Kg in any one calendar month. Large Quantity Generators of Hazardous Waste are tracked in this coverage based on their notification to the Department of Environmental Protection as to their handler status, or based on inspections conducted at their facilities. These facilities are regulated under the federal Resource Conservation and Recovery Act (RCRA) and applicable state regulations as generators of hazardous wastes in quantities equal to or greater than 1,000 Kg in any one calendar month.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/23/2021
Date Data Arrived at EDR: 03/24/2021
Date Made Active in Reports: 06/10/2021
Number of Days to Update: 78

Source: Department of Environmental Protection
Telephone: 850-245-8758
Last EDR Contact: 08/09/2021
Next Scheduled EDR Contact: 10/04/2021
Data Release Frequency: Quarterly

RESP PARTY: Responsible Party Sites Listing
Open, inactive and closed responsible party sites

Date of Government Version: 06/21/2021
Date Data Arrived at EDR: 07/29/2021
Date Made Active in Reports: 08/17/2021
Number of Days to Update: 19

Source: Department of Environmental Protection
Telephone: 850-245-8758
Last EDR Contact: 08/16/2021
Next Scheduled EDR Contact: 10/11/2021
Data Release Frequency: Quarterly

SITE INV SITES: Site Investigation Section Sites Listing

Statewide coverage of Site Investigation Section (SIS) sites. Site Investigation is a Section within the Bureau of Waste Cleanup, Division of Waste Management. SIS provides technical support to FDEP District Waste Cleanup Programs and conducts contamination assessments throughout the state.

Date of Government Version: 05/03/2021
Date Data Arrived at EDR: 05/14/2021
Date Made Active in Reports: 07/27/2021
Number of Days to Update: 74

Source: Department of Environmental Protection
Telephone: 850-245-8953
Last EDR Contact: 08/13/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Quarterly

TIER 2: Tier 2 Facility Listing

A listing of facilities which store or manufacture hazardous materials that submit a chemical inventory report.

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 06/05/2020
Date Made Active in Reports: 08/19/2020
Number of Days to Update: 75

Source: Department of Environmental Protection
Telephone: 850-413-9970
Last EDR Contact: 06/02/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Varies

UIC: Underground Injection Wells Database Listing

A listing of Class I wells. Class I wells are used to inject hazardous waste, nonhazardous waste, or municipal waste below the lowermost USDW.

Date of Government Version: 07/12/2021
Date Data Arrived at EDR: 07/13/2021
Date Made Active in Reports: 07/16/2021
Number of Days to Update: 3

Source: Department of Environmental Protection
Telephone: 850-245-8655
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 11/01/2021
Data Release Frequency: Varies

WASTEWATER: Wastewater Facility Regulation Database

Domestic and industrial wastewater facilities.

Date of Government Version: 03/31/2021
Date Data Arrived at EDR: 04/30/2021
Date Made Active in Reports: 07/19/2021
Number of Days to Update: 80

Source: Department of Environmental Protection
Telephone: 850-245-8600
Last EDR Contact: 07/29/2021
Next Scheduled EDR Contact: 11/15/2021
Data Release Frequency: Quarterly

PCS ENF: Enforcement data

No description is available for this data

Date of Government Version: 12/31/2014
Date Data Arrived at EDR: 02/05/2015
Date Made Active in Reports: 03/06/2015
Number of Days to Update: 29

Source: EPA
Telephone: 202-564-2497
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCS INACTIVE: Listing of Inactive PCS Permits

An inactive permit is a facility that has shut down or is no longer discharging.

Date of Government Version: 11/05/2014
Date Data Arrived at EDR: 01/06/2015
Date Made Active in Reports: 05/06/2015
Number of Days to Update: 120

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

PCS: Permit Compliance System

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011
Date Data Arrived at EDR: 08/05/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 55

Source: EPA, Office of Water
Telephone: 202-564-2496
Last EDR Contact: 06/30/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: No Update Planned

MINES MRDS: Mineral Resources Data System Mineral Resources Data System

Date of Government Version: 04/06/2018
Date Data Arrived at EDR: 10/21/2019
Date Made Active in Reports: 10/24/2019
Number of Days to Update: 3

Source: USGS
Telephone: 703-648-6533
Last EDR Contact: 05/27/2021
Next Scheduled EDR Contact: 09/06/2021
Data Release Frequency: Varies

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Protection in Florida.

Date of Government Version: N/A	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/30/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 182	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Protection in Florida.

Date of Government Version: N/A	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 01/10/2014	Last EDR Contact: 06/01/2012
Number of Days to Update: 193	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Protection in Florida.

Date of Government Version: N/A	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/01/2013	Telephone: N/A
Date Made Active in Reports: 12/30/2013	Last EDR Contact: 06/01/2012
Number of Days to Update: 182	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

COUNTY RECORDS

ALACHUA COUNTY:

FACILITY LIST ALACHUA: Facility List

List of all regulated facilities in Alachua County.

Date of Government Version: 03/19/2021	Source: Alachua County Environmental Protection Department
Date Data Arrived at EDR: 03/23/2021	Telephone: 352-264-6800
Date Made Active in Reports: 06/09/2021	Last EDR Contact: 06/15/2021
Number of Days to Update: 78	Next Scheduled EDR Contact: 10/04/2021
	Data Release Frequency: Annually

BROWARD COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

AST BROWARD: Aboveground Storage Tanks

Aboveground storage tank locations in Broward County.

Date of Government Version: 02/12/2021
Date Data Arrived at EDR: 06/10/2021
Date Made Active in Reports: 06/11/2021
Number of Days to Update: 1

Source: Broward County Environmental Protection Department
Telephone: 954-818-7509
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

UST BROWARD: Underground Storage Tanks

All known regulated storage tanks within Broward County, including those tanks that have been closed

Date of Government Version: 02/12/2021
Date Data Arrived at EDR: 06/10/2021
Date Made Active in Reports: 06/11/2021
Number of Days to Update: 1

Source: Broward County Environmental Protection Department
Telephone: 954-818-7509
Last EDR Contact: 08/17/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

HILLSBOROUGH COUNTY:

LF HILLSBOROUGH: Hillsborough County LF

Hillsborough county landfill sites.

Date of Government Version: 04/07/2021
Date Data Arrived at EDR: 04/07/2021
Date Made Active in Reports: 06/24/2021
Number of Days to Update: 78

Source: Hillsborough County Environmental Protection Commission
Telephone: 813-627-2600
Last EDR Contact: 06/29/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Varies

MIAMI-DADE COUNTY:

DADE CO AP: Air Permit Sites

Facilities that release or have a potential to release pollutants.

Date of Government Version: 05/24/2021
Date Data Arrived at EDR: 05/24/2021
Date Made Active in Reports: 08/10/2021
Number of Days to Update: 78

Source: Department of Environmental Resources Management
Telephone: 305-372-6755
Last EDR Contact: 08/19/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Semi-Annually

DADE CO AW: Agricultural Waste Listing

A listing of agricultural waste sites

Date of Government Version: 05/24/2021
Date Data Arrived at EDR: 05/24/2021
Date Made Active in Reports: 08/10/2021
Number of Days to Update: 78

Source: Miami-Dade County Division of Environmental Resources Management
Telephone: 305-372-6715
Last EDR Contact: 08/19/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Varies

DADE CO LW: Liquid Waste Transporter List

The Liquid Waste Transporter permit regulates the transportation of various types of liquid and solid waste, including hazardous waste, waste oil and oily waste waters, septic and grease trap waste, biomedical waste, spent radiator fluid, photo chemical waste, dry sewage sludge, and other types of non-hazardous industrial waste. The Liquid Waste Transporter permits needed to protect the environment and the public from improperly handled and transported waste.

Date of Government Version: 05/24/2021
Date Data Arrived at EDR: 05/24/2021
Date Made Active in Reports: 08/10/2021
Number of Days to Update: 78

Source: DERM
Telephone: 305-372-6755
Last EDR Contact: 08/19/2021
Next Scheduled EDR Contact: 12/06/2021
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DADE MOP: Marine Facilities Operating Permit

What is this permit used for? Miami-Dade County Ordinance 89-104 and Section 24-18 of the Code of Miami-Dade County require the following types of marine facilities to obtain annual operating permits from DERM: All recreational boat docking facilities with ten (10) or more boat slips, moorings, davit spaces, and vessel tie-up spaces. All boat storage facilities contiguous to tidal waters in Miami-Dade County with ten (10) or more dry storage spaces including boatyards and boat manufacturing facilities.

Date of Government Version: 05/24/2021	Source: DERM
Date Data Arrived at EDR: 05/24/2021	Telephone: 305-372-3576
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/19/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Quarterly

DADE MRE: Maimi River Enforcement

The Miami River Enforcement database files were created for facilities and in some instances vessels that were inspected by a workgroup within the Department that was identified as the Miami River Enforcement Group. The files do not all necessarily reflect enforcement cases and some were created for locations that were permitted by other Sections within the Department.

Date of Government Version: 06/05/2013	Source: DERM
Date Data Arrived at EDR: 06/06/2013	Telephone: 305-372-3576
Date Made Active in Reports: 08/06/2013	Last EDR Contact: 08/19/2021
Number of Days to Update: 61	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Quarterly

DADE_IWP: Industrial Waste Permit Sites

Facilities that either generate more than 25,000 of wastewater per day to sanitary sewers or are pre-defined by EPA.

Date of Government Version: 05/24/2021	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 05/25/2021	Telephone: 305-372-6700
Date Made Active in Reports: 08/10/2021	Last EDR Contact: 08/19/2021
Number of Days to Update: 77	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Semi-Annually

ENF: Enforcement Case Tracking System Sites

Enforcement cases monitored by the Dade County Department of Environmental Resources Management.

Date of Government Version: 05/24/2021	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 05/24/2021	Telephone: 305-372-6755
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 08/19/2021
Number of Days to Update: 79	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Semi-Annually

SPILLS DADE: Fuel Spills Cases

DERM documents fuel spills of sites that are not in a state program.

Date of Government Version: 01/08/2009	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 01/13/2009	Telephone: 305-372-6755
Date Made Active in Reports: 02/05/2009	Last EDR Contact: 08/19/2021
Number of Days to Update: 23	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Semi-Annually

UST DADE: Storage Tanks

A listing of aboveground and underground storage tank site locations.

Date of Government Version: 06/03/2019	Source: Department of Environmental Resource Management
Date Data Arrived at EDR: 11/19/2020	Telephone: 305-372-6700
Date Made Active in Reports: 02/03/2021	Last EDR Contact: 08/19/2021
Number of Days to Update: 76	Next Scheduled EDR Contact: 12/06/2021
	Data Release Frequency: Semi-Annually

PALM BEACH COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LF PALM BEACH: Palm Beach County LF

Palm Beach County Inventory of Solid Waste Sites.

Date of Government Version: 09/01/2011
Date Data Arrived at EDR: 09/20/2011
Date Made Active in Reports: 10/10/2011
Number of Days to Update: 20

Source: Palm Beach County Solid Waste Authority
Telephone: 561-640-4000
Last EDR Contact: 06/10/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 03/24/2021
Date Data Arrived at EDR: 05/11/2021
Date Made Active in Reports: 07/28/2021
Number of Days to Update: 78

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 08/10/2021
Next Scheduled EDR Contact: 11/22/2021
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018
Date Data Arrived at EDR: 04/10/2019
Date Made Active in Reports: 05/16/2019
Number of Days to Update: 36

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 07/09/2021
Next Scheduled EDR Contact: 10/18/2021
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019
Date Data Arrived at EDR: 04/29/2020
Date Made Active in Reports: 07/10/2020
Number of Days to Update: 72

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 07/29/2021
Next Scheduled EDR Contact: 11/08/2021
Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018
Date Data Arrived at EDR: 07/19/2019
Date Made Active in Reports: 09/10/2019
Number of Days to Update: 53

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 07/07/2021
Next Scheduled EDR Contact: 10/25/2021
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2019
Date Data Arrived at EDR: 02/11/2021
Date Made Active in Reports: 02/24/2021
Number of Days to Update: 13

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 08/11/2021
Next Scheduled EDR Contact: 11/29/2021
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018
Date Data Arrived at EDR: 06/19/2019
Date Made Active in Reports: 09/03/2019
Number of Days to Update: 76

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 06/03/2021
Next Scheduled EDR Contact: 09/20/2021
Data Release Frequency: Annually

Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Electric Power Transmission Line Data

Source: Endeavor Business Media

This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Department of Children & Families

Source: Provider Information

Telephone: 850-488-4900

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory
Source: Department of Environmental Protection
Telephone: 850-245-8238

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

© 2015 TomTom North America, Inc. All rights reserved. This material is proprietary and the subject of copyright protection and other intellectual property rights owned by or licensed to Tele Atlas North America, Inc. The use of this material is subject to the terms of a license agreement. You will be held liable for any unauthorized copying or disclosure of this material.

GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

COMMERCE PARKWAY
2400 COMMERCE PARKWAY
BUNNELL, FL 32110

TARGET PROPERTY COORDINATES

Latitude (North):	29.473126 - 29° 28' 23.25"
Longitude (West):	81.238856 - 81° 14' 19.88"
Universal Tranverse Mercator:	Zone 17
UTM X (Meters):	476841.7
UTM Y (Meters):	3260251.8
Elevation:	19 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	5652298 FLAGLER BEACH WEST, FL
Version Date:	2012
Southwest Map:	5651654 BUNNELL, FL
Version Date:	2012

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

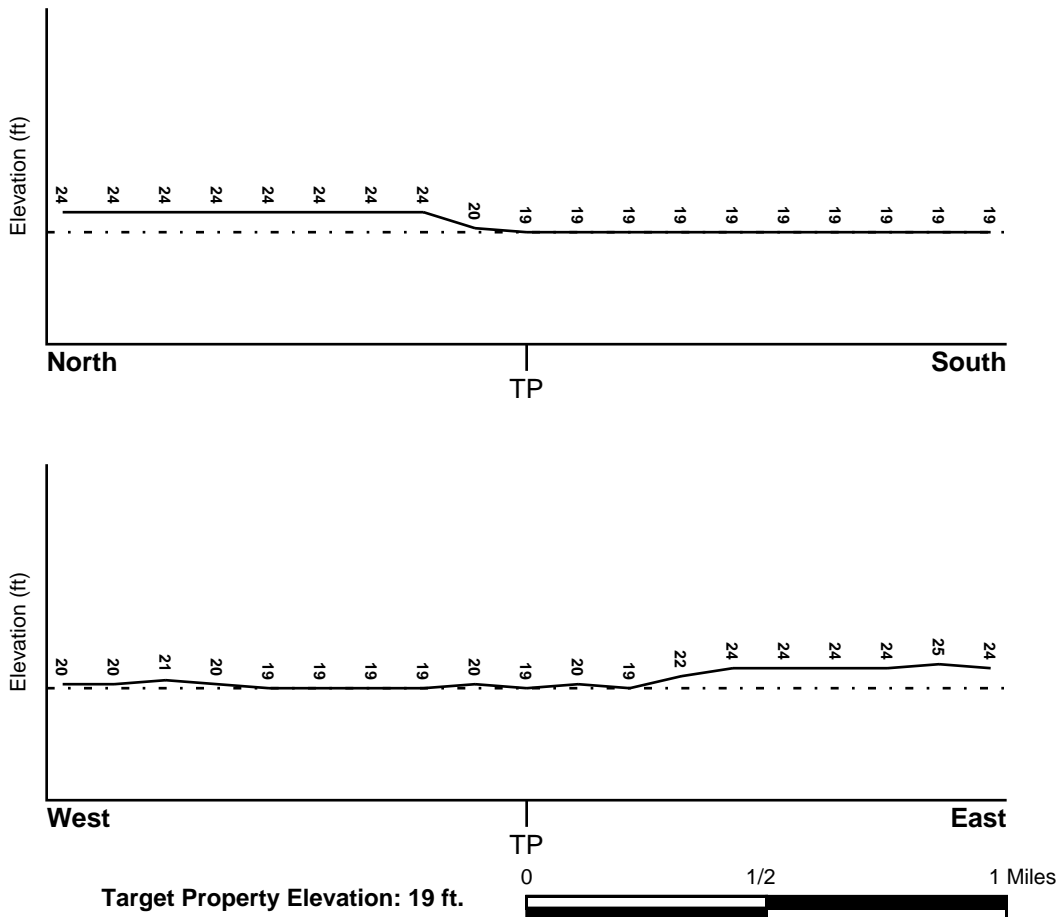
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SW

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
12035C0226D	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
12035C0207D	FEMA FIRM Flood data
12035C0209D	FEMA FIRM Flood data
12035C0228D	FEMA FIRM Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
FLAGLER BEACH WEST	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data*:

Search Radius:	1.25 miles
Status:	Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

Era: Cenozoic
System: Quaternary
Series: Holocene
Code: Qh (decoded above as Era, System & Series)

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: POMONA

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly. Soils may have a saturated zone, a layer of low hydraulic conductivity, or seepage. Depth to water table is less than 1 foot.

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: HIGH

Depth to Bedrock Min: > 60 inches

Depth to Bedrock Max: > 60 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	fine sand	Granular materials (35 pct. or less passing No. 200), Fine Sand.	COARSE-GRAINED SOILS, Sands, Clean Sands, Poorly graded sand.	Max: 20.00 Min: 6.00	Max: 6.00 Min: 3.60
2	5 inches	26 inches	sand	Granular materials (35 pct. or less passing No. 200), Fine Sand.	COARSE-GRAINED SOILS, Sands, Clean Sands, Poorly graded sand.	Max: 20.00 Min: 6.00	Max: 6.00 Min: 3.60
3	26 inches	39 inches	sand	Granular materials (35 pct. or less passing No. 200), Fine Sand.	COARSE-GRAINED SOILS, Sands, Clean Sands, Poorly graded sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 6.00 Min: 0.60	Max: 6.00 Min: 3.60
4	39 inches	51 inches	sand	Granular materials (35 pct. or less passing No. 200), Fine Sand.	COARSE-GRAINED SOILS, Sands, Clean Sands, Poorly graded sand.	Max: 20.00 Min: 2.00	Max: 6.00 Min: 3.60
5	51 inches	72 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 2.00 Min: 0.20	Max: 6.00 Min: 3.60

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: mucky - fine sand

Surficial Soil Types: mucky - fine sand

Shallow Soil Types: fine sand

Deeper Soil Types: sand
sandy loam
loamy fine sand

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
4	FL2180729	1/4 - 1/2 Mile East

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A1	FLSJ11000010343	1/4 - 1/2 Mile West
A2	FLSJ11000039276	1/4 - 1/2 Mile West
A3	FLSJ11000067074	1/4 - 1/2 Mile West
5	FLSA11000034341	1/4 - 1/2 Mile NNW
B6	FLSJ11000036139	1/4 - 1/2 Mile West
B7	FLSJ11000051951	1/4 - 1/2 Mile West
B8	FLSJ11000067079	1/4 - 1/2 Mile West
C9	FLSJ11000026173	1/2 - 1 Mile ENE
C10	FLSJ11000010256	1/2 - 1 Mile ENE
C11	FLSJ11000000999	1/2 - 1 Mile ENE
C12	FLSJ11000067073	1/2 - 1 Mile ENE
C13	FLSJ11000049024	1/2 - 1 Mile ENE
C14	FLSJ11000039116	1/2 - 1 Mile ENE
D15	FLSJ11000007604	1/2 - 1 Mile WNW
D16	FLSJ11000030227	1/2 - 1 Mile WNW
D17	FLSJ11000051291	1/2 - 1 Mile WNW
D18	FLSJ11000029904	1/2 - 1 Mile WNW
D19	FLSJ11000050104	1/2 - 1 Mile WNW
B20	FLSJ11000037624	1/2 - 1 Mile West
B21	FLSJ11000052918	1/2 - 1 Mile West

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
B22	FLSJ11000067078	1/2 - 1 Mile West
D23	FLSJ11000033023	1/2 - 1 Mile WNW
E24	FLSA11000034326	1/2 - 1 Mile West
E25	FLSA11000019636	1/2 - 1 Mile West
E26	FLSA11000095093	1/2 - 1 Mile West
E27	FLSJ11000028556	1/2 - 1 Mile West
E28	FLSJ11000007153	1/2 - 1 Mile West
E29	FLSJ11000006852	1/2 - 1 Mile West
E30	FLSJ11000067369	1/2 - 1 Mile West
E31	FLSJ11000067076	1/2 - 1 Mile West
E32	FLSJ11000037601	1/2 - 1 Mile West
F33	FLSA11000019635	1/2 - 1 Mile WNW
F34	FLSJ11000034642	1/2 - 1 Mile WNW
F35	FLSJ11000020066	1/2 - 1 Mile WNW
F36	FLSJ11000037602	1/2 - 1 Mile WNW
F37	FLSJ11000067077	1/2 - 1 Mile WNW
F38	FLSJ11000046724	1/2 - 1 Mile WNW
F39	FLSJ11000000977	1/2 - 1 Mile WNW
G40	FLSJ11000017571	1/2 - 1 Mile NNE
G41	FLSJ11000000439	1/2 - 1 Mile NNE
G42	FLSJ11000017572	1/2 - 1 Mile NNE
G43	FLSJ11000044738	1/2 - 1 Mile NNE
G44	FLSJ11000044037	1/2 - 1 Mile NNE
H45	FLSJ11000037600	1/2 - 1 Mile WNW
H46	FLSJ11000067075	1/2 - 1 Mile WNW
H47	FLSJ11000053404	1/2 - 1 Mile West
H48	FLSJ11000067080	1/2 - 1 Mile West
H49	FLSA11000104561	1/2 - 1 Mile West
H50	FLSA11000107047	1/2 - 1 Mile West
H51	FLSA11000107046	1/2 - 1 Mile WNW
I52	FLSJ11000003050	1/2 - 1 Mile North
I53	FLSJ11000000685	1/2 - 1 Mile North
I54	FLSJ11000019207	1/2 - 1 Mile North
I55	FLSJ11000053897	1/2 - 1 Mile North
I56	FLSJ11000046245	1/2 - 1 Mile North
H57	FLSJ11000000057	1/2 - 1 Mile WNW
H58	FLSJ11000020831	1/2 - 1 Mile WNW
H59	FLSJ11000054399	1/2 - 1 Mile WNW
H60	FLSJ11000067188	1/2 - 1 Mile WNW
H61	FLSA11000095010	1/2 - 1 Mile WNW
62	FLSJ11000054400	1/2 - 1 Mile West
J63	FLSJ11000023534	1/2 - 1 Mile NNW
J64	FLSJ11000023459	1/2 - 1 Mile NNW
J65	FLSJ11000046379	1/2 - 1 Mile NNW
J66	FLSJ11000054222	1/2 - 1 Mile NNW
J67	FLSJ11000047986	1/2 - 1 Mile NNW
K68	FLSJ11000067319	1/2 - 1 Mile NE
K69	FLSJ11000048884	1/2 - 1 Mile NE
K70	FLSJ11000040793	1/2 - 1 Mile NE
K71	FLSJ11000028897	1/2 - 1 Mile NE
K72	FLSJ11000060508	1/2 - 1 Mile NE
K73	FLSJ11000055259	1/2 - 1 Mile NE

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

MAP ID

K74

WELL ID

FLSJ11000052239

LOCATION
FROM TP

1/2 - 1 Mile NE

PHYSICAL SETTING SOURCE MAP - 6637912.2s



- County Boundary
- Major Roads
- Contour Lines
- Airports
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons



- Groundwater Flow Direction
- Sink holes
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells

SITE NAME: Commerce Parkway
 ADDRESS: 2400 Commerce Parkway
 Bunnell FL 32110
 LAT/LONG: 29.473126 / 81.238856

CLIENT: Universal Engineering Sciences
 CONTACT: Carly Boston
 INQUIRY #: 6637912.2s
 DATE: August 26, 2021 7:18 pm

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

A1
West
1/4 - 1/2 Mile
Higher

FL WELLS FLSJ11000010343

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	PZ/MW1	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

A2
West
1/4 - 1/2 Mile
Higher

FL WELLS FLSJ11000039276

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	PZ/MW1	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

A3
West
1/4 - 1/2 Mile
Higher

FL WELLS FLSJ11000067074

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	PZ/MW1	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	2
Casing Depth:	0	Total Well Depth:	12
Water Source:	Not Reported	Station Status:	Active
Pump Capacity (GPM):	0	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

4

**East
1/4 - 1/2 Mile
Higher**

FRDS PWS FL2180729

Epa region:	04	State:	FL
Pwsid:	FL2180729	Pwsname:	CAPRI MHP
Cityserved:	Not Reported	Stateserved:	FL
Zipsserved:	Not Reported	Fipscounty:	12035
Status:	Closed	Retpopsrvd:	25
Pwssvconn:	15	Psource longname:	Groundwater
Pwstype:	TNCWS	Owner:	Private
Contact:	CAPRI MHP	Contactorgname:	Not Reported
Contactphone:	904-437-4635	Contactaddress1:	Not Reported
Contactaddress2:	1756 EAST HIGHWAY 100	Contactcity:	BUNNELL
Contactstate:	FL	Contactzip:	32110
Pwsactivitycode:	I		
Pwsid:	FL2180729	Facid:	1
Facname:	PLANT ID = 01 SOURCE ID = 000	Facactivitycode:	I
Factype:	Treatment_plant	Trtprocess:	hypochlorination, post
Trtobjective:	disinfection		
Factypecode:	TP		
PWS ID:	FL2180729	PWS type:	System Owner/Responsible Party
PWS name:	PAR MAILLARO AND DAVID CRANE	PWS address:	POST OFFICE BOX 1820
PWS address:	ROBERT WRAY	PWS state:	FL
PWS city:	BUNNELL	PWS ID:	FL2180729
PWS zip:	32110	Date system activated:	Not Reported
Activity status:	Active	Retail population:	00000025
Date system deactivated:	Not Reported	System address:	Not Reported
System name:	CAPRI MHP	System city:	BUNNELL
System address:	POST OFFICE BOX 1820	System zip:	32110
System state:	FL		
Population served:	Under 101 Persons	Treatment:	Treated
Latitude:	292820	Longitude:	0811400
Latitude:	292820	Longitude:	0811400
PWS currently has or had major violation(s) or enforcement:Yes			
Violation ID:	94V0003	Violation source ID:	Not Reported
PWS telephone:	Not Reported	Contaminant:	COLIFORM (TCR)
Violation type:	Monitoring, Routine Minor (TCR)	Violation end date:	063094
Violation start date:	040194	Violation awareness date:	Not Reported
Violation period (months):	003	Maximum contaminant level:	Not Reported
Major violator:	No	Number of samples taken:	Not Reported
Number of required samples:	Not Reported	Analysis result:	Not Reported
Analysis method:	Not Reported		

PWS currently has or had major violation(s) or enforcement:Yes

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Violation ID:	94V0002	Violation source ID:	Not Reported
PWS telephone:	Not Reported	Contaminant:	COLIFORM (TCR)
Violation type:	Monitoring, Repeat Major (TCR)		
Violation start date:	010194	Violation end date:	033194
Violation period (months):	003	Violation awareness date:	Not Reported
Major violator:	Yes	Maximum contaminant level:	Not Reported
Number of required samples:	Not Reported	Number of samples taken:	Not Reported
Analysis method:	Not Reported	Analysis result:	Not Reported

**5
NNW
1/4 - 1/2 Mile
Higher**

FL WELLS FLSA11000034341

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	180002601	Well Type:	43
Status:	ACTIVE	Casing Material:	Not Reported
Well Depth:	Not Reported	Casing Length:	Not Reported
Casing Diameter:	0	Permit #:	Not Reported
Sanitary Seal:	Not Reported	Well Name:	Not Reported
Large PWS Well:	0	WSRP ID:	180002601
WSRP Action:	NO ACTION AT THI	Potable Status:	POTABLE
Resident Type:	Not Reported	PWS Design:	0

**B6
West
1/4 - 1/2 Mile
Higher**

FL WELLS FLSJ11000036139

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	PZ/MW2	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

**B7
West
1/4 - 1/2 Mile
Higher**

FL WELLS FLSJ11000051951

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	PZ/MW2	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

B8
West
1/4 - 1/2 Mile
Higher

FL WELLS FLSJ11000067079

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	PZ/MW2	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	2
Casing Depth:	0	Total Well Depth:	12
Water Source:	Not Reported	Station Status:	Active
Pump Capacity (GPM):	0	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

C9
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000026173

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	1
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	2282
Site Name:	CITY OF BUNNELL	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)		
Date Received:	23-APR-87	Permit Project Name:	City of Bunnell
Permit Expiration:	14-JUL-94	Decision Made:	14-JUL-87
Permit Status:	Closed	Recommendation:	Approval
Casing Diameter:	8	Project Acres:	1180
Total Well Depth:	160	Casing Depth:	119
Station Status:	Active	Water Source:	FAS - Upper Floridan Aquifer
Compliance Status:	In Compliance	Pump Capacity (GPM):	250
Project Use:	Public Supply	Permit App Process Status:	CLOS

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

C10
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000010256

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	8	Casing Depth:	119
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	250
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

C11
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ1100000999

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	8	Casing Depth:	119
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	250
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

C12
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067073

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	8
Casing Depth:	119	Total Well Depth:	160
Water Source:	FAS - Upper Floridan Aquifer		
Station Status:	Active	Pump Capacity (GPM):	250
Compliance Status:	Undetermined	Permit App Process Status:	COMP
Project Use:	Public Supply		

C13
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000049024

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	09-MAR-01	Decision Made:	10-OCT-06
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	8	Casing Depth:	119
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	250
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

C14
ENE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000039116

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	2
Station Name:	5	Station Type:	Production Well
Monitoring:	N	Site ID:	5433
Site Name:	CITY OF BUNNELL	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	31-DEC-92	Decision Made:	08-MAR-94
Permit Expiration:	08-MAR-01	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	.06
Casing Diameter:	8	Casing Depth:	119
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	250
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

D15
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000007604

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	1
Station Name:	2	Station Type:	Production Well
Monitoring:	N	Site ID:	2282
Site Name:	CITY OF BUNNELL	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	23-APR-87	Decision Made:	14-JUL-87
Permit Expiration:	14-JUL-94	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	1180
Casing Diameter:	4	Casing Depth:	0
Total Well Depth:	0	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Abandoned	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

D16
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000030227

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	2
Station Name:	2	Station Type:	Production Well
Monitoring:	N	Site ID:	5433
Site Name:	CITY OF BUNNELL	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	31-DEC-92	Decision Made:	08-MAR-94
Permit Expiration:	08-MAR-01	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	.06
Casing Diameter:	4	Casing Depth:	0
Total Well Depth:	0	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Abandoned	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

D17
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000051291

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	2	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	09-MAR-01	Decision Made:	10-OCT-06
Permit Expiration:	10-OCT-16	Recommendation:	Approval

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	4	Casing Depth:	0
Total Well Depth:	0	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Abandoned	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

D18
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000029904

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	3
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	6	Site ID:	27609
Monitoring:	N	Permit Type:	Renewal
Site Name:	City of Bunnell	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	10-OCT-06
Date Received:	09-MAR-01	Recommendation:	Approval
Permit Expiration:	10-OCT-16	Project Acres:	13800
Permit Status:	Closed	Casing Depth:	120
Casing Diameter:	8	Water Source:	FAS - Upper Floridan Aquifer
Total Well Depth:	160	Pump Capacity (GPM):	250
Station Status:	Never Established	Permit App Process Status:	CLOS
Compliance Status:	Out Of Compliance		
Project Use:	Public Supply		

D19
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000050104

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	2
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	6	Site ID:	5433
Monitoring:	N	Permit Type:	Modification
Site Name:	CITY OF BUNNELL	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	08-MAR-94
Date Received:	31-DEC-92	Recommendation:	Approval
Permit Expiration:	08-MAR-01	Project Acres:	.06
Permit Status:	Closed	Casing Depth:	120
Casing Diameter:	8	Water Source:	FAS - Upper Floridan Aquifer
Total Well Depth:	160	Pump Capacity (GPM):	250
Station Status:	Never Established	Permit App Process Status:	CLOS
Compliance Status:	In Compliance		
Project Use:	Public Supply		

B20
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000037624

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	5
Official Permit ID:	1982		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Station Name:	PZ/MW3	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

B21
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000052918

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	PZ/MW3	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	2	Casing Depth:	0
Total Well Depth:	12	Water Source:	Not Reported
Station Status:	Active	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

B22
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067078

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	PZ/MW3	Station Type:	Monitoring Well
Monitoring:	Y	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	2
Casing Depth:	0	Total Well Depth:	12
Water Source:	Not Reported	Station Status:	Active
Pump Capacity (GPM):	0	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

D23
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000033023

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	1	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	09-MAR-01	Decision Made:	10-OCT-06
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	6	Casing Depth:	0
Total Well Depth:	0	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Abandoned	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

E24
West
1/2 - 1 Mile
Higher

FL WELLS FLSA11000034326

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	180001601	Well Type:	40
Status:	ABANDONED	Casing Material:	Not Reported
Well Depth:	Not Reported	Casing Length:	Not Reported
Casing Diameter:	0	Permit #:	Not Reported
Sanitary Seal:	Not Reported	Well Name:	Not Reported
Large PWS Well:	0	WSRP ID:	180001601
WSRP Action:	UNFILTERED	Potable Status:	NON-POTABLE
Resident Type:	Not Reported	PWS Design:	0

E25
West
1/2 - 1 Mile
Higher

FL WELLS FLSA11000019636

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAF0414	Well Type:	40
Status:	RETAGGED	Casing Material:	Black Stee
Well Depth:	Not Reported	Casing Length:	119
Casing Diameter:	8	Permit #:	2180134
Sanitary Seal:	Yes	Well Name:	CITY OF BUNNELL NUMBER 4
Large PWS Well:	1	WSRP ID:	Not Reported
WSRP Action:	Not Reported	Potable Status:	POTABLE
Resident Type:	Not Reported	PWS Design:	698000

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

E26
West
1/2 - 1 Mile
Higher

FL WELLS FLSA11000095093

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAD0012	Well Type:	40
Status:	ACTIVE	Casing Material:	BLACK STEE
Well Depth:	0	Casing Length:	119
Casing Diameter:	8	Permit #:	2180134
Sanitary Seal:	Yes	Well Name:	CITY OF BUNNELL NUMBER 4
Large PWS Well:	1	WSRP ID:	Not Reported
WSRP Action:	Not Reported	Potable Status:	POTABLE
Resident Type:	OWNER	PWS Design:	698000

E27
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000028556

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	4	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	09-MAR-01	Decision Made:	10-OCT-06
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	18	Casing Depth:	60
Total Well Depth:	100	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	150
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

E28
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000007153

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	1
Station Name:	4	Station Type:	Production Well
Monitoring:	N	Site ID:	2282
Site Name:	CITY OF BUNNELL	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	23-APR-87	Decision Made:	14-JUL-87
Permit Expiration:	14-JUL-94	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	1180
Casing Diameter:	18	Casing Depth:	60
Total Well Depth:	100	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	150
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

E29
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000006852

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	2
Station Name:	4	Station Type:	Production Well
Monitoring:	N	Site ID:	5433
Site Name:	CITY OF BUNNELL	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	31-DEC-92	Decision Made:	08-MAR-94
Permit Expiration:	08-MAR-01	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	.06
Casing Diameter:	18	Casing Depth:	60
Total Well Depth:	100	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	150
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

E30
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067369

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	4	Station Type:	Production Well
Monitoring:	N	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	18	Casing Depth:	60
Total Well Depth:	100	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	150
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

E31
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067076

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	4	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	18
Casing Depth:	60	Total Well Depth:	100
Water Source:	Surficial Aquifer	Station Status:	Active
Pump Capacity (GPM):	150	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

E32
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000037601

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	5
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	4	Site ID:	304255
Monitoring:	N	Permit Type:	Modification
Site Name:	City of Bunnell	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	16-MAY-13
Date Received:	20-DEC-12	Recommendation:	Approval
Permit Expiration:	10-OCT-16	Project Acres:	13800
Permit Status:	Closed	Casing Depth:	60
Casing Diameter:	18	Water Source:	Surficial Aquifer
Total Well Depth:	100	Pump Capacity (GPM):	150
Station Status:	Active	Permit App Process Status:	CLOS
Compliance Status:	In Compliance		
Project Use:	Public Supply		

F33
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSA11000019635

Database:	Super Act Program Well Data (Department of Health)	Well Type:	40
FI Well ID:	AAF0413	Casing Material:	Black Stee
Status:	ACTIVE	Casing Length:	110
Well Depth:	Not Reported	Permit #:	2180134
Casing Diameter:	8	Well Name:	CITY OF BUNNELL NUMBER 3
Sanitary Seal:	Yes	WSRP ID:	Not Reported
Large PWS Well:	1	Potable Status:	POTABLE
WSRP Action:	Not Reported	PWS Design:	698000
Resident Type:	Not Reported		

F34
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000034642

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	2
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	3	Site ID:	5433
Monitoring:	N	Permit Type:	Modification
Site Name:	CITY OF BUNNELL	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	08-MAR-94
Date Received:	31-DEC-92		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Expiration:	08-MAR-01	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	.06
Casing Diameter:	18	Casing Depth:	54
Total Well Depth:	110	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	160
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

F35
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000020066

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	1
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	3	Site ID:	2282
Monitoring:	N	Permit Type:	Initial Sequence
Site Name:	CITY OF BUNNELL	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	14-JUL-87
Date Received:	23-APR-87	Recommendation:	Approval
Permit Expiration:	14-JUL-94	Project Acres:	1180
Permit Status:	Closed	Casing Depth:	54
Casing Diameter:	18	Water Source:	Surficial Aquifer
Total Well Depth:	110	Pump Capacity (GPM):	160
Station Status:	Active	Permit App Process Status:	CLOS
Compliance Status:	In Compliance		
Project Use:	Public Supply		

F36
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000037602

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	5
Official Permit ID:	1982	Station Type:	Production Well
Station Name:	3	Site ID:	304255
Monitoring:	N	Permit Type:	Modification
Site Name:	City of Bunnell	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	City of Bunnell
Statute Description:	CUP Individual (40C-2)	Decision Made:	16-MAY-13
Date Received:	20-DEC-12	Recommendation:	Approval
Permit Expiration:	10-OCT-16	Project Acres:	13800
Permit Status:	Closed	Casing Depth:	54
Casing Diameter:	18	Water Source:	Surficial Aquifer
Total Well Depth:	110	Pump Capacity (GPM):	160
Station Status:	Active	Permit App Process Status:	CLOS
Compliance Status:	In Compliance		
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

F37
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067077

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	3	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	18
Casing Depth:	54	Total Well Depth:	110
Water Source:	Surficial Aquifer	Station Status:	Active
Pump Capacity (GPM):	160	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

F38
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000046724

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	3	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)		
Date Received:	09-MAR-01	Permit Project Name:	City of Bunnell
Permit Expiration:	10-OCT-16	Decision Made:	10-OCT-06
Permit Status:	Closed	Recommendation:	Approval
Casing Diameter:	18	Project Acres:	13800
Total Well Depth:	110	Casing Depth:	54
Station Status:	Active	Water Source:	Surficial Aquifer
Compliance Status:	Out Of Compliance	Pump Capacity (GPM):	160
Project Use:	Public Supply	Permit App Process Status:	CLOS

F39
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ1100000977

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	3	Station Type:	Production Well
Monitoring:	N	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)		
Date Received:	24-FEB-10	Permit Project Name:	City of Bunnell
Permit Expiration:	10-OCT-16	Decision Made:	05-MAR-10
		Recommendation:	Approval

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	18	Casing Depth:	54
Total Well Depth:	110	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	160
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

G40
NNE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000017571

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	1
Station Name:	SW-23	Station Type:	Production Well
Monitoring:	N	Site ID:	2247
Site Name:	Palm Coast Utility Corp	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast Utility Corporation
Date Received:	15-MAR-84	Decision Made:	08-MAY-84
Permit Expiration:	08-MAY-91	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

G41
NNE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000000439

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	5
Station Name:	SW-23	Station Type:	Production Well
Monitoring:	N	Site ID:	290664
Site Name:	Palm Coast	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	06-APR-09	Decision Made:	09-AUG-11
Permit Expiration:	09-AUG-31	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

G42
NNE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000017572

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	2

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Station Name:	SW-23	Station Type:	Production Well
Monitoring:	N	Site ID:	5360
Site Name:	Palm Coast Utilities	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast Utilities
Date Received:	08-MAY-91	Decision Made:	07-APR-92
Permit Expiration:	07-APR-99	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

G43
NNE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000044738

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	3
Station Name:	SW-23	Station Type:	Production Well
Monitoring:	N	Site ID:	13309
Site Name:	Palm Coast	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	06-APR-99	Decision Made:	13-DEC-05
Permit Expiration:	13-DEC-15	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

G44
NNE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000044037

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	4
Station Name:	SW-23	Station Type:	Production Well
Monitoring:	N	Site ID:	148997
Site Name:	Palm Coast	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	23-OCT-06	Decision Made:	10-MAR-09
Permit Expiration:	13-DEC-15	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

H45
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000037600

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	9	Station Type:	Production Well
Monitoring:	N	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	16	Casing Depth:	80
Total Well Depth:	100	Water Source:	Surficial Aquifer
Station Status:	Active	Pump Capacity (GPM):	383
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

H46
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067075

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	9	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	16
Casing Depth:	80	Total Well Depth:	100
Water Source:	Surficial Aquifer	Station Status:	Active
Pump Capacity (GPM):	383	Compliance Status:	Undetermined
Permit App Process Status:	COMP	Project Use:	Public Supply

H47
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000053404

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	8	Station Type:	Production Well
Monitoring:	N	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	8	Casing Depth:	120
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

H48
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067080

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	8	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	8
Casing Depth:	120	Total Well Depth:	160
Water Source:	FAS - Upper Floridan Aquifer		
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	Undetermined	Permit App Process Status:	COMP
Project Use:	Public Supply		

H49
West
1/2 - 1 Mile
Higher

FL WELLS FLSA11000104561

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAL1749	Well Type:	43
Status:	ABANDONED	Casing Material:	PVC
Well Depth:	160	Casing Length:	59
Casing Diameter:	10	Permit #:	Not Reported
Sanitary Seal:	Yes	Well Name:	Not Reported
Large PWS Well:	0	WSRP ID:	Not Reported
WSRP Action:	Not Reported	Potable Status:	NON-POTABLE
Resident Type:	OWNER	PWS Design:	0

H50
West
1/2 - 1 Mile
Higher

FL WELLS FLSA11000107047

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAL1890	Well Type:	40
Status:	ACTIVE	Casing Material:	Other
Well Depth:	Not Reported	Casing Length:	Not Reported
Casing Diameter:	16	Permit #:	2180134
Sanitary Seal:	Not Reported	Well Name:	City of Bunnell Well # 8 (Replacement)
Large PWS Well:	1	WSRP ID:	Not Reported

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

WSRP Action:	Not Reported	Potable Status:	POTABLE
Resident Type:	Not Reported	PWS Design:	999000

**H51
WNW
1/2 - 1 Mile
Higher**

FL WELLS FLSA11000107046

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAL1832	Well Type:	40
Status:	ACTIVE	Casing Material:	Other
Well Depth:	Not Reported	Casing Length:	Not Reported
Casing Diameter:	16	Permit #:	Not Reported
Sanitary Seal:	Not Reported	Well Name:	City of Bunnell Well # 9
Large PWS Well:	0	WSRP ID:	Not Reported
WSRP Action:	Not Reported	Potable Status:	POTABLE
Resident Type:	Not Reported	PWS Design:	0

**I52
North
1/2 - 1 Mile
Higher**

FL WELLS FLSJ11000003050

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	2
Station Name:	SW-22	Station Type:	Production Well
Monitoring:	N	Site ID:	5360
Site Name:	Palm Coast Utilities	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast Utilities
Date Received:	08-MAY-91	Decision Made:	07-APR-92
Permit Expiration:	07-APR-99	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

**I53
North
1/2 - 1 Mile
Higher**

FL WELLS FLSJ11000000685

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	5
Station Name:	SW-22	Station Type:	Production Well
Monitoring:	N	Site ID:	290664
Site Name:	Palm Coast	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	06-APR-09	Decision Made:	09-AUG-11
Permit Expiration:	09-AUG-31	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

I54
North
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000019207

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	1
Official Permit ID:	1947	Station Type:	Production Well
Station Name:	SW-22	Site ID:	2247
Monitoring:	N	Permit Type:	Initial Sequence
Site Name:	Palm Coast Utility Corp	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	Palm Coast Utility Corporation
Statute Description:	CUP Individual (40C-2)	Decision Made:	08-MAY-84
Date Received:	15-MAR-84	Recommendation:	Approval
Permit Expiration:	08-MAY-91	Project Acres:	70000
Permit Status:	Closed	Casing Depth:	0
Casing Diameter:	10	Water Source:	Surficial Aquifer
Total Well Depth:	0	Pump Capacity (GPM):	0
Station Status:	Inactive	Permit App Process Status:	CLOS
Compliance Status:	In Compliance		
Project Use:	Public Supply		

I55
North
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000053897

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	4
Official Permit ID:	1947	Station Type:	Production Well
Station Name:	SW-22	Site ID:	148997
Monitoring:	N	Permit Type:	Modification
Site Name:	Palm Coast	FL Statute:	40C-2
Permit Stage:	Closed	Permit Project Name:	Palm Coast
Statute Description:	CUP Individual (40C-2)	Decision Made:	10-MAR-09
Date Received:	23-OCT-06	Recommendation:	Approval
Permit Expiration:	13-DEC-15	Project Acres:	70000
Permit Status:	Closed	Casing Depth:	0
Casing Diameter:	10	Water Source:	Surficial Aquifer
Total Well Depth:	0	Pump Capacity (GPM):	0
Station Status:	Inactive	Permit App Process Status:	CLOS
Compliance Status:	Out Of Compliance		
Project Use:	Public Supply		

I56
North
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000046245

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)	Permit Seq #:	3
Official Permit ID:	1947	Station Type:	Production Well
Station Name:	SW-22	Site ID:	13309
Monitoring:	N	Permit Type:	Renewal
Site Name:	Palm Coast		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	06-APR-99	Decision Made:	13-DEC-05
Permit Expiration:	13-DEC-15	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	10	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

H57
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ1100000057

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	7	Station Type:	Production Well
Monitoring:	N	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	16	Casing Depth:	120
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

H58
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000020831

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	3
Station Name:	7	Station Type:	Production Well
Monitoring:	N	Site ID:	27609
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	09-MAR-01	Decision Made:	10-OCT-06
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	16	Casing Depth:	120
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

H59
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000054399

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	5
Station Name:	7	Station Type:	Production Well
Monitoring:	N	Site ID:	304255
Site Name:	City of Bunnell	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	20-DEC-12	Decision Made:	16-MAY-13
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	16	Casing Depth:	120
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

H60
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067188

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	6
Station Name:	7	Station Type:	Production Well
Monitoring:	N	Site ID:	320257
Site Name:	City of Bunnell	Permit Type:	Renewal
Permit Stage:	Compliance	FL Statute:	40C-2
Statute Description:	CUP Individual - Board Issued		
Permit Project Name:	City of Bunnell	Date Received:	04-OCT-16
Decision Made:	11-JAN-17	Permit Expiration:	11-JAN-37
Recommendation:	Approval	Permit Status:	Issued
Project Acres:	13800	Casing Diameter:	16
Casing Depth:	120	Total Well Depth:	160
Water Source:	FAS - Upper Floridan Aquifer		
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	Undetermined	Permit App Process Status:	COMP
Project Use:	Public Supply		

H61
WNW
1/2 - 1 Mile
Higher

FL WELLS FLSA11000095010

Database:	Super Act Program Well Data (Department of Health)		
FI Well ID:	AAL1750	Well Type:	40
Status:	ACTIVE	Casing Material:	PVC
Well Depth:	160	Casing Length:	118
Casing Diameter:	10	Permit #:	115513
Sanitary Seal:	Yes	Well Name:	CITY OF BUNNELL
Large PWS Well:	1	WSRP ID:	Not Reported
WSRP Action:	Not Reported	Potable Status:	POTABLE

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Resident Type: OPERATOR PWS Design: 320000

62
West
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000054400

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1982	Permit Seq #:	4
Station Name:	8	Station Type:	Production Well
Monitoring:	N	Site ID:	294324
Site Name:	City of Bunnell	Permit Type:	Letter Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	City of Bunnell
Date Received:	24-FEB-10	Decision Made:	05-MAR-10
Permit Expiration:	10-OCT-16	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	13800
Casing Diameter:	8	Casing Depth:	120
Total Well Depth:	160	Water Source:	FAS - Upper Floridan Aquifer
Station Status:	Active	Pump Capacity (GPM):	200
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

J63
NNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000023534

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	4
Station Name:	SW-21	Station Type:	Production Well
Monitoring:	N	Site ID:	148997
Site Name:	Palm Coast	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	23-OCT-06	Decision Made:	10-MAR-09
Permit Expiration:	13-DEC-15	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	16	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

J64
NNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000023459

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	3
Station Name:	SW-21	Station Type:	Production Well
Monitoring:	N	Site ID:	13309
Site Name:	Palm Coast	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Date Received:	06-APR-99	Decision Made:	13-DEC-05
Permit Expiration:	13-DEC-15	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	16	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

J65
NNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000046379

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	5
Station Name:	SW-21	Station Type:	Production Well
Monitoring:	N	Site ID:	290664
Site Name:	Palm Coast	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast
Date Received:	06-APR-09	Decision Made:	09-AUG-11
Permit Expiration:	09-AUG-31	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	16	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

J66
NNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000054222

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	1
Station Name:	SW-21	Station Type:	Production Well
Monitoring:	N	Site ID:	2247
Site Name:	Palm Coast Utility Corp	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast Utility Corporation
Date Received:	15-MAR-84	Decision Made:	08-MAY-84
Permit Expiration:	08-MAY-91	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	16	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

J67
NNW
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000047986

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	1947	Permit Seq #:	2
Station Name:	SW-21	Station Type:	Production Well
Monitoring:	N	Site ID:	5360
Site Name:	Palm Coast Utilities	Permit Type:	Modification
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Palm Coast Utilities
Date Received:	08-MAY-91	Decision Made:	07-APR-92
Permit Expiration:	07-APR-99	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	70000
Casing Diameter:	16	Casing Depth:	0
Total Well Depth:	0	Water Source:	Surficial Aquifer
Station Status:	Inactive	Pump Capacity (GPM):	0
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Public Supply		

K68
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000067319

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	7
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	320813
Site Name:	Cypress Knoll Golf Course	Permit Type:	Transfer of Ownership
Permit Stage:	Compliance	FL Statute:	40C-20
Statute Description:	CUP General (40C-20)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	08-DEC-16	Decision Made:	13-DEC-16
Permit Expiration:	13-AUG-33	Recommendation:	Approval
Permit Status:	Issued	Project Acres:	100.3
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	Undetermined	Permit App Process Status:	COMP
Project Use:	Landscape/Recreation/Aesthetic		

K69
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000048884

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	2
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	5440
Site Name:	Cypress Knoll Golf Course	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	23-DEC-92	Decision Made:	09-NOV-93
Permit Expiration:	09-NOV-13	Recommendation:	Approval

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit Status:	Closed	Project Acres:	100
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

K70
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000040793

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	1
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	5439
Site Name:	CYPRESS KNOLL GOLF COURSE	Permit Type:	Initial Sequence
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	29-NOV-89	Decision Made:	10-APR-90
Permit Expiration:	10-APR-97	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	100
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	In Compliance	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

K71
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000028897

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	3
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	11762
Site Name:	Cypress Knoll Golf Course	Permit Type:	Transfer of Ownership
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	23-DEC-92	Decision Made:	09-NOV-93
Permit Expiration:	09-NOV-13	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	100.3
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

K72
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000060508

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	4

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	105945
Site Name:	Cypress Knoll Golf Course	Permit Type:	Transfer of Ownership
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	19-AUG-04	Decision Made:	19-AUG-04
Permit Expiration:	09-NOV-13	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	100.3
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	Out Of Compliance	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

K73
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ1100005259

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	6
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	306630
Site Name:	Cypress Knoll Golf Course	Permit Type:	Renewal
Permit Stage:	Closed	FL Statute:	40C-20
Statute Description:	CUP General (40C-20)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	18-JUL-13	Decision Made:	13-AUG-13
Permit Expiration:	13-AUG-33	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	100.3
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	Undetermined	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

K74
NE
1/2 - 1 Mile
Higher

FL WELLS FLSJ11000052239

Database:	Consumptive Use Permit Well Database (St. Johns River WMD)		
Official Permit ID:	5158	Permit Seq #:	5
Station Name:	A	Station Type:	Pump
Monitoring:	N	Site ID:	300850
Site Name:	Cypress Knoll Golf Course	Permit Type:	Transfer of Ownership
Permit Stage:	Closed	FL Statute:	40C-2
Statute Description:	CUP Individual (40C-2)	Permit Project Name:	Cypress Knoll Golf Course
Date Received:	02-DEC-11	Decision Made:	27-DEC-11
Permit Expiration:	09-NOV-13	Recommendation:	Approval
Permit Status:	Closed	Project Acres:	100.3
Casing Diameter:	0	Casing Depth:	0
Total Well Depth:	0	Water Source:	ITT development drainage
Station Status:	Active	Pump Capacity (GPM):	1880
Compliance Status:	Undetermined	Permit App Process Status:	CLOS
Project Use:	Landscape/Recreation/Aesthetic		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

State Database: FL Radon

Radon Test Results

Zip	Total Buildings	% of sites>4pCi/L	Data Source
32164	5	0.0	Certified Residential Database

Federal EPA Radon Zone for FLAGLER County: 3

Note: Zone 1 indoor average level > 4 pCi/L.

: Zone 2 indoor average level ≥ 2 pCi/L and ≤ 4 pCi/L.

: Zone 3 indoor average level < 2 pCi/L.

Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetlands Inventory

Source: Department of Environmental Protection

Telephone: 850-245-8238

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Well Construction Permitting Database

Source: Northwest Florida Water Management District

Telephone: 850-539-5999

Consumptive Use Permit Well Database

Source: St. Johns River Water Management District

Telephone: 386-329-4841

DEP GWIS - Generalized Water Information System Well Data

Source: Department of Environmental Protection

Telephone: 850-245-8507

Data collected for the Watershed Monitoring Section of the Department of Environmental Protection.

DOH and DEP Historic Study of Private Wells

Source: Department of Environmental Protection

Telephone: 850-559-0901

Historic database for private supply wells.

Permitted Well Location Database

Source: South Florida Water Management District

Telephone: 561-682-6877

Super Act Program Well Data

Source: Department of Health

Telephone: 850-245-4250

This table consists of data relating to all privately and publicly owned potable wells investigated as part of the SUPER Act program. The Florida Department of Health's SUPER Act Program (per Chapter 376.3071(4)(g), Florida Statutes), was given authority to provide field and laboratory services, toxicological risk assessments, investigations of drinking water contamination complaints and education of the public.

Water Well Location Information

Source: Suwannee River Water Management District

Telephone: 386-796-7211

Water Well Permit Database

Source: Southwest Water Management District

Telephone: 352-796-7211

PHYSICAL SETTING SOURCE RECORDS SEARCHED

OTHER STATE DATABASE INFORMATION

Oil and Gas Permit Database

Source: Department of Environmental Protection

Telephone: 850-245-3194

Locations of all permitted wells in the state of Florida.

Florida Sinkholes

Source: Department of Environmental Protection, Geological Survey

Telephone:

The sinkhole data was gathered by the Florida Sinkhole Research Institute, University of Florida.

RADON

State Database: FL Radon

Source: Department of Health

Telephone: 850-245-4288

Zip Code Based Radon Data

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey.

The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

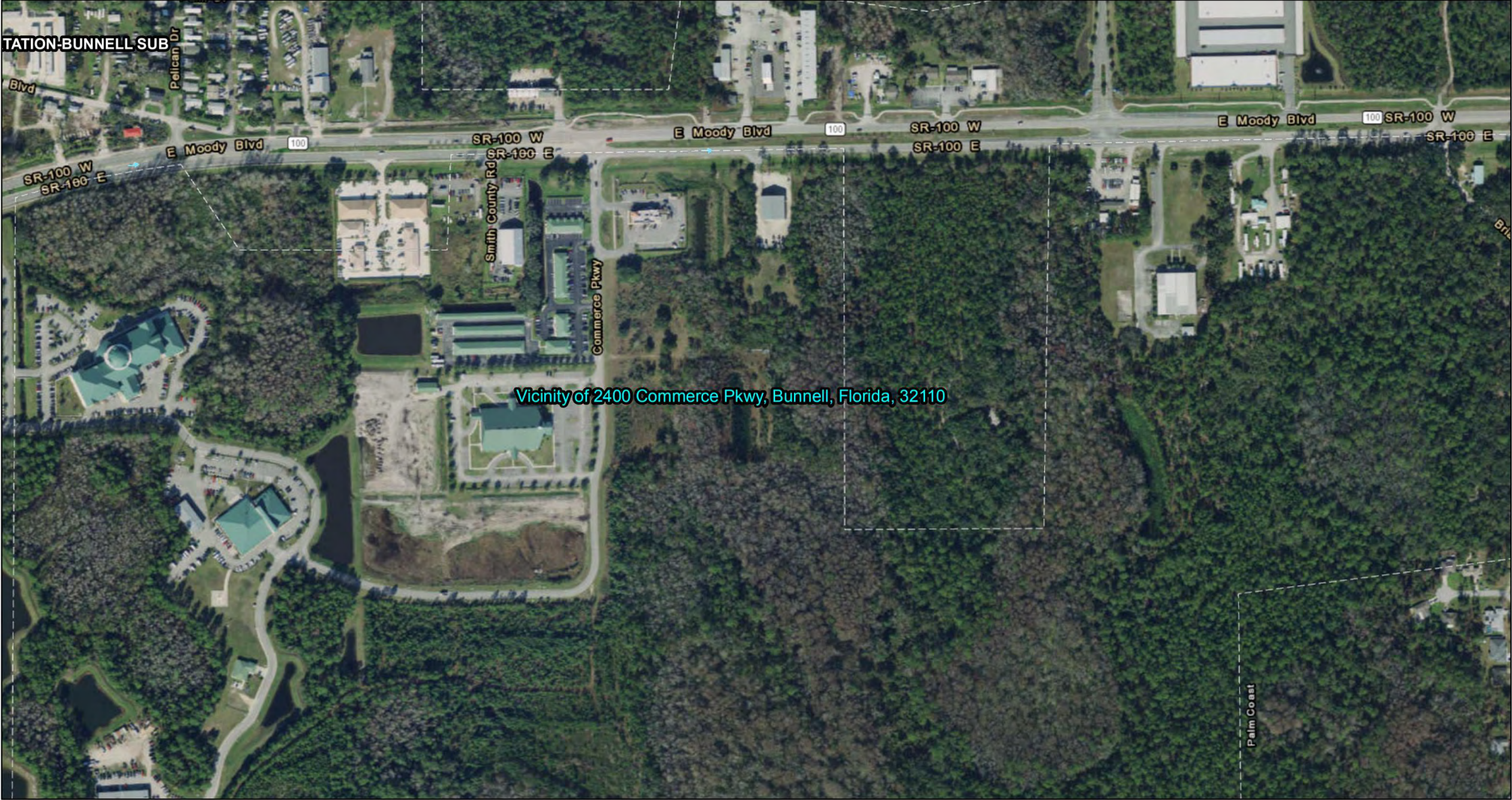
Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

STREET AND ADDRESS INFORMATION

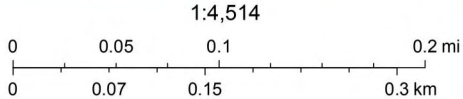
© 2015 TomTom North America, Inc. All rights reserved. This material is proprietary and the subject of copyright protection and other intellectual property rights owned by or licensed to Tele Atlas North America, Inc. The use of this material is subject to the terms of a license agreement. You will be held liable for any unauthorized copying or disclosure of this material.

APPENDIX E
Environmental Reports

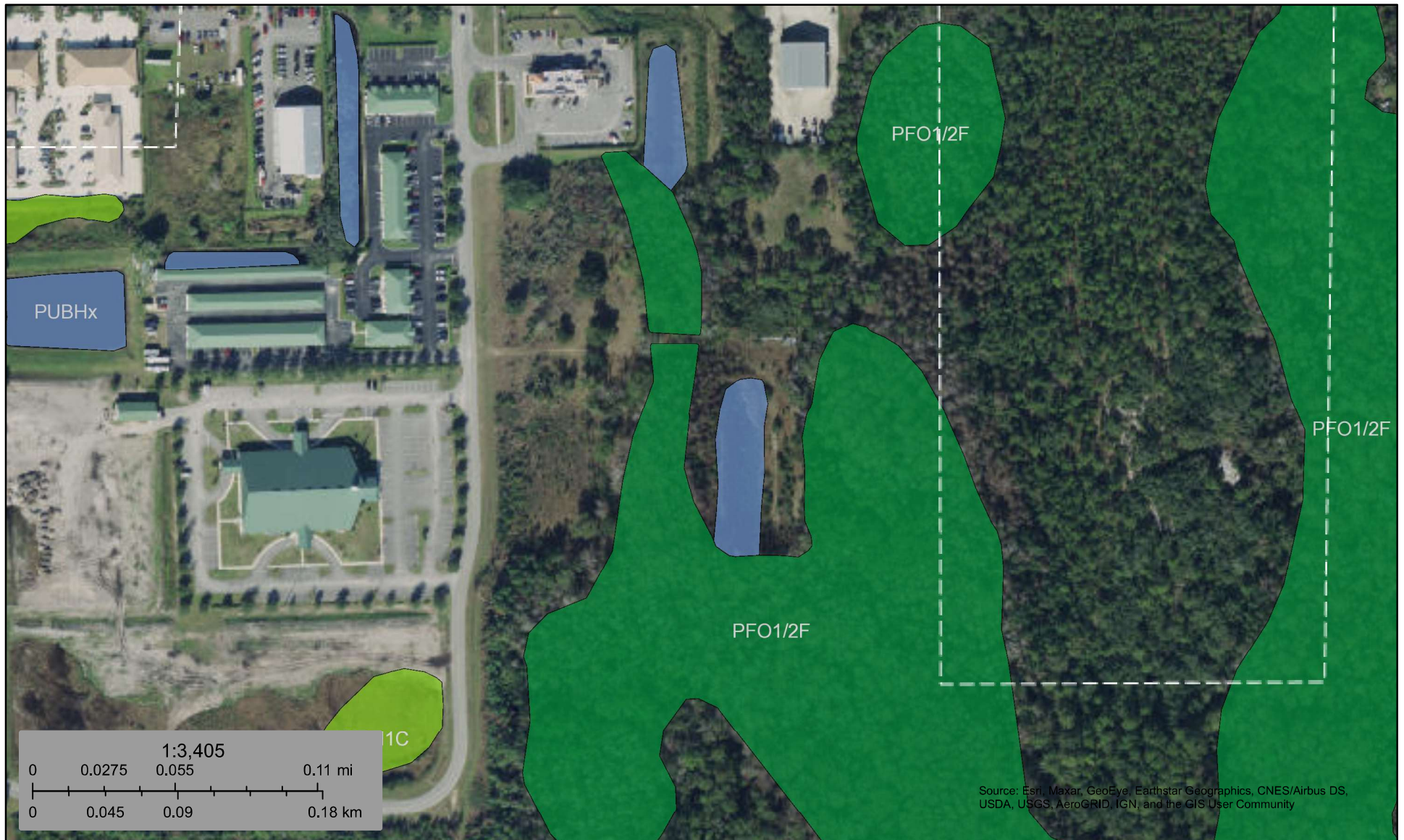
Contamination Locator Map (CLM) Embedded Map



August 27, 2021



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, FDEP



August 27, 2021

Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

APPENDIX F
Aerial Photographs



Commerce Parkway

2400 Commerce Parkway

Bunnell, FL 32110

Inquiry Number: 6637912.8

August 27, 2021

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

08/27/21

Site Name:

Commerce Parkway
2400 Commerce Parkway
Bunnell, FL 32110
EDR Inquiry # 6637912.8

Client Name:

Universal Engineering Sciences
911 Beville Road
South Daytona, FL 32119
Contact: Carly Boston



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2017	1"=500'	Flight Year: 2017	USDA/NAIP
2013	1"=500'	Flight Year: 2013	USDA/NAIP
2010	1"=500'	Flight Year: 2010	USDA/NAIP
2007	1"=500'	Flight Year: 2007	USDA/NAIP
1999	1"=500'	Acquisition Date: January 01, 1999	USGS/DOQQ
1995	1"=500'	Acquisition Date: January 01, 1995	USGS/DOQQ
1993	1"=500'	Flight Date: February 18, 1993	FDOT
1980	1"=500'	Flight Date: March 23, 1980	FDOT
1977	1"=500'	Flight Date: November 27, 1977	USGS
1970	1"=500'	Flight Date: November 05, 1970	FDOT
1957	1"=500'	Flight Date: December 02, 1957	USGS
1952	1"=500'	Flight Date: April 15, 1952	USGS
1943	1"=500'	Flight Date: February 08, 1943	USDA

When delivered electronically by EDR, the aerial photo images included with this report are for ONE TIME USE ONLY. Further reproduction of these aerial photo images is prohibited without permission from EDR. For more information contact your EDR Account Executive.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2021 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.



INQUIRY #: 6637912.8

YEAR: 2017

— = 500'





INQUIRY #: 6637912.8

YEAR: 2013

— = 500'





INQUIRY #: 6637912.8

YEAR: 2010

— = 500'





INQUIRY #: 6637912.8

YEAR: 2007

— = 500'





INQUIRY #: 6637912.8

YEAR: 1999

— = 500'





INQUIRY #: 6637912.8

YEAR: 1995

— = 500'





INQUIRY #: 6637912.8

YEAR: 1993

— = 500'





INQUIRY #: 6637912.8

YEAR: 1980

— = 500'





INQUIRY #: 6637912.8

YEAR: 1977

— = 500'





INQUIRY #: 6637912.8

YEAR: 1970

— = 500'





INQUIRY #: 6637912.8

YEAR: 1957

— = 500'





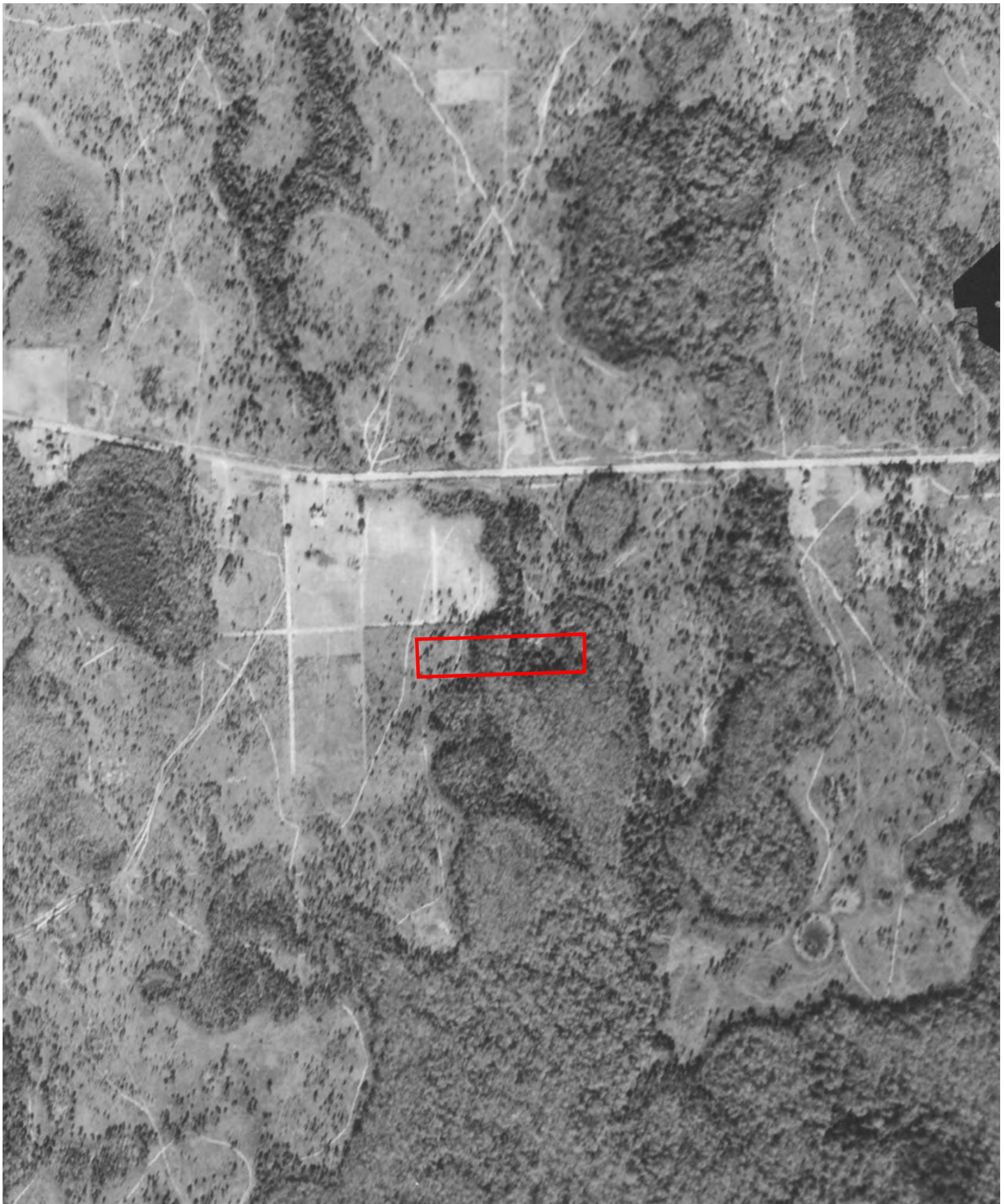
INQUIRY #: 6637912.8

YEAR: 1952

— = 500'



Subject boundary not shown because it exceeds image extent or image is not georeferenced.



INQUIRY #: 6637912.8

YEAR: 1943

— = 500'



APPENDIX G
Fire Insurance Maps

Commerce Parkway
2400 Commerce Parkway
Bunnell, FL 32110

Inquiry Number: 6637912.3

August 26, 2021

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

08/26/21

Site Name:

Commerce Parkway
2400 Commerce Parkway
Bunnell, FL 32110
EDR Inquiry # 6637912.3

Client Name:

Universal Engineering Sciences
911 Beville Road
South Daytona, FL 32119
Contact: Carly Boston



The Sanborn Library has been searched by EDR and maps covering the target property location as provided by Universal Engineering Sciences were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # 8BCB-408B-9957
PO # 2021D-904
Project 2400 Commerce Parkway

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.



Sanborn® Library search results

Certification #: 8BCB-408B-9957

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

Limited Permission To Make Copies

Universal Engineering Sciences (the client) is permitted to make up to FIVE photocopies of this Sanborn Map transmittal and each fire insurance map accompanying this report solely for the limited use of its customer. No one other than the client is authorized to make copies. Upon request made directly to an EDR Account Executive, the client may be permitted to make a limited number of additional photocopies. This permission is conditioned upon compliance by the client, its customer and their agents with EDR's copyright policy; a copy of which is available upon request.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2021 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

APPENDIX H
City Directories

Commerce Parkway

2400 Commerce Parkway
Bunnell, FL 32110

Inquiry Number: 6637912.5
August 30, 2021

The EDR-City Directory Image Report

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.

Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OR DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2020 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc. or its affiliates is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.



RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2017	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2014	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2010	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2005	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
2000	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1995	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive
1992	<input type="checkbox"/>	<input checked="" type="checkbox"/>	EDR Digital Archive

FINDINGS

TARGET PROPERTY STREET

2400 Commerce Parkway
Bunnell, FL 32110

Year

CD Image

Source

COMMERCE PKWY

2017	pg A1	EDR Digital Archive	
2014	pg A9	EDR Digital Archive	
2010	-	EDR Digital Archive	Street not listed in Source
2005	-	EDR Digital Archive	Street not listed in Source
2000	-	EDR Digital Archive	Street not listed in Source
1995	-	EDR Digital Archive	Street not listed in Source
1992	-	EDR Digital Archive	Street not listed in Source

FINDINGS

CROSS STREETS

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
-------------	-----------------	---------------

E MOODY BLVD

2017	pg. A2	EDR Digital Archive
2014	pg. A10	EDR Digital Archive
2010	pg. A17	EDR Digital Archive
2005	pg. A24	EDR Digital Archive
2000	pg. A27	EDR Digital Archive
1995	pg. A29	EDR Digital Archive
1992	pg. A30	EDR Digital Archive

City Directory Images

COMMERCE PKWY 2017

2301 FIRST BAPTIST CHURCH

E MOODY BLVD 2017

100	CITGO HARI KRUPA PRIN DOR FOOD STORE
102	BOOST MOBILE
103	COUNTY OF FLAGLER
300	BANK OF AMERICA BANK OF AMERICA FINANCIAL CENTER
301	FLAGLER PLAYHOUSE
405	ALLSTATE
500	KANGAROO EXPRESS LIL CHAMP
507	BUNNELL DENTAL
604	CUPCAKE CAFE VENUS MULTIPLE SERVICE
607	FAMILY DOLLAR
608	FLAGLER FARMERS MARKET HAVEN HOSPICE
700	BUNNELL MEDICAL CENTER DELE OREBANWO MD FLAGLER COUNTY FREE CLINIC
703	BUNNELL MEDICAL CENTER BUNNELL PHARMACY
704	BUNNELL PHARMACY INC
802	MAXWELLHOUSE
900	VORTEX VAPE
1002	STEPHENS DESIGN & DRAFTING
1100	SIDNEY NOWELL ATTY
1102	AMERICAN IMMIGRATION VITTORI, LUIS A
1150	MATTS AUTO WORKSHOP
1300	SUGAR SANDS FURRY FAMILY HOSPITAL PE
1400	CARLISI CHIROPRACTIC EDEN HEALTH SPA
1405	DOG POUND SALOON
1410	PRO WIRELESS INC
1501	BUNNELL FEED & SUPPLY CO
1769	COUNTY OF FLAGLER MEDICAL CAREER INSTITUTE
2202	GOSPEL GARDENS
2275	LAKEWOOD APARTMENTS
2320	DORGAN, RICHARD
2360	BACHMANS ANTIQUESUSED FURNITURE & UHAUL
2405	ALLSTATE CLASSY KIDS TOO FLAGLER CATS FLAGLER COUNTY BROADCASTING LLC H&R BLOCK LARRYS ITALIAN DELI PET GROOMING BY RAINA LLC STATE OF FLORIDA

E MOODY BLVD 2017 (Cont'd)

2405 STITCH ART EMBROIDERY
THE LOYAL ORDER OF MOOSE
WNZF

2700 MIVINA INC

2710 LABA DRY CLEANERS

2729 ACCUTAX
CASH FOR CAR REFERRALS
CLARK RELLEN BAIL BONDS
FURNITURE LEISURE INC
INTERLINK REALTY OF FLORIDA
LCI TAXES
LIVING FAITH CHRISTIAN CT
NATIONAL CORRECTIVE GROUP
NORTH EAST FLORIDA COMMUNITY ACTION
PALM COAST SECURITY SERVICE
PICNIC FURNITURE
SERENDIPITY SALON & SPA
TAK ENVIRONMENTAL SERVICES
THE FLAGLER PENNSAVER

2902 AUTO TECH TOTAL CAR CARE

3000 CITY ELECTRIC SUPPLY
JEFFS TRANSMISSION
STONEWALL

3011 CITY ELECTRIC SUPPLY

3039 FLAGLER COUNTY PUBLIC SCHOOLS

3200 NATIONWIDE
NEW BEGINNINGS HAIR SALON

3300 CASH IT IN
NEW BEGINNINGS SALON

3501 A1 WINDOW TINTING
GENNOTTI, FRANK

3701 BLACKIE, JANE E
DIAS, FRANKLIN D
EBERHARDT, GLENN
FLORES, LUIS
FRANKLIN, TYRON
MENDEZ, ISRAEL
PAGE, CECIL R
RUSSO, ARRIANNE
WALLACE, ALBERT
WARD, JAMES

4101 FLAGLER COUNTY AOR
THOMAS SAVONE & ASSOCIATES

4600 ADAMS, MEGAN
AH THE SIGHTS
ALEXANDER, JAMES
AMODIO, AMANDA E
ANDERSON, ELVA E
APOLLONIO, JAMES J
BAIER, ROBERT L

E MOODY BLVD 2017 (Cont'd)

4600 BARANOWSKI, DONNA
BARNES, RICHARD
BAUMAN, ANN M
BENTACOURT, LAZRO
BETANCOURT, TATIANA M
BIAN, TR
BLUNK, CHARLES F
BOGDAN, VASILIIY M
BORISENKO, YULIA
BORTS, IGOR A
BOYD, TRACY
BROWN, AUGUSTA L
BURKE, LEANNE P
CALCANO, MAXWELL
CAMBELL, CORTEZ
CANTORE, PASQUALE
CASERTA, JOSEPH
CASTNER, ANDREW
CAULEY, CHRISTINE A
CERULLO, TRINIDAD
CHAPMAN, KRYSTAL
CHEMA, ANN V
CLARK, ERNEST S
COLLINS, HONORE
CONEY, DOUGLAS
COOK, SHAWN E
CRUZ, ROLANDO
DAFT, KEVIN P
DASHER, CHARMAINE J
DEFEO, ANTHONY
DICKISON, DAVID J
DIFEDERICO, ALBERT J
DILEONARDI, SHERRI M
DOLAN, MELISSA
DONATO, ANNA
DORMADY, ELIZABETH A
DOS, SANTOS
DREWERY, MAURICE
DUFFY, CASSIE A
EGGER, SCOTT R
ELEY, GARRETT R
FALDUTO, PAOLO
FARMER, CHENNEL
FERLA, MARYANN A
FERNANDEZ, AIDA S
GATEWOOD, RASHEEKA
GIBSON, MATT
GONSALVES, ELAINE M
GONZALEZ, PEDRO
GOOD, LESIE

E MOODY BLVD 2017 (Cont'd)

4600 GORMAN, KAREN M
GORMAN, LISA
GRUNTZ, AMY L
GUARINO, YOLANDA C
HACKER, CHARLES M
HALIGOWSKI, LEXUS
HARPER, DARYL O
HAYWOOD, BETTY N
HEINLEIN, GEORGE W
HENRY, GALE L
HERRING, JIMMIE P
HUNTZE, MARTIN R
JACKSON, KELVIN B
JANUREY, CARLA
JOHNSON, SONA
JONES, CHRISTOPHER N
KANDEL, RONALD
KASTNER, ARLENE
KEELER, FRANK D
KELP, ZACHARIAH
KENDRA, BELL
KIRVEN, REGINALD E
KNAPP, KATHERINE S
KOEHLER, MAYRACELIZ
LANDAU, RICHARD
LAPOLLA, GAIL L
LAWRENCE, SHAYNA
LOGAN, STEVEN K
LOPES, ANABELA
LOPES, MANUEL F
MAIN, MARK A
MAISTO, ANGELICA
MARCOS, JOHN R
MAYNARD, JOSHUA
MAZURKINA, MARINA
MCCOLGAN, JENIFER M
MCDUFFEY, SANDRA J
MCKENNEY, LINDA E
MCLAUGHLIN, KAREN
MEDEIROS, LUIS J
MILAM, CHARLENE A
MILLARD, PETER M
MILLARD, PHILIPPA M
MINNICH, SANDRA L
MIRANDA, HIRAM A
MITCHELL, ISAHIEL
MOGUEL, DONALD M
MOLINA, ROBERTO
MONTGOMERY, DESIRAE
MOORE, SONDR

E MOODY BLVD 2017 (Cont'd)

4600 MORALES, ANNETTE M
MORALES, MARIE
MORRIS, ANDRE T
MUDRAK, JOSEPH M
MULLINGS, JORDAN H
MURPHY, LARRY T
MYERS, NANCY D
NAGORNOVA, OLGA A
NELSON, KEITH
NISKALA, KEVIN
NORMAN, COOPER
PAVLAK, MAUREEN
RAMOS, LUIS
RANCOURT, NICOLE
RAPOSO, MARK
RIMMEL, RICHARD F
RIVERA, ONELIA
RODRIGUEZ, GENETTA
ROGERS, ANTOINE
ROMANISH, JANICE A
ROWLAND, SCOTT K
RUSSELL, KATHY
SAFRONOVA, LUDMILA
SCHNEIDER, DEBORAH L
SCHULTZ, RICHARD A
SCOTT, SHAKIEL
SEVCUKA, NINEL
SEVCUKS, DMITRIJS
SHORE, HAROLD G
SIMCOE, ROBERT S
SIROGIN, PAVEL I
SMITH, PEGGY B
SPINK, JESSICA
STASA, JASON J
SUMBAY, IPEK M
SWEET, KRISTIE E
SYULEYMANOV, MEHMED
TILLMAN, LEWIS
TOLKACHIER, IGOR
TOLLIVER, SHIRLEY L
TOUROVETS, IGOR
TRIPP, CHRISTINE
UCCELLO, ROBERT J
VACCHIANO, ANTHONY A
VEGA, AMANDA L
VIVIANO, MIAKARLA
VOLNOV, JULIA
WADE, JESSICA R
WAIRIMU, LUCY
WALKER, BREYION M

E MOODY BLVD 2017 (Cont'd)

4600 WALRIMU, LUCY N
WATSON, JUNE
WEBER, WILLIAM T
WEINBERGER, NATALIYA
WELLS, NANCY L
WESCOTT, PATRICIA
WETZONIS, PAUL J
WHALEY, MICHAEL
WHITE, SHAWN
WILLIAM, SHAYLA
WILLIAMS, KIMYETTE A
WILLIS, SEAN
YAROSZEUFSKI, RACHEL
YOUNG, THOMAS L
ZEMON, HARRY

4601 ALL WEATHER GLASS PROTECTION INC
ALTERATIONS SEW MUCH MORE LONNIES
AMERICAN FAMILY HAIRCUTS
ANSORGE PLUMBING
ESP PRINTING
FLAGLER SCHOOL OF DANCE
JACKSON HEWITT
LANDCARE GROUP INC
LC HAIR DESIGN LLC
M & R ROOFING
MCGOWANS HEATING & AIR
PPG PORTER PAINTS
RAYMOND JAMES FINANCIAL SERVICES
REED DC PATRICK PA
THE DOOR STORE
THE SEW & QUILT SHOP
TOP CITY REALTY INC VENUS MULTIPLE S
TRANSFORMATION STYLING STUDIO
VENUS MULTIPLE SERVICE
W CAFE PALLET

4620 CAR TIME INC
UHAUL

4720 FLOORS ALIVE

4721 AI TECHNOLOGIES INC
AMARAL MEDICAL COMPLEX
CHANCE 2 CHANGE INC DBA B
FLAGER DIAGNOSTIC & SLEEP DISORDER C
GRACE ACCOUNTING SERVICE INC
KIMS SERENITY HAIR SALON
PALM COAST CHIROPRACTIC CENTER
SHEAR ELEGANCE SALON
SHELL
SPIRIT LIFE WORSHIP CHURCH
TESARIO

4750 A PLUS PHARMACY

E MOODY BLVD 2017 (Cont'd)

- 4750 COASTAL BUSINESS
- OSTERIA RUSTICA
- TRENDZ HAIR SALON
- TRIVETT GROUP
- 4751 ALANTIC FIREARMS & SURVIVAL SOLUTION
- DOLPHIN PRINTING & DESIGN INC
- JEM ALUMINUM INC
- SOUTHSIDE SELF STORAGE
- UHAUL
- WINDOW EXPRESSIONS & MORE



-

COMMERCE PKWY 2014

2570 WENDYS
WENDYS BUNNELL

E MOODY BLVD 2014

1	E Z WIRING
100	CITGO HARI KRUPA
102	DCOT COMMUNICATIONS LLC OCCUPANT UNKNOWN,
103	COUNTY OF FLAGLER
206	FLAGLER COUNTY HISTORICAL SOCIETY MU
300	BANK OF AMERICA NICHOLS & AHMED PA RONALD ATN
301	FLAGLER PLAYHOUSE
400	FELL, DORINE R
405	ALLSTATE FLAGLER COUNTY INSURANCE AGENCY
507	BUNNELL DENTAL OCCUPANT UNKNOWN,
602	CHICKEN PANTRY
604	OCCUPANT UNKNOWN,
607	FAMILY DOLLAR
608	HAVEN HOSPICE
700	BUNNELL MEDICAL CENTER
703	BUNNELL PHARMAC Y
704	UNITED WAY SERVICE CENTER
802	MAXWELLHOUSE STOUGHTON, BILL
1000	SMITH, JOHN S
1002	STEPHENS DESIGN & DRAFTING
1100	KIMBALL GREG PA ATTY NOWELL SIDNEY ATTY
1101	OCCUPANT UNKNOWN,
1102	AMERICAN IMMIGRATION OCCUPANT UNKNOWN,
1150	PALMETTO ELECTRIC INC
1400	APPLE NEURO & SPINE CARLISI CHIROPRACTIC
1405	DOG POUND SALOON
1410	ADVANCE AUTO RENTAL PRO WIRELESS INC
1501	BUNNELL FEED & SUPPLY CO
1545	BROWN HAYWARD FLAGLER INC
1769	COUNTY OF FLAGLER MEDICAL CAREER INSTITUTE STATE OF FLORIDA
2202	GOSPEL GARDENS
2275	DESOUZA, TERRY DORESTAN, PATRICK GOLDIN, STEVEN LAKEWOOD APARTMENTS
2310	PALMER, CHARLES G BATARICK, ELIZABETH A OCCUPANT UNKNOWN,

E MOODY BLVD 2014 (Cont'd)

2350 BRIANS CUSTOM GOLF CARS
2360 BACHMANS ANTIQUESUSED FURNITURE &
BACHMANS GLASS GRINDING
BACHMANS VINYL PATIO FURNITURE REPA
UHAUL
2405 BEACH 927
CLASSY KIDS TOO
D & S BEAUTY SUPPLY
FLAGLER CATS
FLAGLER COUNTY BROADCASTING LLC
H&R BLOCK
HAIR WE R
MOOSE LODGE
PET GROOMING BY RAINA LLC
STATE OF FLORIDA
STITCH ART EMBROIDERY
TREY TULLY ALLSTATE INSURANCE AGEN
WNZF
2700 ACE AIR CONDITIONING
ACE AIR CONDITIONING INC
MATTS AUTO WORKSHOP
2710 LABA DRY CLEANERS
2729 ACCUTAX
CLARK RELLEN BAIL BONDS
FLAGLER MENTAL HEALTH CENTER
FLAGLER PENNYSAVER THE
FURNITURE LEISURE INC
INTERLINK REALTY OF FLORIDA
LCI TAXES
LIVING FAITH CHRISTIAN CT
PAL
PALM COAST SECURITY SERVICE
PENNYSAVER
PICNIC FURNITURE
SERENDIPITY SALON & SPA
TAK ENVIRONMENTAL SERVICES
2902 AUTO TECH TOTAL CAR CARE
3000 FOGLEMAN BUILDERS SUPPLY
JEFFS TRANSMISSION
3011 CITY ELECTRIC SUPPLY
3039 FLAGLER COUNTY PUBLIC SCHOOLS
3100 LANDCARE MANAGEMENT INC
3200 NEW BEGINNINGS HAIR SALON
3300 CASH IT IN
3501 A1 WINDOW TINTING
GENNOTTI, FRANK
3701 BROOKS, JULIE L
DEPASQUALE, SHAWN R
DIAS, FRANKLIN D
HUNTER, MICHAEL V

E MOODY BLVD 2014 (Cont'd)

3701 MENDEZ, ISRAEL
PAGE, CECIL
WALLACE, ALBERT
WARD, JAMES

4101 FLAGLER COUNTY AOR
THOMAS SAVONE & ASSOCIATES
TRIPLETT TITLE LLC

4600 ALVAREZ, DANIEL
ANGIOLILLO, DEBORAH
BARANOWSKI, DONNA
BOGDAN, VASILIIY M
BOURDELAIS, RITA
BOURTIKACHZILI, IRAKLI I
BROOKS, KRISTIN B
CAMPBELL, LANA
CARTWRIGHT, HAZEL L
CASERTA, JOSEPH
CASSIS, PAMELA J
COLON, RICKY
CURRY, JAMES
DELGADO, JANET B
DEOLIVEIRA, OMAR G
DEYCH, DMITRIY S
DIBENEDETTO, EDWARD
DILEONARDI, SHERRI M
DORMADY, PATRICIA M
DOS, SANTOS L
DOUGHTY, MARTHA C
EDWARDS, ANNETTE
ELEY, GARRETT R
FAHNESTOCK, MICHAEL
FERLA, MARYANN A
FLORES, JENNIFER
FOLEY, MICHAEL
FULGHUM, CHAD
FULMER, HENRY
GALLO, ROSA
GIBSON, NADEEN
GONSALVES, ELAINE M
GORMAN, ANTHONY
GRANGER, EMILY J
GREGG, TONG
GRIGGS, DOROTHY
GRUSSGOTT, DAN L
GUERRERO, EVONNE
HALIGOWSKI, LEXUS
HALL, JOELLA C
HARPER, DARYL O
HEARN, THOMAS
HEINLEIN, GEORGE

E MOODY BLVD 2014 (Cont'd)

4600 HENRY, GALE L
HOLLOWAY, PEGGY L
HOOPS, RAGINI
HUBBARD, THERESA M
HUBER, STEPHEN
HUGHES, JUDITH E
JENKINS, FAVORYOR
JOHNSON, SONA
JONHSTON, LIZA
JOSEPH, SHANNON M
KACHKOVSKY, BORIS M
KIECZKAJLO, MARCIA J
KLIM, CHRISTOPHER
KNIGHT, EUGENE
KUBIAK, OLGIERD
LAPOLLA, GAIL L
LEE, TEDDY
LOGAN, STEVEN K
LOWERY, ROBERT L
MARTIR, ELIZABETH M
MASSARO, SIOBHAN
MAVAIROS, MARIA
MAYNARD, JOSHUA
MCCLINTON, KAREN H
MCCLOSKEY, MELISSA
MCCOLGAN, JOSEPH E
MCCOY, JAMES M
MCFARLAND, TATYANA
MCGEE, MAC R
MCLAUGHLIN, KAREN
MEDEIROS, LUIS J
MELLINI, NICHOLAS
MELVIN, SHYTEAYA M
MINCEY, NANCY E
MINNICH, SANDRA L
MITTNER, CORY E
MOGUEL, DONALD M
MONTIJO, TIMOTHY
MULLINGS, KAREN A
MURPHY, LARRY T
MURRAY, JOHN C
NEAL, OTHA
NELSON, ALFRED A
NEVOD, SERGEY
NGUYEN, LU P
NOLAN, KATHLEEN M
NUNNALLY, BARRY S
PARRESOL, BRYAN J
PEREZ, ALEXANDRA
PERKINS, JESSICA

E MOODY BLVD 2014 (Cont'd)

4601	ALL WEATHER GLASS PROTECTION INC ALTERATIONS SEW MUCH MORE LONNIES AMERICAN FAMILY HAIRCUTS BAD ROSES MOTORCYCLES BOURKE GEORGE P DOGS CHOICE FREEDOM HOMES H & M DISTRIBUTORS HIBU INC LANDCARE GROUP INC M & R ROOFING INC FAX LINE MARVINS GARDEN MINI STORAGE BUSINES MCGOWANS HEATIN G & AIR PATRICK REED DC PA PETES AUTO DETAILING POOL POLICE SERVICE PPG PORTER PAINTS THE CHEAP STORE THE DOOR STORE THE SEW & QUILT SHOP THE SOURCE TIME SHARES BY OWNER OF PALM COATS USED CLOTHING C LOSEOUTS VENUS MULTIPLE SERVICE
4620	CARTIME INC UHAUL
4720	FLOORS ALIVE
4721	AI TECHNOLOGIES INC ALL CITY FAMILY HEALTH AMARAL MEDICAL COMPLEX AMERIPRISE FINANCIAL CHANCE 2 CHANGE INC DBA B EAST COAST 24 HOUR FITNESS ECIGS BEST SMOKER FLAGLER DIAGNOSTIC & SLEEP DISORDER GRACE ACCOUNTING SERVICE INC HEAT TRUCKING INC PALM COAST CHIROPRACTIC CENTER SHEAR ELEGANCE SALON THORNTON JENNIFER DR
4750	BEST DELIVERY L LC COASTAL BUSINESS LARRYS ITALIAN DELI MJ EDUCATIONAL SERVICE OSTERIA RUSTICA TRIVETT GROUP
4751	ALANTIC FIREARMS & SURVIVAL SOLUTION ALPHA PREGNANCY CENTER APEX PEST CONTROL DOLPHIN PRINTING & DESIGN INC

E MOODY BLVD 2014 (Cont'd)

4751 HALL INSURANCE SVCS
JEM ALUMINUM INC
SAMARITAN MINISTRIES
SOUTHSIDE SELF STORAGE
WINDOW EXPRESSIONS & MORE

E MOODY BLVD 2010

1	E Z WIRING
11	ACE BAIL BONDS
100	HARI KRUPA HOLDING CO OCCUPANT UNKNOWN,
102	OCCUPANT UNKNOWN,
200	OCCUPANT UNKNOWN,
204	FLAGLER COUNTY HISTORICAL
300	ANDERSON CHERYL L BANK OF AMERICA CLARK RONALD E CLARK, RONALD
301	FLAGLER PLAYHOUSE
500	KANGAROO EXPRESS
507	OCCUPANT UNKNOWN,
604	JACKSON HEWITT TAX SVC
700	BUNNELL MEDICAL CTR FLAGLER COUNTY FREE CLINIC
703	CHILDRENS ADVOCACY CTR
704	EVERGREENE ENTERPRISES US POST OFFICE
900	COUNTRY STOREFLAGLER COUNTY
904	EAST TRUST REAL ESTATE CORP LAUREOLA CONSULTING TEAMLOGIC IT
1000	SMITH, JOHN S
1001	DIMARSICO SURVEYING
1002	STEPHENS, LARRY D
1003	BEYOND BLISS DAY SPA REALTY SHOP
1102	AMERICAN IMMIGRATION SVC OCCUPANT UNKNOWN,
1150	PALMETTO ELECTRIC INC
1200	CENTRAL FLORIDA ELEC OF OCALA FLAGLER COUNTY ECONOMIC DEV PUBLIC WORKSROAD & BRIDGE
1300	DUNSON, FLORENCE
1400	CARLISI CHIROPRACTIC
1404	SMOKIN BONES BBQ
1405	DOGPOUND SALOON
1410	LINDAS SALON DE BEAUTE PRO WIRELESS INC VASILAROS & POLITIS
1437	AMERICAN LANDSCAPE
1658	A 1 WINDOW TINTING NEW CENTURY AUTO
1756	BORKOWSKI, ROBERT J FINNEY, DENISE
1759	FLAGLER COUNTY HAZARDOUS MTRLS
1769	COUNTY ADMINISTRATOR COUNTY ATTORNEY

-

✓

E MOODY BLVD 2010 (Cont'd)

- 1769 FINANCIAL SVC
- FLAGLER CNTY BOARDCOMMISSION
- FLAGLER CNTY PLANNING & ZONING
- FLAGLER COUNTY ADMIN
- FLAGLER COUNTY ATTORNEY
- FLAGLER COUNTY BUILDING DEPT
- FLAGLER COUNTY CENTRAL PERMIT
- FLAGLER COUNTY CIRCUIT CT CLRK
- FLAGLER COUNTY CODE ENFORCEMNT
- FLAGLER COUNTY COMMUNITY INFO
- FLAGLER COUNTY DEVELOPMENT SVC
- FLAGLER COUNTY EMERGENCY SVC
- FLAGLER COUNTY ENGINEERING
- FLAGLER COUNTY FIRE INSPECTOR
- FLAGLER COUNTY HUMAN RESOURCES
- FLAGLER COUNTY PUBLIC DEFENDER
- FLAGLER COUNTY PUBLIC WORKS
- FLAGLER COUNTY PURCHASING
- FLAGLER COUNTY SHIP HOUSING
- FLAGLER COUNTY TEEN COURT
- FLAGLER COUNTY TOURIST DEVMNT
- FLAGLER COUNTY TRANSPORTATION
- FLAGLER COUNTY UTILITIES
- FLAGLER COUNTY VETERANS SVC
- FLAGLER COUTNY WASTE SVC DEPT
- HONORABLE KIM C HAMMOND
- HONORABLE SHARON B ATACK
- PARKS & RECREATION DEPT
- STATE ATTORNEY
- 1800 FRASER, DEREK G
- 2201 PAYLESS CAR SALES
- 2275 ANDERSON, RONALD
- BOURNE, DAVID
- CRIBB, BERNADETTE M
- DESOUZA, TERRY
- DEYCH, DMITRIY S
- DRAVES, ED
- FELLOWS, JENNIFER P
- FORTSON, ROBERT
- GIBREATH, MYRKA
- HAYDT, JUDY
- KLECKY, CASSANDRA
- KOLLURI, IMMANUEL J
- MASTERSON, LARR
- MCCOMAS, EDWIN V
- MELLOW, ELLA M
- OBRIEN, NICOLE
- OSULLIVAN, DENIS
- PALM POINTE
- PALMER, CHARLES G

E MOODY BLVD 2010 (Cont'd)

2275 PHIFER, JOHN D
 POPOVICH, GARY
 REESE, HAROLD
 STENSTROM, LAURA
 STRAKER, JASON
 TRAN, SHAYLA
 WHITNEY, WILLIAM M
 WRIGHT, BONNIE
 WYNNE, DENNIS
 2277 OSULLIVAN, DENNIS
 2285 CARIBBEAN GROCERY STORE & BVRG
 DIRECT IMPORTERS INC
 FERRARI SUNBELT BUS BROKERS
 FLAGLER BAIL BONDS
 FLAGLERMOVERS.COM
 MA BOUTIQUE
 2310 OCCUPANT UNKNOWN,
 2311 NORRIS, CAROL J
 2320 OCCUPANT UNKNOWN,
 2334 GREENSKEEPER LAWN CARE
 MARCO ELECTRICAL CONTRACTORS
 2350 BRIANS CUSTOM GOLF CARS
 2405 AMERICAN FIRST MORTGAGE
 CANDY BOUQUET
 CLASSY KIDS TOO
 CLASSY NAILS & SPA
 FLAGLER COUNTY BROADCASTING
 H&R BLOCK
 MELISSAS SUBS & GRILL
 MOOSE LODGE
 PROBATION & PAROLE SVC
 2700 MATTS AUTO WORKSHOP INC
 2710 FLAGLER COUNTY AOR
 FLAGLER COUNTY BOARDREALTORS
 ISLAND VIEW MILLWORK
 LABA DRY CLEANERS
 2729 ACCUTAX
 FIRST METROPOLITAN MORTGAGE
 FLAGLER PENNYSAVER
 FURNITURE LEISURE
 INTERLINK REALTY OF FLORIDA
 LIVING FAITH CHRISTIAN CT
 METROPOLITAN HEALTH NTWRK INC
 PICNIC FURNITURE
 SARA J RILEY LMHC PA
 SUNSHINE BUSINESS COMPLEX
 TOC ENTERPRISES
 UCPWORC
 VOLUSIA PENNYSAVER INC
 2902 AUTOTECH TOTAL CAR CARE

E MOODY BLVD 2010 (Cont'd)

2904	OARE, ROBERT
3000	CITY ELECTRIC SUPPLY FOGLEMAN BUILDERS SUPPLY OCCUPANT UNKNOWN,
3100	LAND CARE MANAGEMENT INC LANDCARE NURSERY INC
3501	A & T AUTO REPAIR OCCUPANT UNKNOWN,
3701	BRUNNER, ERIC M COPPOLA, TAMMY DIAS, FRANKLIN
4101	THOMAS SAVONE & ASSOC
4600	ABAR, CARRIE BAFFA, JOANN BERENBLIT, BERTA BLAIS, COREY S BREWER, JOYCE BUHMAN, CHRISTINE H BUTLER, HEATHER M CAMP, ADAM CARTWRIGHT, HAZEL L CHARLES, AMANDA H CHIPPS, MELISSA A CHROSTEK, RENEE A CLARK, RONDA COATES, SHEENA P COLBERG, ELIZABETH COLE, CINDY COOK, LINDA P COOPER, PATRICIA CRUZ, KRISTINA CURRY, JAMES DAMROW, SUSAN DEAN, SEAN M DECOOK, ANDREW R DETORFINO, ANDREW DIBENEDETTO, EDWARD DIFUSCO, STEVEN EPSHTEYN, FELIX ESPOSITO, ALBERT FOLEY, MICHAEL FOX, LISA FRANCIS, KENIESHA P FRISBEE, KENNETH A GAWRORISKI, DAVID GRADDY, DARRELL GREEN, MARY HAERING, JOHN HARRIS, ROGER HASIAN, PHYLLIS

E MOODY BLVD 2010 (Cont'd)

4600 HATZL, ROBERT C
HENRY, GALE
HUTCHINSON, KELLY A
INTAGLIATO, DEBORAH F
IORIO, JOSE A
JOSEPH, SHANNON M
KACHKOVSKY, BORIS M
KURCIN, KRISTINE
LANNUZZI, GERALD
LATISH, JARRETT
LEE, CRYSTAL
LEGORY, ROBERT E
LINDBERGH, GINGER
LOWREY, MICHAEL L
MARTIN, ARCHIE
MASSARO, SIOBHAN
MCLAUGHLIN, KAREN
MIRELES, LIZMARIE
MUNN, VIRGIL
MUNYUI, IRENE W
NAVIN, TRACI
NEWELL, AMY
ORTIZ, LIZMARIE
PARRISH, JOYCE I
PILOT, KAREN F
RAYMOND, SUSANNA
REED, ADRIAN D
ROBINSON, KEVIN
ROSE, MICHELE A
SALCE, JOE O
SANTOS, LAURENTIN D
SCAPIN, NICOLA
SCHWEERS, TAMSYN
SELVEY, AMBER
SMITH, BRIAN P
SWALEC, DIANA M
TEUTUL, PAULA
THOMPSON, ANDREW K
TOKPAH, GARMAI S
TOORNMAN, CHRISTOPHER B
UPSON, MARTHA
VARNO, TIMOTHY W
WALTON, DONALD P
WHARTON, IDA
YOUNG, ELIZABETH B
ZIGLER, BRET A
4601 AACTION PROPERTY MANAGEMENT
ACE LAUNDRY MAT
ALL WEATHER GLASS PROTECTION
ALL WRAPPED UP WEDDINGSEVENTS

E MOODY BLVD 2010 (Cont'd)

- 4721 SEASIDE SERVICES
- SHEAR ELEGANCE
- TITLE 500
- VOLUSIA REPORTING
- 4750 AIR TIME HOBBIES INC
- ALL MORTGAGE SOLUTIONS
- AMERICAN FAMILY HARCUTS
- C F SOLUTIONS
- COASTAL CHIROPRACTIC HEALTH
- LARRYS ITALIAN DELI
- PURE BRAZIL CAFE
- PUTNAM STATE BANK PALM COAST
- WESTAFF
- 4751 ACADEMY OF CONSTRUCTION HEALTH
- APEX PEST CONTROL
- DOLPHIN PRINTING & DESIGN INC
- HAIR WE R
- HAMBY CONTRACTING INC
- RIDENSHINE AUTO DETAILING

E MOODY BLVD 2005

200 FLAGLER COUNTY CLERK OF COURT
 STATE ATTORNEY OFFICE
 201 COUNTY OF FLAGLER SUPERVISOR OF ELEC
 303 ATLANTIC COAST HOME INSPECTION SERVI
 BANK OF AMERICA
 CLARK RONALD E
 CLARK, RONALD
 LARRY T GRIGGS ATTORNEYS
 305 FLAGLER COUNTY ABSTRACT CO
 501 BRANNAM, MELBA G
 507 RAMIREZ BENNY DDS
 700 C S GARDNER & ASSOCS INC
 CANAKARIS JOHN M MD
 CANAKARIS, JOHN M
 MEMORIAL FAMILY CARE BUNNEL MD FAAFP
 711 SMITH, GABRIELLE
 900 ALMBERG, JOHN H
 901 TINY TREASURES GIFT SHOP
 904 EAST TRUST MORTGAGE CORP
 UCA LLC
 1000 SMITH, JOHN S
 1002 COOKE TRUCKING
 NEXGEN WATER TREATMENT
 STEPHENS DESIGN & DRAFTING
 STEPHENS, LARRY D
 1003 AMERICAN IMMIGRATION & VISA CENTRE P
 COMMONWEALTH FOODS & GIFTS
 PRESTIGE FLOORING & INTERIORS
 RIGHT START NUTRITION
 WLG FINANCIAL CORP
 1010 ENGLAND, CARL G
 1100 BARROWMAN, JAMES K
 1102 NOWELL, SIDNEY M
 OXFORD TITLE CO
 OXFORD TITLE CO LLC
 1125 BRIANS CUSTOM GOLF CARS
 1200 COUNTY OF FLAGLER
 DICK ENVIRONMENTAL
 FLAGLER CNTY OF CODE ENFORCEMENT
 FLAGLER CNTYPARKS RECREATION
 FLAGLER COUNTY DEPT OF PUBLIC
 FLAGLER COUNTY ENGINEERING
 FLAGLER COUNTY OF COUNTY ATTORNEY
 FLAGLER COUNTY OF PLANNING AND ZONIN
 FLAGLER COUNTY UTILITY REGLTRY
 1202 ARC ANGEL OF FLAGLER INC
 LITTLE ANGEL DAYCARE
 1300 DUNSON, FLORENCE
 JJ AND J FRAMING LLC
 MCNEAL AND WHITE BUILDERS INC

E MOODY BLVD 2005 (Cont'd)

1400 SHIELDS, JANET E
1406 DOGPOUND SALOON INC
MA PEGGYS KITCHEN
1437 AMERICAN IRRIGATION
1501 BUNNELL FEED & SUPPLY CO
1658 A1 WINDOW TINTING & ULTIMATE DETAIL
FRANK GENNOTTI
M & M MOTORS
NEW CENTURY AUTO
SOUTH 2ND STREET AUTO REPAIR
1756 CLINE, DENISE
HYDER, MICHAEL E
KIRLAND, HOWARD
MCGREEVEY, AMY
ROBERTS, GRACE
2275 AMERSON, WILLIAM
BLAND, D
BROWN, DIANE
CHARLES, DENISE
CORIEIA, D
DEMELLO, JOSIANE
DENIZ, OZLEM
DOSSANTOS, GILMAR
FRAHM, CARA
FRANCIS, ERIC
GIPE, NOLAND
GOODYEAR, MICHAEL M
HARMON, DANIEL A
HERNANDEZ, CHRISTOPHER
JOLE, MAGDA M
KELLY, BONITA
MATHEWS, JOHN
MATTINA, CHARLES J
MENARD, JAMES W
MONTIJO, OSVALDO
MORTALI, FRED C
MURRAY, JOHN C
MUTUNGU, TONNY M
OSVALDO, MONTIJO
PARKER, RAYMOND
PARRISH, RACHEL
PATEL, PRITI
PENA, ESTHER
PERRY, DEANNA
PIZZETTA, KAREN A
REDNER, TRAVIS
SCHNEIDER, JANELLE A
SIMS, DUSTIN
STEWART, JOHN
TULLY, JAMES P

-

✓

E MOODY BLVD 2005 (Cont'd)

2275 WANERKA, NICHOLAS
WHITE, WILLIAM
WICINSKI, LYNETTE
WORLEY, ANITA K
WRONA, ARLENE M
2285 FLAGLER BAIL BONDS
FLAGLER COUNTY OF GUARDIAN AD LITEM
SEA MY HOME REALTY INC
2311 MORRIS, DAVID
2507 U HAUL CO
2700 DON ENTERPRISES
2729 FLAGLER COUNTY GUARDIAN AD LITEM PRO
INTER REALTY OF FLORIDA INC
SANDALS HOMES LLC
SOUTHERN COAST FUNDING INC
TAK ENVIRONMENTAL SERVICES INC
TWOS CO
4721 BAXTER CUSTOM WIRING INC
JESSICA L SUSTAITA INC
SHEAR ELEGANCE
THE CLAY PLAY HOUSE LLC

E MOODY BLVD 2000

15	E Z WIRING
19	SALVATION ARMY
100	PRIN DOR INCORPORATED
106	INTRACOASTAL AGING ALLIANCE
	LAKWOOD INVESTMENT GROUP INCORPORATED
	UNITED WAY SERVICE CENTER
109	FLAGLER COUNTY HEATING & AIR
200	FLAGLER COUNTY OF CLERK CIRCUIT COURT
	FLAGLER COUNTY OF COUNTY ENGINEER
201	FLAGLER COUNTY OF CIRCUIT JUDGE
	FLAGLER COUNTY OF CLERK CIRCUIT COURT
	FLAGLER COUNTY OF COUNTY JUDGE
	FLAGLER COUNTY OF PROPERTY APPRAISER
	FLAGLER COUNTY OF PUBLIC DEFENDER
	FLAGLER COUNTY OF STATE ATTORNEY
	FLAGLER COUNTY OF SUPERVISOR OF ELECTIONS
	FLAGLER COUNTY OF TAG OFFICE
	FLAGLER COUNTY OF TAX COLLECTOR
204	FLAGLER COUNTY HISTORICAL SOCIETY MUSEUM
300	ATLANTIC COAST HOME INSPECTION SERVICE
	MATANZAS APPRAISAL GROUP INCORPORATED
301	FIRST BAPTIST CHURCH EDUCATION BUILDING
303	ANDERSON CHERYL L ATTORNEY
	CLARK RONALD E ATTORNEY
	LEWADSWORTH III COMPANY
	ROBERTS TANCE E ATTORNEY
	WADSWORTH LEIII COMPANY
400	FELL, PAUL R
401	FIRST BAPTIST CHURCH OF BUNNELL
405	ALLSTATE INSURANCE COMPANIES
	FLAGLER COUNTY INSURANCE AGENCY
406	PALM COAST FLAGLER INTERNET ACCESS LINE
500	LIL CHAMP FOOD STORES NO 1229 NO 1233
507	TAYLOR CLIFFORD A ATTORNEY
601	PIZZA HUT
	SOBIKS SUBS OF BUNNELL
700	BOLLA JOHN D MD
	BUNNELL DENTAL OFFICE
	BUNNELL MEDICAL CLINIC PA
	CANAKARIS JOHN M MD FAAFP FAMILY PRACTICE
	FAMILY LIFE CENTER
	RAMIREZ BENNY DDS
701	U S GOVERNMENT POST OFFICE
706	ANDERSONS DRUG STORE
707	LEWIS, E F
800	BROOKS, T S
802	WIESER, RICHARD
805	DEEN, W W
900	MARTIN, PAMELA D
1000	SMITH, JOHN S

E MOODY BLVD 2000 (Cont'd)

- 1001 FLAGLER COUNTY OF JAIL
REM ENTERPRISES
- 1003 SECURITYLINK FROM AMERITECH
- 1200 FLAGLER COUNTY OF COUNTY ADMINISTRATOR
FLAGLER COUNTY OF COUNTY ATTORNEY
FLAGLER COUNTY OF DEPARTMENT OF PUBLIC WORKS
FLAGLER COUNTY OF FLAGLER H O M E PROGRAM
FLAGLER COUNTY OF PARKS AND RECREATION DEPARTMENT
FLAGLER COUNTY OF PLANNING AND ZONING
FLAGLER COUNTY OF PURCHASING
FLAGLER COUNTY OF VETERANS SERVICE
- 1301 FLORIDA HOME HEALTH INCORPORATED
- 1400 SHIELDS, G S
- 1405 FLAGLER COUNTY OF CODE ENFORCEMENT OFFICER
- 1406 GROOMING RANCH THE
THE RECYCLED COWBOY CENTER
TWOS COMPANY
- 1501 BUNNELL FEED & SUPPLY CO
- 1565 FLAGLER COUNTY SHERIFF DEPARTMENT ATHLETIC LEAGUE
FLAGLER COUNTY YMCA
- 1658 BUNNELL AUTO HOSPITAL
- 1756 SMARGE, JOHN J
- 2285 FLAGLER COUNTY OF UTILITY REGULATORY AUTHORITY
- 2903 CREATIVE SIGNS & DESIGNS
- 3011 CITY ELECTRIC SUPPLY INCORPORATED

E MOODY BLVD 1995

11	AACE BAIL BONDS
13	HARRIETTS COUNTY SEAT BARBER
17	HANSENS
103	US POST OFFICE
105	MOORE, GARY
106	FARM BUREAU INSURANCE
303	CLARK, RONALD E ROBERTS, TANCE E
400	FELL, PAUL R
500	LIL CHAMP FOOD STORE
501	BRANNAM, LEVI L
507	CLIFFORD A TAYLOR YOUR HANDYMAN
700	DARIA P MC DONOUGH DPM DENNIS ALTER MD
800	BROOKS, T S SR
802	WIESER, RICHARD
806	DEEN, WILLIAM W
901	MEYER, C
1001	FAMILY LIFE CTR
1002	CAULEY, WARD
1300	JAROSZ, JOHN
1302	RODGERS, B J
1401	SHIELDS, GORDON S
1506	AMERICAN RED CROSS
1756	SCHEFFER, S

E MOODY BLVD 1992

100	ATLANTIC FOODS INC
106	FARM BUREAU INS RETIRED SENIOR VOLUNTEER PROGRAM TAYLOR C A ATTY
107	U S P O BUNNELL
303	ELDREDGE DAVID S ATTY MCGEE W FARRIS ATTY
400	FELL, PAUL R
501	BRANNAM, LEVI L
518	VERADT, F
700	MCDONOUGH, DARIA P RETIRED SENIOR VOLUNTEER PROGRAM OF
706	FLAGLER CO MEDICAL SOCIETY
800	BROOKS, T S SR
805	STUMPF, C
806	DEEN, WILLIAM W
1001	SMITH, JOHN S
1002	CAULEY, WARD
1202	A-1 BAIL BONDS
1302	RODGERS, B J
1401	SHIELDS, GORDON S
1500	AGRICULTURAL AGENT AGRL AGENT SHERIFF CIVIL DIV SHERIFF OFC ST JUDICIAL STATE ATTORNEY TAX COLLECTOR MOTOR VEHICLE REGISTRTRN
1506	FLAGLER CO CIVIL DEFENSE
1510	FLAGLER CO ASST ADMINISTRATOR

APPENDIX I
User / Owner Questionnaires

ASTM E1527-13 - USER QUESTIONNAIRE

User Name:

Affiliation:

Project Name: Commerce Parkway

Project Address: 2400 Commerce Parkway, Bunnell, Flagler County, Florida
Parcel ID No. 11-12-30-2260-00000-0040

INTRODUCTION

In order to qualify for one of the *Landowner Liability Protections (LLPs)** offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the *Brownfields Amendments*), the *user* must provide the following information (if available) to the *environmental professional*. Failure to provide this information could result in a determination that “*all appropriate inquiry*” is not complete.

(1) Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25).

Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

(2) Activity and land use limitations (AULs) that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26).

Are you aware of any AULs, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

(3) Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.28).

As the *user* of this *ESA* do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

(4) Relationship of the purchase price to the fair market value of the *property* if it were not contaminated (40 CFR 312.29).

Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*?

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

(5) Commonly known or *reasonably ascertainable* information about the *property* (40 CFR 312.30).

Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

(a) Do you know the past uses of the *property*?

(b) Do you know of specific chemicals that are present or once were present at the *property*?

(c) Do you know of spills or other chemical releases that have taken place at the *property*?

(d) Do you know of any environmental cleanups that have taken place at the *property*?

(6) The degree of obviousness of the presence or likely presence of contamination at the *property*, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31).

As the *user* of this *ESA*, based on your knowledge and experience related to the *property* are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

(7) Please provide the name/representative of the current property owner and their contact information.

Name: _____

Phone No.: _____

E-Mail: _____

Address: _____

**Landowner Liability Protections, or LLPs, is the term used to describe the three types of potential defenses to Superfund liability in EPA's Interim Guidance Regarding Criteria Landowners Must Meet in Order to Qualify for Bona Fide Prospective Purchaser, Contiguous Property Owner, or Innocent Landowner Limitations on CERCLA Liability ("Common Elements" Guide) issued on March 6, 2003.*

User Signature / Date

ASTM E1527-13 - OWNER QUESTIONNAIRE

User Name:

Affiliation:

Project Name: Commerce Parkway

Project Address: 2400 Commerce Parkway, Bunnell, Flagler County, Florida
Parcel ID No. 11-12-30-2260-00000-0040

INTRODUCTION

In order to qualify for one of the *Landowner Liability Protections (LLPs)** offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the *Brownfields Amendments*), the *user* must provide the following information (if available) to the *environmental professional*. Failure to provide this information could result in a determination that “*all appropriate inquiry*” is not complete.

(1) Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25).

Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

(2) Activity and land use limitations (AULs) that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26).

Are you aware of any AULs, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

(3) Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.28).

As the *user* of this *ESA* do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

(4) Relationship of the purchase price to the fair market value of the *property* if it were not contaminated (40 CFR 312.29).

Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*?

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

(5) Commonly known or *reasonably ascertainable* information about the *property* (40 CFR 312.30).

Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

(a) Do you know the past uses of the *property*?

(b) Do you know of specific chemicals that are present or once were present at the *property*?

(c) Do you know of spills or other chemical releases that have taken place at the *property*?

(d) Do you know of any environmental cleanups that have taken place at the *property*?

(6) The degree of obviousness of the presence or likely presence of contamination at the *property*, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31).

As the *user* of this *ESA*, based on your knowledge and experience related to the *property* are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

(7) Please provide the name/representative of the current property owner and their contact information.

Name: _____

Phone No.: _____

E-Mail: _____

Address: _____

**Landowner Liability Protections, or LLPs, is the term used to describe the three types of potential defenses to Superfund liability in EPA's Interim Guidance Regarding Criteria Landowners Must Meet in Order to Qualify for Bona Fide Prospective Purchaser, Contiguous Property Owner, or Innocent Landowner Limitations on CERCLA Liability ("Common Elements" Guide) issued on March 6, 2003.*

Owner Signature / Date

APPENDIX J
Site Photographs



Photograph No. 1: View of the subject property



Photograph No. 2: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.2100065.0000
Report No. 139062



Photograph No. 3: View of the subject property



Photograph No. 4: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.210065.0000
Report No. 139062



Photograph No. 5: View of the subject property



Photograph No. 6: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.2100065.0000
Report No. 139062



Photograph No. 7: View of the subject property



Photograph No. 8: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.210065.0000
Report No. 139062



Photograph No. 9: View of the subject property



Photograph No. 10: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.2100065.0000
Report No. 139062



Photograph No. 11: View of the subject property



Photograph No. 12: View of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.2100065.0000
Report No. 139062



Photograph No. 13: View of wetlands observed on the subject property



Photograph No. 14: View of drainage piping observed on the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.2100065.0000
Report No. 139062



Photograph No. 15: View of the undeveloped vegetated parcel of land to the north of the subject property



Photograph No. 16: View of the Wendy's Restaurant to the north of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.210065.0000
Report No. 139062



Photograph No. 17: View of Atlantic Pipe Services to the north of the subject property



Photograph No. 18: View of the undeveloped vegetated parcel of land to the south of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.210065.0000
Report No. 139062



Photograph No. 19: View of Commerce Parkway and Sunshine Business Complex to the west of the subject property



Photograph No. 20: View of Commerce Parkway and First Baptist Church of Bunnell to the west of the subject property

SITE PHOTOGRAPHS

Undeveloped Lot
2400 Commerce Parkway
Bunnell, Flagler County, Florida

Tuesday, August 31, 2021
UES Project No. 0440.210065.0000
Report No. 139062

APPENDIX K
References

Aerial photographs, Environmental Data Resources, Inc. (EDR), 1943, 1952, 1957, 1970, 1977, 1980, 1993, 1995, 1999, 2007, 2010, 2013, and 2017. Inquiry Number: 6637912.8, Dated August 27, 2021.

Bunnell, Florida City Directories, EDR, Inquiry Number: 6637912.5, Dated August 30, 2021.

Environmental Data Resources, Inc. (EDR), Certified Sanborn® Map Report, Bunnell, Florida. Inquiry Number: 6637912.3, Dated August 26, 2021.

Environmental Data Resources, Inc. (EDR), Radius Map Report, Bunnell, Florida. Inquiry Number: 6637912.2s, August 26, 2021.

Florida Department of Environmental Protection (FDEP) Contamination Locator Map. www.webapps.dep.state.fl.us/DepCInup/

Florida Department of Environmental Protection (FDEP) Electronic Document Management System (OCULUS) database. www.depedms.dep.state.fl.us

United States Department of Agriculture, Soil Survey of Flagler County, Florida issued 1980.

U.S. Fish and Wildlife Service National Wetland Inventory. <http://www.fws.gov/wetlands/Data/Mapper.html>

USGS Topographic Maps, Flagler Beach West, Florida Quadrangles, 1937, 1944, 1948, 1956, 1970, 1980, 1988, 1993, and 2012. Inquiry Number: 6637912.4, Dated August 26, 2021.

Flagler County, Florida USDA, Natural Resources Conservation Service Soil Survey issued 1977.

Flagler County Property Appraiser. <https://qpublic.net/fl/flagler>

APPENDIX L
Qualifications



Education

BA, Environmental Studies and Business Administration, Salisbury University

Years of Experience

6

Certifications

- OSHA Hazardous Waste Operations and Emergency Response
- FDEP Stormwater Management and Sediment Control Inspector
- OSHA Confined Space Entry
- State of Maryland Underground Storage Tank Class A/B Operator
- State of Florida Underground Storage Tank Class A/B Operator
- AHERA Building Inspector
- Radon Measurement Technician
- Lead-Based Paint Inspector
- Nuclear Radiation Gauge Certification

Carly R. Boston

Environmental Staff Scientist

Carly Boston has over six years of experience in completing environmental field investigations. Her project experience includes project management, site inspections, Asbestos, Radon, and Mold/Indoor Air Quality building assessments, Lead-Based Paint inspections, regulatory file reviews, Underground Storage Tank (UST) closure, supervision of contaminated soil excavation and removal activities, Phase I Environmental Site Assessments (ESAs) and Phase II ESAs, soil sampling, groundwater gauging and sampling, and monitoring well installations and abandonments. She previously performed project management and environmental compliance and restoration. Within the state of Florida on behalf of UES, Carly performs stormwater erosion and sediment control inspections, indoor air quality assessments, regulatory reporting, asbestos building surveys, lead-based paint inspections, radon testing, and Phase I ESAs, and Phase II ESAs. Other responsibilities include reporting, environmental equipment maintenance, repair and calibration, well permitting, drilling activities, and scheduling.

PROJECT EXPERIENCE

Phase I and II ESAs

Carly is responsible for environmental property assessments for the purpose of acquisition or refinancing in which specific sites are investigated for potential hazardous/toxic waste and/or petroleum exposures.

AHERA Building Inspections

Carly is responsible for inspecting buildings scheduled for renovation and/or demolition, evaluating building materials typically suspected of containing asbestos, collecting samples of suspect building materials and analyzing, interpreting and comprising laboratory results.

Radon Testing

Carly is responsible for testing occupied or soon-to-be occupied buildings for the presence of elevated radon levels. Carly determines the locations of samples based on floorplans of the buildings, collects samples and analyzes, interprets and comprises laboratory results.

Stormwater Management and Sediment Control Inspections

Carly is responsible for inspecting construction sites under development for proper stormwater and sediment control, including silt fencing, proper petroleum equipment storage, storm drain protecting, construction entry/exit, and rainfall gauging.

Lead Based Paint Inspections

Carly is responsible for evaluating buildings scheduled for renovation and/or demolition for painted building materials suspected of containing lead. Carly utilizes an XRF machine with her Nuclear Radiation Gauge certification, as well as collects paint chip samples of suspected materials and analyzes, interprets and comprises laboratory results.

Indoor Air Quality Assessments

Carly is responsible for collecting data regarding the indoor conditions of buildings to include; the presence of mold spores, visible microbial growth, relative humidity, carbon dioxide, moisture mapping, etc. Carly analyzes, interprets and comprises laboratory results.

**Education**

BS, Biology, Stockton University

Years of Experience

16

Certifications

- NJDEP Subsurface Evaluator
- Emergency Medical Technician, FL
- Emergency Medical Technician, NJ
- National Incident Management System
- National Incident Management System
- National Incident Management System
- Occupational Safety and Health Administration (OSHA) Certified
- Hazardous Waste Site Safety Course

Joseph Rommel II**Senior Project Manager**

Joe Rommel has 16 years experience in completing environmental field Investigations. His project experience includes project management, site inspections, regulatory file reviews, Underground Storage Tank (UST) closure, supervision of soil excavation and removal activities, Phase I Environmental Site Assessments (ESAs), and Phase II ESAs, soil sampling, groundwater sampling, and monitoring well installations. Joe previously performed project management and regulatory reporting in the commercial sector. Within the state of Florida on behalf of UES, Joe performs project management, regulatory reporting, Phase I ESAs, and Phase II ESAs. Other responsibilities include environmental equipment maintenance, repair and calibration, estimating, supply orders, well permitting, drilling activities, and scheduling.

Joe's main area of expertise includes performing duties of an environmental scientist and general environmental consulting. He is responsible for tasks such as environmental property assessments for the purpose of acquisition or refinancing in which specific sites are investigated for potential hazardous, toxic waste and/or petroleum exposures.

PROJECT EXPERIENCE**Bethune Cookman College - Phase I ESA****Eagle Landing - Phase I ESA****Coquina Cove, Phases 2, 3, & 4, Daytona Beach - Phase I ESA**

Daytona Beach, Florida

1738 5th Street Volusia County, Volusia County School Board Property - Phase I ESA

Volusia County, Florida

1520 N. Tomoka Farms Road, Volusia County Property - Phase ESA

Volusia County, Florida

Flagler County School Bus Garage Facility - Tank Closure Assessment

Flagler County, Florida

City of Daytona Beach Westside Regional WWTP - Interim Source Removal

Daytona Beach, Florida

Daytona International Speedway, LLC - Spill Prevention, Control and Countermeasures Plan/ Environmental Audit

Daytona Beach, Florida

Embry-Riddle Aeronautical University - Former P Bldg. ERAU DB Campus Oil/Water Separator Tank, In-Situ Chemical Oxidation

Emergency Diesel Fuel Spill Response - Environmental Consultant conducted oversight, sampling and reports to FDEP

CITY OF BUNNELL
ADMINISTRATION BUILDING CONCEPT PLAN

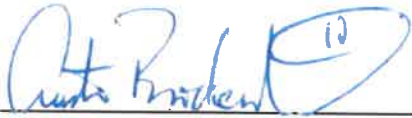
Reviewed and approved this 12th day of October, 2021, by OARE ASSOCIATES, LLC, a Florida Limited Liability Company, and FLAGLER CENTRAL COMMERCE PARK OWNERS ASSOCIATION, INC., a Florida Corporation.

FLAGLER CENTRAL COMMERCE PARK OWNERS ASSOCIATION, INC.

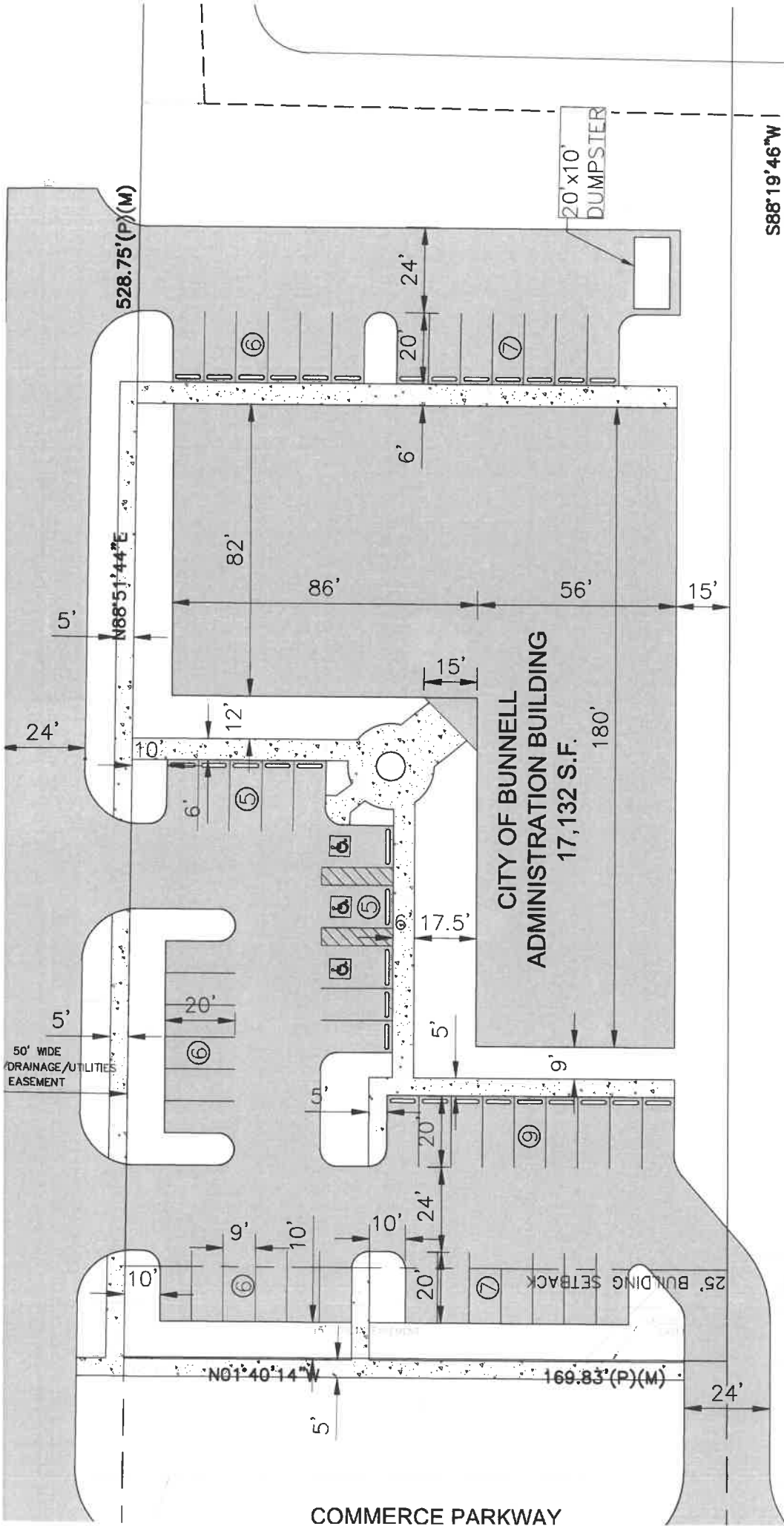
A handwritten signature in blue ink, appearing to read "Austin Brockenbrough, IV", with a circled "10" to the right of the signature.

By: Austin Brockenbrough, IV
Its: Director

OARE ASSOCIATES, LLC

A handwritten signature in blue ink, appearing to read "Austin Brockenbrough, IV", with a circled "10" to the right of the signature.

By: Austin Brockenbrough, IV
Its: Manager



PARKING DATA:

VEHICLE PARKING REQUIRED:

BASED ON:
 • OFFICE SPACE: 1 SPACE/300 SF

CALCULATIONS
 BUILDING AREA: 17,132 SF
 OFFICE SPACE: 1 SPACE/ 300 SF=
 REQUIRED PARKING:

PROVIDED ONSITE PARKING:
 PROVIDED OFFSITE PARKING ACROSS
 STREET AT FIRST BAPTIST CHURCH

11. FLOOR AREA RATIO
 MAXIMUM ALLOWED= 0.44
 PROVIDED= 0.137

12. MAX LOT COVERAGE
 NO MORE THAN 50% IMPERVIOUS
 IMPERVIOUS AREA= 35.9% (ON-SITE)
 EXISTING PROPOSED DITCH IN
 NORTHERN ACCESS EASEMENT WILL
 NEED TO BE RELOCATED

13. SITE PROPOSED PAVED ACCESS
 THROUGH THE NORTHERN ACCESS
 EASEMENT WILL NEED TO BE FINALIZED
 AND COORDINATED WITH THE FLAGLER
 CENTRAL COMMERCE PARK OWNERS
 ASSOCIATION.

7. BUILDING SETBACKS REQUIRED PROVIDED
 FRONT YARD: 25' 25'
 SIDE YARD: 0' 0'
 REAR YARD: 10' 10'

8. FLOOD ZONE: PORTIONS OF THE PROPERTY ARE
 LOCATED WITHIN FLOOD ZONE "X" AND "A" PER
 THE FEDERAL EMERGENCY MANAGEMENT AGENCY 13.
 (FEMA), ON FLOOD INSURANCE RATE MAP NO.
 12035C0226E, WITH DATE OF JUNE 6, 2018.

9. FEMA FLOOD PLAIN ELEVATION = TO BE VERIFIED 14.

10. BUILDING HEIGHT
 MAXIMUM ALLOWED= 35'
 PROVIDED= 25' (ESTIMATED)

REQUIRED	S.F.
10'(WITH BERM)	17,132
0'(WITH BERM) OR 15' 10'(NORTH) AND 15'(SOUTH)	17,132

11-12-30-2260-0000-0040

EDIU

REQUIRED	PROVIDED
10'(WITH BERM)	10'
0'(WITH BERM) OR 15' 10'(NORTH) AND 15'(SOUTH)	20'



UNIVERSAL ENGINEERING SCIENCES

GEOTECHNICAL EVALUATION

*City of Bunnell Administration Building
Bunnell, Flagler County, Florida*

**UES Project No. 0430.2100304.0000
UES Report No. 139070**

October 11, 2021

Prepared for:

**Ms. Debra Winson
City of Bunnell, Florida
PO Box 756
Bunnell, Florida 32110**

Prepared by:

UNIVERSAL ENGINEERING SCIENCES
911 Beville Road, Suite 3
South Daytona, Florida 32119

CONSULTANTS:

**Geotechnical Engineering • Environmental Engineering • Construction
Materials Testing Threshold Inspection • Private Provider Inspection •
Geophysical Studies**

OFFICES: Daytona Beach, FL • Fort Myers, FL • Fort Pierce, FL • Gainesville, FL • Jacksonville, FL • Leesburg, FL • Miami, FL • Norcross, GA • Ocala, FL • Orange City, Orlando, FL
Palm Coast, FL • Panama City, FL • Pensacola, FL • Rockledge, FL • Sarasota, FL • St. Augustine, FL • Tampa, FL • West Palm Beach, FL



UNIVERSAL ENGINEERING SCIENCES

Consultants In: Geotechnical Engineering • Environmental Sciences
Geophysical Services • Construction Materials Testing • Threshold Inspection
Building Inspection • Plan Review • Building Code Administration

LOCATIONS:

- Atlanta
- Daytona Beach
- Fort Myers
- Fort Pierce
- Gainesville
- Jacksonville
- Kissimmee
- Leesburg
- Miami
- Ocala
- Orlando (Headquarters)
- Palm Coast
- Panama City
- Pensacola
- Rockledge
- Sarasota
- Tampa
- West Palm Beach

October 11, 2021

Ms. Debra Winson
City of Bunnell, Florida
PO Box 756
Bunnell, Florida 32110

Reference: **GEOTECHNICAL EVALUATION**
City of Bunnell Administration Building
Bunnell, Flagler County, Florida
UES Project No. 0430.2100304.0000 and UES Report No. 139070

Dear Ms. Winson:

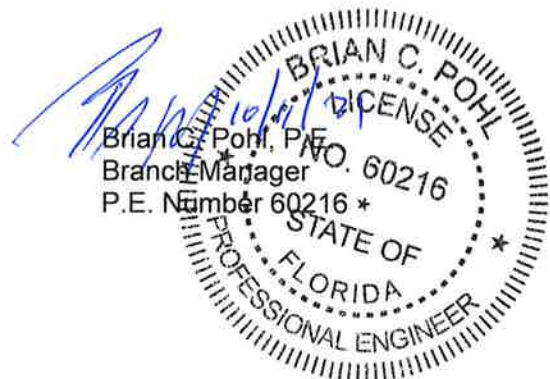
Universal Engineering Sciences, Inc. has completed the geotechnical evaluation for the subject project. This report contains the results of our investigations, an engineering interpretation of these with respect to the project characteristics described to us, and recommendations for foundation and pavement support, and site preparation.

We appreciate the opportunity to have worked with you on this project and look forward to a continued association. Please do not hesitate to contact us if you should have any questions, or if we may further assist you as your plans proceed.

Respectfully submitted,

UNIVERSAL ENGINEERING SCIENCES


Cody Wilson, E.I.
Project Engineer



Attachments

CW/BCP/cme

1.0 INTRODUCTION

1.1 GENERAL

In this report we present the results of the subsurface evaluation for the proposed Administration Building in Bunnell, Florida. We have divided this report into the following sections:

- SECTION 2.0 - SCOPE OF SERVICES
- SECTION 3.0 - FINDINGS
- SECTION 4.0 - FOUNDATION AREA RECOMMENDATIONS
- SECTION 5.0 - PAVEMENT AREA RECOMMENDATIONS
- SECTION 6.0 - CONSTRUCTION RELATED SERVICES
- SECTION 7.0 - LIMITATIONS

2.0 SCOPE OF SERVICES

2.1 PROJECT DESCRIPTION

Project information has been provided to us in discussion with you. We were provided with a conceptual site plan indicating the layout of the proposed construction. We understand that the proposed project will consist of constructing a one-story, 16,950 square-foot administration building with an associated flexible asphalt parking area. We understand that the stormwater management facility has previously been constructed. We anticipate that the proposed structure will consist of concrete masonry units with steel and / or wood frame construction. We assume the column and wall loads will not exceed 75 kips and 5 kips/foot, respectively. We assume that two to three feet of fill will be placed within the structure and pavement areas.

Our recommendations are based upon the above considerations. If any of this information is incorrect, or if you anticipate any changes, inform Universal Engineering Sciences so that we may review our recommendations.

2.2 PURPOSE

The purposes of this investigation were:

- to investigate the general subsurface conditions at the site;
- to interpret and review the subsurface conditions with respect to the proposed construction; and
- to provide geotechnical engineering recommendations for foundation and pavement support and site preparation.



This report presents an evaluation of site conditions on the basis of traditional geotechnical procedures for site characterization. The recovered samples were not examined, either visually or analytically, for chemical composition or environmental hazards. Universal Engineering Sciences would be pleased to perform these services, at your request.

Our investigation was confined to the zone of soil likely to be influenced by the proposed construction. Our work did not address the potential for surface expression of deep geological conditions, such as sinkhole development related to karst activity. A deep geological evaluation requires a more extensive range of field services than performed in this study.

2.3 FIELD INVESTIGATION

2.3.1 Borings

The subsurface conditions within the proposed structure area were investigated with two (2) Standard Penetration Test (SPT) borings, B-1 and B-2, advanced to 20 and 25 feet each below existing grade, respectively and one (1) auger boring, AB-1, advanced to approximately 6 feet each below existing grade. The subsurface conditions within the proposed pavement areas were investigated with five (5) auger borings, R-1 through R-5, advanced to a depth of approximately 6 feet each below existing grade. We performed the SPT and auger borings according to the procedures of ASTM D-1586 and ASTM D-1452, respectively.

Samples obtained from the borings were transported to our laboratory for further evaluation. Samples of the soils encountered will be held in our laboratory for your inspection for 60 days unless we are notified otherwise.

2.4 LABORATORY INVESTIGATION

2.4.1 Index Testing

The soil samples recovered from the soil borings were returned to our laboratory and then a UES Engineer visually examined and reviewed the field descriptions. The soils were classified in accordance with the Unified Soil Classification System (USCS). We performed tests on selected soil samples consisting of 200 wash gradations to help in classification of the soils. The results of the tests are on the Boring Profiles in Appendix A.

3.0 FINDINGS

3.1 SUBSURFACE CONDITIONS

The boring locations and detailed subsurface conditions are illustrated in Appendix A: Boring Location Plan and Subsurface Profiles. The classifications and descriptions shown on the profiles are based upon visual characterizations of the recovered soil samples. Also, see Appendix A: Key to Boring Log, for further explanation of the symbols and placement of data on the Subsurface Profiles. The following discussion summarizes the soil conditions encountered.



The results of the SPT borings, B-1 and B-2, generally indicated approximately 12-inches of topsoil underlain by intermittent layers of loose to medium dense fine sand (SP) and fine sand with silt (SP-SM) to the boring termination depth of approximately 25 feet below existing grade. As an exception, clayey fine sand (SC) was encountered between approximately 4.0 and 5.5 feet below existing grade at Boring Location B-2.

The results of auger borings R-1 through R-5 and AB-1, generally indicated approximately 12-inches of topsoil underlain by intermittent layers of fine sand (SP) and fine sand with silt (SP-SM) to the boring termination depth of approximately 6 feet each below existing grade. As an exception, clayey fine sand (SC) was encountered between approximately 4.0 and 6.0 feet below existing grade at Boring Location AB-1.

3.2 GROUNDWATER

We recorded groundwater subsequent to drilling, at a depths varying between depths of approximately 0.5 and 1.5 feet below the ground surface. Based on available published literature, existing site features, and the results of the borings, we estimate the normal seasonal high groundwater level to be approximately one foot above the measured levels. It should be noted the estimated seasonal high water level does not provide any assurance that groundwater level will not exceed these estimated levels during any given year in the future. Should impediments to surface water drainage be present, or should rainfall intensity and duration, or total rainfall quantities, exceed the normally anticipated rainfall quantities, groundwater levels might once again exceed our seasonal high estimates. The depths of the groundwater levels encountered at the boring locations are presented on the Subsurface Profiles.

We recommend positive drainage be established and maintained on the site during construction. We further recommend permanent measures be constructed to maintain positive drainage from the site throughout the life of the project.

4.0 FOUNDATION AREA RECOMMENDATIONS

4.1 GENERAL

The following recommendations are made based upon a review of the attached soil test data, our understanding of the proposed construction, and experience with similar projects and subsurface conditions. If the structural loadings, construction locations, or grading information change from those discussed previously, we request the opportunity to review and possibly amend our recommendations with respect to those changes.

Additionally, if subsurface conditions are encountered during construction which was not encountered in the borings, report those conditions immediately to us for observation and recommendations.

4.2 STRUCTURE FOUNDATIONS

4.2.1 Bearing Pressure

The maximum allowable net soil bearing pressure for shallow foundations should not exceed 2,500 pounds per square foot (psf). Net bearing pressure is defined as the soil bearing pressure at the base of the foundation in excess of the natural overburden pressure. The



foundations should be designed based upon the maximum load that could be imposed by all loading conditions.

4.2.2 Foundation Size

The minimum widths recommended for any isolated column footing and continuous wall footings are 24 inches and 18 inches, respectively. Even though the maximum allowable soil bearing pressure may not be achieved, these width recommendations should control the size of the foundations.

4.2.3 Bearing Depth

The exterior foundation should bear at a depth of at least 12 inches below the exterior final grades and the interior footings should bear at a depth of at least 12 inches below the finish floor elevation to provide confinement to the bearing level soils. We recommend stormwater and surface water be diverted away from the building exterior, both during and after construction, to reduce the possibility of erosion beneath the exterior footings.

4.2.4 Bearing Material

The foundation may bear on either the compacted suitable natural soils or compacted structural fill. The bearing level soils, after compaction, should exhibit densities of at least 95 percent of the maximum dry density of the bearing soils as determined by ASTM D-1557 (Modified Proctor), to the depth described subsequently in the Site Preparation section of the report. In addition to compaction, the bearing soils must exhibit stability and be free of "pumping" conditions.

4.2.5 Settlement Estimates

Post-construction settlement of the structure will be influenced by several interrelated factors, such as (1) subsurface stratification and strength/compressibility characteristics of the bearing soils; (2) footing size, bearing level, applied loads, and resulting bearing pressures beneath the foundation; (3) site preparation and earthwork construction techniques used by the contractor, and (4) external factors, including but not limited to vibration from offsite sources and groundwater fluctuations beyond those normally anticipated for the naturally-occurring site and soil conditions which are present.

Our settlement estimates for the structure are based upon the use of successful adherence to the site preparation recommendations presented later in this report. Any deviation from these recommendations could result in an increase in the estimated post-construction settlement of the structure.

Due to the nature of the surficial soils, following the compaction operations, we expect a significant portion of settlement to be elastic in nature. This settlement is expected to occur relatively quickly, upon application of the loads, during and immediately following construction. Using the recommended maximum bearing pressure, the assumed maximum structural loads, and the field test data which we have correlated to the strength and compressibility characteristics of the subsurface soils, we estimate the total settlements of the structures to be less than one inch.



Differential settlement results from differences in applied bearing pressures and the variations in the compressibility characteristics of the subsurface soils. Based on the subsurface conditions as determined by our borings, it is anticipated that differential settlements will be within tolerable limits.

4.3 SITE PREPARATION FOR SHALLOW FOUNDATIONS

We recommend the following site preparation procedures for the structure areas:

1. Prior to construction, the location of existing underground utility lines within the construction area should be established. Provisions should then be made to relocate interfering utilities to appropriate locations. It should be noted that if underground pipes are not properly removed or plugged, they may serve as conduits for subsurface erosion which may subsequently lead to excessive settlement of the overlying structures.
2. Strip the proposed construction limits of all grass, roots, topsoil, and other deleterious materials within and 5 feet beyond the perimeter of the proposed structure. Expect initial clearing and grubbing to depths of approximately 6 to 12 inches.
3. Based on the ground water levels and anticipated fill, dewatering for foundation excavation and compaction is not anticipated. However, we recommend implementing temporary groundwater control measures if the groundwater is within two feet of the required depth of excavation at the time of construction. Dewatering measures should be the responsibility of the contractor. We recommend the groundwater control measures remain in-place until compaction of the existing soils is completed and backfilling has reached a height of 2 feet above the groundwater level at the time of construction. The site should be graded to direct surface water runoff from the construction area.
4. Compact the exposed surface using tractor/ dozer or vibratory equipment. **We recommend that vibratory equipment be operated in static mode within 75 feet of any existing structures.** The upper one foot of soils below the exposed surface within the building area should be improved to achieve a minimum compaction requirement of 95% of the Modified Proctor Test (ASTM D-1557). We recommend the compacted soils exhibit moisture content within 2 percent of the soils optimum moisture content as determined by the Modified Proctor Test (ASTM D-1557). Should the soils experience pumping and soil strength loss during the compaction operations, compaction work should be immediately terminated and (1) the disturbed soils removed and backfilled with dry structural fill soils which are then compacted, or (2) the excess moisture content within the disturbed soils allowed to dissipate before recompacting.
5. Test the compacted surface for compliance at a minimum of one location per 2,500 square feet within the building area, or at a minimum of four locations.
6. Place fill material, as required. The fill should consist of "clean," fine sand with less than 5 percent soil fines. You may use fill materials with soil fines between 5 percent and 10 percent, but strict moisture control may be required. Place fill in uniform 8 to 12-inch loose lifts and compact each lift to a minimum density of 95 percent of the Modified Proctor maximum dry density. We recommend the compacted soils exhibit moisture content within 2 percent of the soils optimum moisture content as determined



by the Modified Proctor Test (ASTM D-1557). If light compaction equipment is used, we recommend the lift thickness be reduced to 8 inch thick lifts.

7. Perform compliance tests within the backfill and fill soils at a minimum of one location per 2,500 square feet per lift (minimum four locations).
8. Compact and test footing cuts for compaction to a depth of one foot below bearing level. We recommend that you test one out of every four (25 percent) column footings and perform one test per every 50 linear feet of wall footing. Compaction operations in confined areas, such as footing excavations, can best be performed with a lightweight vibratory sled or other hand-held compaction equipment.

5.0 PAVEMENT RECOMMENDATIONS

5.1 GENERAL

As discussed, it is anticipated that flexible asphaltic pavement section will be utilized for the subject project.

5.2 FLEXIBLE ASPHALTIC PAVEMENT

Because traffic loadings are commonly unavailable, we have generalized our pavement design into two groups. The group descriptions and the recommended component thicknesses are presented in Table 1 below.

Table 1: Pavement Component Recommendations			
Traffic Group	Component Thickness (Inches)		
	Stabilized Subgrade	Base Course	Surface Course
Parking lots - light duty	12	6	1.5
Parking lots - heavy duty	12	8	2.0

5.3 STABILIZED SUBGRADE

We recommend that subgrade materials be compacted in place according to the requirements in the "Site Preparation" section of this report. Further, stabilize the subgrade materials to a minimum Limerock Bearing Ratio (LBR) of 40 percent as specified by Florida Department of Transportation (FDOT) requirements for Type B Stabilized Subgrade.

Further, the stabilized subgrade can be imported material or a blend of on-site soils and imported materials. If a blend is proposed, we recommend that the contractor perform a mix design to find the optimum mix proportions.

The primary function of stabilized subgrade beneath the base course is to provide a stable and firm subgrade so that the base course can be properly placed and compacted. Depending upon the soil type, the subgrade material may have sufficient stability to provide the needed support without additional stabilizing material. Generally speaking, sands with silt or clay typically have sufficient stability and may not require additional stabilizing material. Conversely, relatively "clean" sands may not provide sufficient stability in order to adequately construct the base course.



5.4 BASE COURSE

We recommend that the base course consist of either limerock or graded crushed aggregate (crushed concrete).

5.4.1 Limerock

Limerock should have a minimum LBR of 100 percent and should be mined from an FDOT approved source. Place limerock in maximum 6-inch lifts and compact each lift to a minimum density of 98 percent of the Modified Proctor maximum dry density.

5.4.2 Crushed Concrete Base

Crushed concrete should be supplied by an approved plant with quality control procedures. The crushed concrete stockpiled should be free of sandy pockets, foreign materials, and uncrushed particles. We recommend the following specifications be enforced.

- a) Crushed concrete shall not contain lumps, balls or pockets of sand or clay sized material in sufficient quantity as to be detrimental to the proper binding, finishing or strength of the crushed concrete base.
- b) Samples of base course materials shall be supplied to the engineer prior to use in the work. Additional samples shall be furnished during construction, as necessary.
- c) At least 97 percent (by weight) of the material shall pass a 3-1/2 inch sieve and the material shall be graded uniformly down to dust. The fine material shall consist entirely of dust or fracture. All crushing or breaking-up which might be necessary in order to meet such size requirements shall be done before the material is placed on the road.
- d) The base shall be bladed and shaped to conform to the typical sections shown on the plans. Then the base shall be compacted by rolling with a combination of steel wheel and rubber tired rollers until an average density of 98 percent of the maximum density obtainable under AASHTO Method T-180 is reached. The base shall have an average LBR of not less than 130. The LBR value of material produced at a particular source shall be determined in accordance with an approved quality control procedure.

Testing shall be performed at the following frequency:

- 1) Perform in-place density tests on crushed concrete base at a frequency of 2 tests per pavement area or 1 test per 5,000 square feet whichever is greater
- 2) Perform Limerock Bearing Ratio tests at a frequency of 1 test per visual change in material and a minimum of 1 test per pavement area or every 15,000 square feet whichever is greater.
- 3) Engineer should perform a final visual base inspection prior to placement of prime or tack coat and paving.



5.5 SURFACE COURSE

In light duty areas where there is occasional truck traffic, but primarily passenger cars, we recommend using an asphaltic concrete, FDOT Type SP 9.5 mix. In heavy duty areas where truck traffic is predominant, we recommend using an asphaltic concrete, FDOT Type SP 12.5 mix.

It should be noted that if a more aesthetically pleasing asphalt surface is required a layer of Friction Course (FC) (finer aggregate) can be placed. A ½ inch layer of FC asphalt can be placed above the SP asphaltic concrete. However this may result in increased costs.

Asphaltic concrete mixes should be a current FDOT approved design of the materials actually used. Samples of the materials delivered to the project should be tested to verify that the aggregate gradation and asphalt content satisfies the mix design requirements. Compact the asphalt to a minimum of 90 percent of the Gmm (maximum voidless specific gravity).

After placement and field compaction, core the wearing surface to evaluate material thickness and to perform laboratory densities. Obtain cores at frequencies of at least one core per 3,000 square feet of placed pavement or a minimum of two cores per day's production.

In parking lots, for extended life expectancy of the surface course, we recommend applying a coal tar emulsion sealer at least six months after placement of the surface course. The seal coat will help to patch cracks and voids, and protect the surface from damaging ultraviolet light and automobile liquid spillage. Please note that applying the seal coat prior to six months after placement may hinder the "curing" of the surface course, leading to its early deterioration.

5.6 CURBING

We recommend that curbing around landscaped sections adjacent to the parking lots and driveways be constructed with full-depth curb sections. Using extruded curb sections which lie directly on top of the final asphalt level, or eliminating the curbing entirely, may not significantly impede the migration of irrigation water from the landscape areas to the interface between the asphalt and the base. This migration often causes separation of the wearing surface from the base and subsequent rippling and pavement deterioration. It is recommended that the subgrade below the curbing be stabilized to a minimum LBR of 40.

5.7 CONSTRUCTION TRAFFIC

Light duty roadways and incomplete pavement sections will not perform satisfactorily under construction traffic loadings. We recommend that construction traffic (construction equipment, concrete trucks, sod trucks, garbage trucks, dump trucks, etc.) be re-routed away from these roadways or that the pavement section be designed for these loadings.

5.8 EFFECTS OF GROUNDWATER

We recommend that all pavement sections analyses incorporate the seasonal high groundwater conditions. Based on the groundwater level at the site, the below separations will be maintained.



Table 2 Recommended Minimum Clearance Between Pavement Base and Wet Season Water Table	
Type of Base	Separation (inches)
Limerock	18
Crushed Concrete	12

One of the most critical influences on the pavement performance in Central Florida is the relationship between the pavement subgrade and the seasonal high groundwater level. Many roadways and parking areas have been destroyed as a result of deterioration of the base and the base/surface course bond resulting from a high water table. **Regardless of the type of base selected, we recommend that the seasonal high groundwater and the bottom of the base course be separated by at least the amount presented in Table 2 above.**

5.9 SITE PREPARATION FOR PAVEMENTS

We recommend the following site preparation procedures:

1. Strip the proposed construction limits of all grass, roots, topsoil and other deleterious materials within, and 3 feet beyond, the proposed pavement limits. Expect initial clearing and grubbing to depths of approximately 6 to 12-inches.
2. Proof-compact the exposed surface using tractor/ dozer or vibratory equipment until you maintain density of at least 95 percent of the Modified Proctor maximum dry density (ASTM D-1557) to a depth of 1 foot below the exposed surface, with the exception that densities of at least 98 percent should be obtained in the upper 12 inches below base course. We recommend the compacted soils exhibit moisture content within 2 percent of the soils optimum moisture content as determined by the Modified Proctor Test (ASTM D-1557). Should the soils experience pumping and soil strength loss during the compaction operations, compaction work should be immediately terminated and (1) the disturbed soils removed and backfilled with dry structural fill soils which are then compacted, or (2) the excess moisture content within the disturbed soils allowed to dissipate before recompacting.
3. Test the compacted surface for density at a frequency of not less than one test per 10,000 square feet of pavement area (minimum three locations).
4. Place and compact backfill material, as required. The fill should consist of "clean," fine sand with less than 5 percent soil fines. You may use fill materials with soil fines between 5 percent and 10 percent, but strict moisture control may be required. Place fill in uniform 10 to 12-inch loose lifts and compact each lift to a minimum density of 95 percent of the Modified Proctor maximum dry density with the exception that densities of at least 98 percent should be obtained within the upper one foot below base course. We recommend the compacted soils exhibit moisture content within 2 percent of the soils optimum moisture content as determined by the Modified Proctor Test (ASTM D-1557).
5. Perform compliance tests within each lift of fill at a frequency of not less than one test per 10,000 square feet of pavement area (minimum of three locations).



6.0 CONSTRUCTION RELATED SERVICES

We recommend the owner retain Universal Engineering Sciences to perform construction materials tests and observations on this project. Field tests and observations include verification of foundation subgrades by monitoring filling operations and performing quality assurance tests on the placement of compacted natural soils and structural fill. We can also perform concrete testing, pavement section testing, structural steel testing and other construction materials testing services.

The geotechnical engineering design does not end with the advertisement of the construction documents. The design is an on-going process throughout construction. Because of our familiarity with the site conditions and the intent of the engineering design, we are most qualified to address problems that might arise during construction in a timely and cost-effective manner.

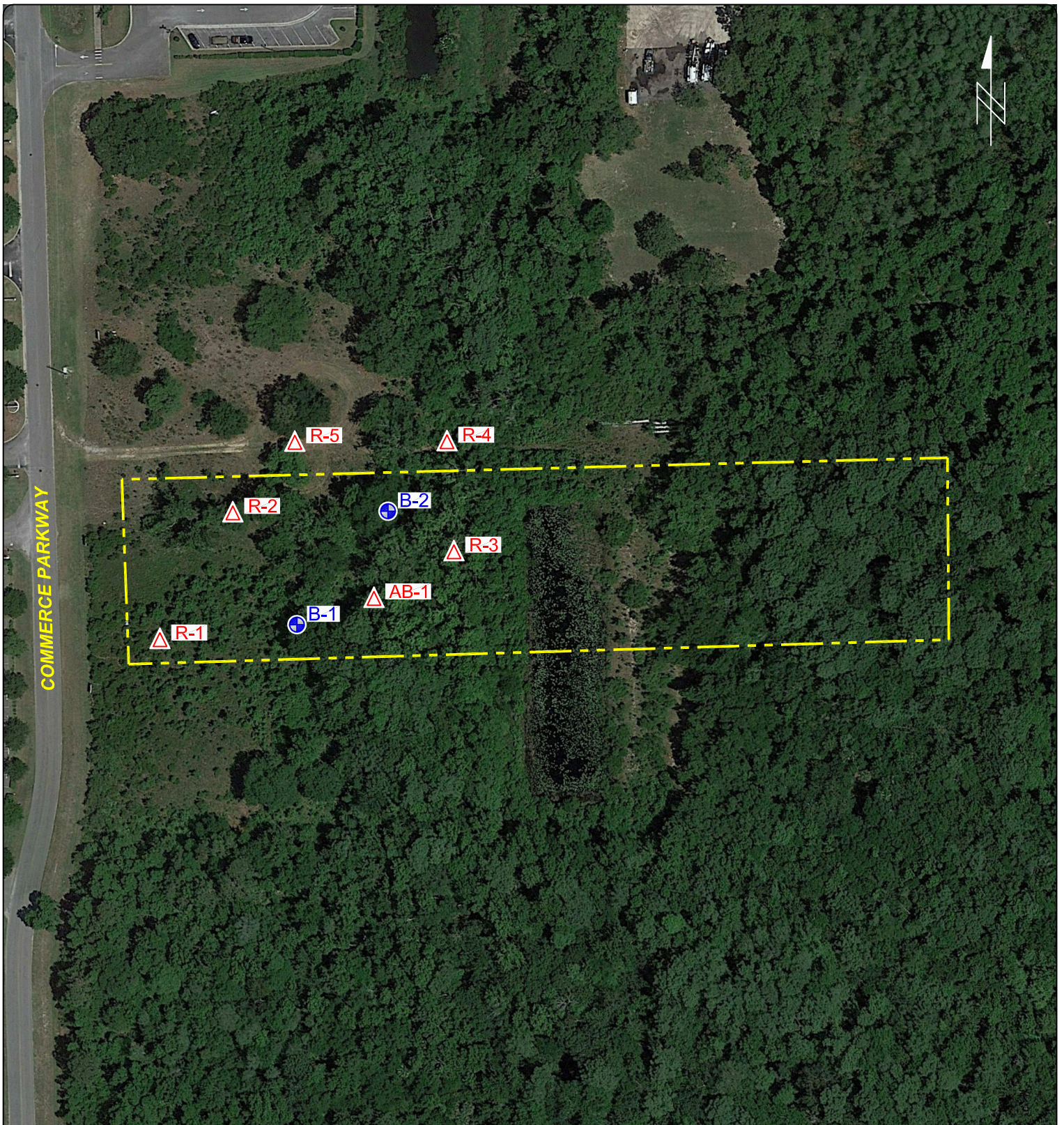
7.0 LIMITATIONS

During the early stages of most construction projects, geotechnical issues not addressed in this report may arise. Because of the natural limitations inherent in working with the subsurface, it is not possible for a geotechnical engineer to predict and address all possible problems. An Association of Engineering Firms Practicing in the Geosciences (ASFGE) publication, "Important Information about Your Geotechnical Engineering Report" appears in Appendix C, and will help explain the nature of geotechnical issues. Further, we present documents in Appendix C: Constraints and Restrictions, to bring to your attention the potential concerns and the basic limitations of a typical geotechnical report.



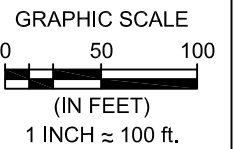
APPENDIX A


**BORING LOCATION PLAN
SUBSURFACE PROFILES
SOILS CLASSIFICATION CHART**

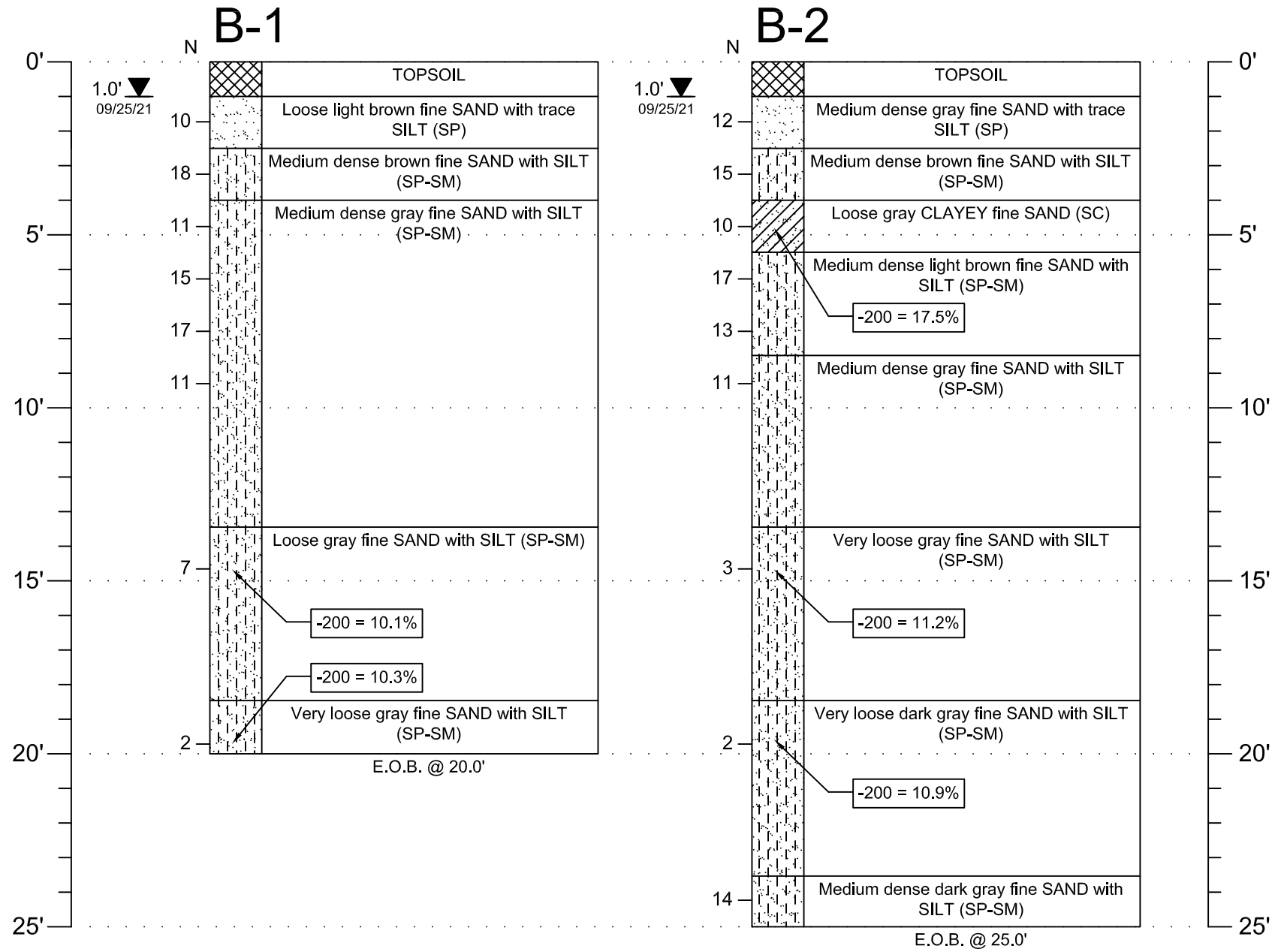


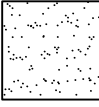

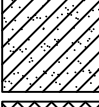

LEGEND

- △ APPROXIMATE LOCATION OF AUGER BORING
- ⊕ APPROXIMATE LOCATION OF STANDARD PENETRATION TEST (SPT) BORING



 UNIVERSAL ENGINEERING SCIENCES	TITLE: BORING LOCATION PLAN		SCALE: 1" ≈ 100'
	PROJECT: GEOTECHNICAL EVALUATION CITY OF BUNNELL ADMINISTRATION BUILDING BUNNELL, FLORIDA		PAGE/FIG. NO.: A-1
DRAWN BY: MKL	DATE: 10/11/21	PROJECT NO.: 0430.2100304.0000	
CHECKED BY: BP	DATE: 10/11/21	REPORT NO.: 139070	



-  Fine SAND (SP)
-  Fine SAND with SILT (SP-SM)
-  CLAYEY fine SAND (SC)
-  TOPSOIL

NOTES:

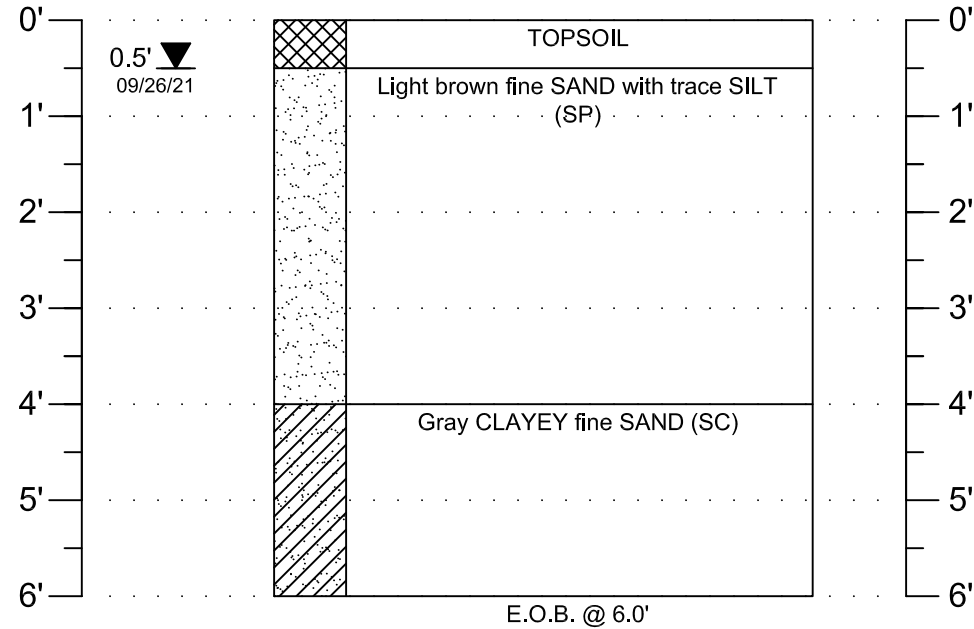
- ▼ Measured Groundwater Level 24 (+) Hours Subsequent to Time of Drilling
- (SP) Unified Soil Classification System
- EOB End of Boring
- N Penetr. Resistance, Blows/ft.
- Kv Coefficient of Permeability, (ft/day)
- 200 % Passing No. 200 Sieve
- NE Groundwater not Encountered

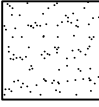

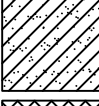



PROJECT:			
GEOTECHNICAL EVALUATION CITY OF BUNNELL ADMINISTRATION BUILDING BUNNELL, FLORIDA			
DRAWN BY:	MKL	DATE:	10/08/21
CHECKED BY:	BP	DATE:	10/08/21
PROJECT NO.:		0430.2100304.0000	
REPORT NO.:		139070	


TITLE:	
SUBSURFACE PROFILES	
SCALE:	PAGE/FIG. NO.:
NA (in feet)	A-2

AB-1



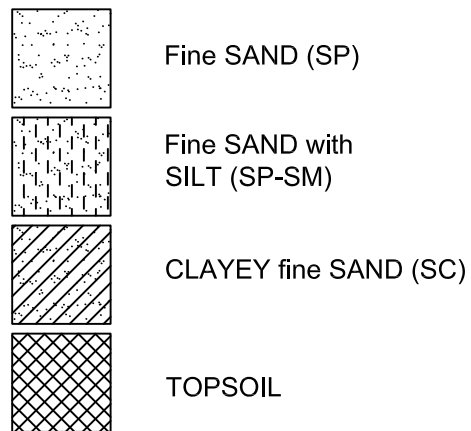
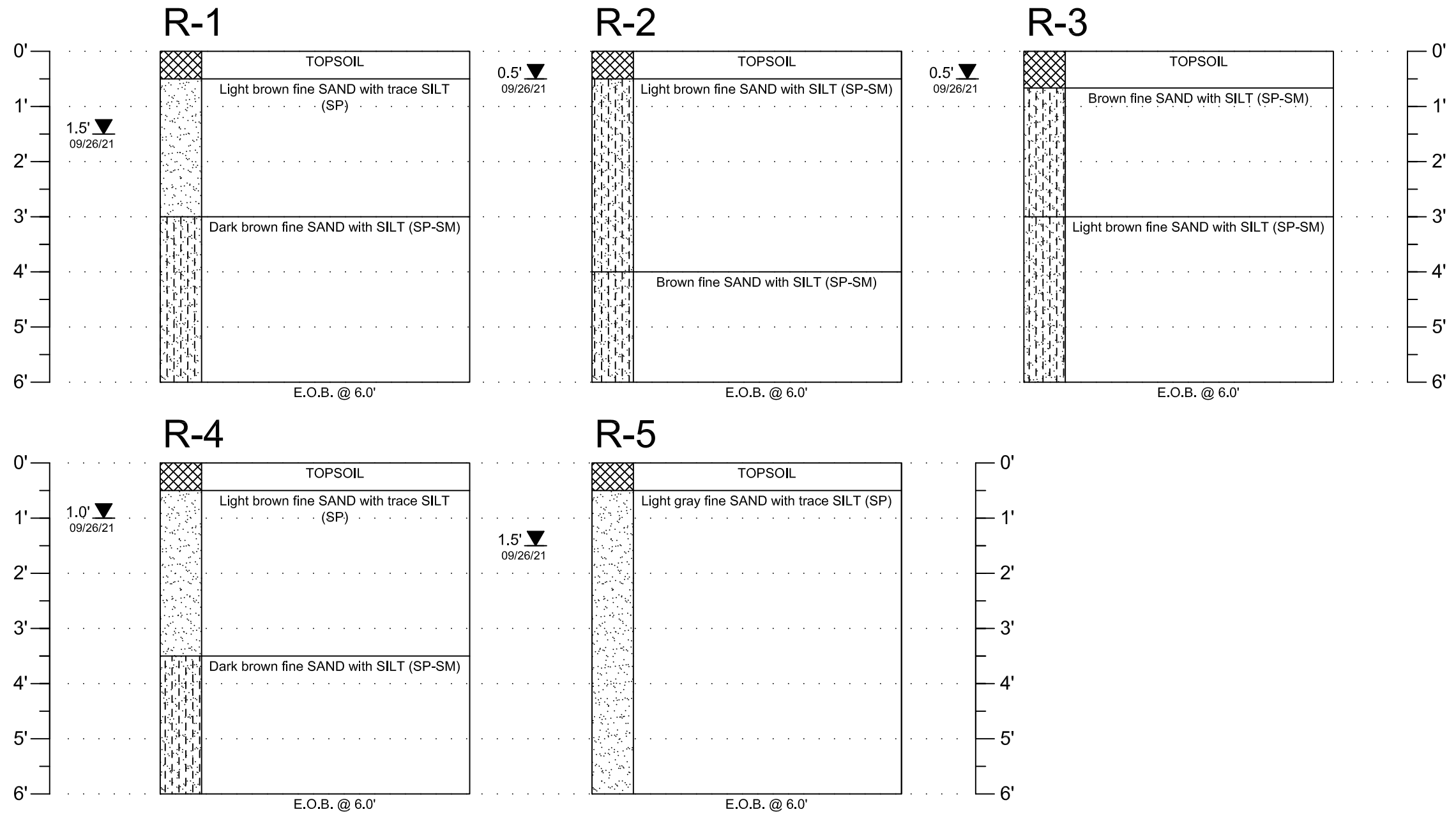
-  Fine SAND (SP)
-  Fine SAND with SILT (SP-SM)
-  CLAYEY fine SAND (SC)
-  TOPSOIL

NOTES:

-  Measured Groundwater Level 24 (+)
- (SP) Hours Subsequent to Time of Drilling
- EOB Unified Soil Classification System
- N End of Boring
- Kv Penetr. Resistance, Blows/ft.
- 200 Coefficient of Permeability, (ft/day)
- NE % Passing No. 200 Sieve
- Groundwater not Encountered



PROJECT: GEOTECHNICAL EVALUATION CITY OF BUNNELL ADMINISTRATION BUILDING BUNNELL, FLORIDA				TITLE: SUBSURFACE PROFILE	
DRAWN BY:	MKL	DATE:	10/04/21	PROJECT NO.:	0430.2100304.0000
CHECKED BY:	BP	DATE:	10/04/21	REPORT NO.:	139070
				SCALE:	NA (in feet)
				PAGE/FIG. NO.:	
				A-3	



NOTES:

- ▼ Measured Groundwater Level 24 (+)
- (SP) Hours Subsequent to Time of Drilling
- EOB Unified Soil Classification System
- N Penetr. Resistance, Blows/ft.
- Kv Coefficient of Permeability, (ft/day)
- 200 % Passing No. 200 Sieve
- NE Groundwater not Encountered

 UNIVERSAL ENGINEERING SCIENCES	PROJECT: GEOTECHNICAL EVALUATION CITY OF BUNNELL ADMINISTRATION BUILDING BUNNELL, FLORIDA			TITLE: SUBSURFACE PROFILE	
	DRAWN BY: MKL CHECKED BY: BP	DATE: 10/04/21 DATE: 10/04/21	PROJECT NO.: 0430.2100304.0000 REPORT NO.: 139070	SCALE: NA (in feet)	PAGE/FIG. NO.: A-4



SYMBOLS	
SYMBOL	DESCRIPTION
N	No. of blows of a 140-lb weight falling 30 inches required to drive standard spoon 1 foot.
WOR	Weight of Drill Rods
WOH	Weight of Drill Rods and Hammer
% REC	Percent Core Recovery from Rock Core Drilling
RQD	Rock Quality Designation
EOB	End Of Boring
BT	Boring Terminated
-200	Fines Content or % Passing No. 200 Sieve
MC	Moisture Content
LL	Liquid Limit
PI	Plasticity Index
K	Coefficient of Permeability
O.C.	Organic Content
▽	Estimated seasonal high groundwater level
▼	Measured groundwater level at time of drilling

UNIFIED CLASSIFICATION SYSTEM				
MAJOR DIVISIONS		GROUP SYMBOLS		TYPICAL NAMES
COARSE-GRAINED SOILS More than 50% retained on No. 200 sieve*	GRAVELS 50% or more of coarse fraction retained on No. 4 sieve	CLEAN GRAVELS	GW	Well-graded gravels and gravel-sand mixtures, little or no fines
			GP	Well-graded gravels and gravel-sand mixtures, little or no fines
		GRAVELS WITH FINES	GM	Silty gravels, gravel-sand-silt mixtures
			GC	Clayey gravels, gravel-sand-clay mixtures
	SANDS More than 50% of coarse fraction passes No. 4 sieve	CLEAN SANDS	SW**	Well-graded sands and gravelly sands, little or no fines
			SP**	Well-graded sands and gravelly sands, little or no fines
SANDS WITH FINES		SM**	Silty sands, sand-silt mixtures	
		SC**	Clayey sands, sand-clay mixtures	
FINE-GRAINED SOILS 50% or more passes No. 200 sieve*	SILTS AND CLAYS Liquid limit 50% or less	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands	
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays	
		OL	Organic silts and organic silty clays of low plasticity	
	SILTS AND CLAYS Liquid limit greater than 50%	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts	
		CH	Organic clays or high plasticity, fat clays	
		OH	Organic clays of medium to high plasticity	
		PT	Peat, muck and other highly organic soils	

* Based on the material passing the 3-in. (75 mm) sieve.
** Use dual symbol (such as, SP-SM and SP-SC) for soil with more than 5% but less than 12% passing through No. 200 sieve.

RELATIVE DENSITY (sand-silt)
Very Loose - Less Than 4 Blows/Ft.
Loose - 4 to 10 Blows/Ft.
Medium - 11 to 30 Blows/Ft.
Dense - 31 to 50 Blows/Ft.
Very Dense - More Than 50 Blows/Ft.

CONSISTENCY (clay)
Very Soft - Less than 2 Blows/Ft.
Soft - 2 to 4 Blows/Ft.
Medium - 5 to 8 Blows/Ft.
Stiff - 9 to 15 Blows/Ft.
Very Stiff - 16 to 30 Blows/Ft.
Hard - More Than 30 Blows/Ft.

RELATIVE HARDNESS (Limestone)
Soft - 100 Blows for more than 2"
Hard - 100 Blows for less than 2"

MODIFIERS
These modifiers provide our estimate of the amount of minor constituents (SILT or CLAY sized particles) in the soil sample.
Trace - 5% or less
With SILT or with CLAY - 6% to 11%
SILTY or CLAYEY - 12% to 30%
Very SILTY or Very CLAYEY - 31% to 50%
These modifiers provide our estimate of the amount of organic components in the soil sample.
Trace - 1% to 2%
Few - 3% to 4%
Some - 5% to 8%
Many - Greater than 8%
These modifiers provide our estimate of the amount of other components (Shell, Gravel, Etc.) in the soil sample
Trace - 5% or less
Few - 6% to 12%
Some - 13% to 30%
Many - 31% to 50%

APPENDIX B

LABORATORY TESTING PROCEDURES

DESCRIPTION OF LABORATORY TESTING PROCEDURES

LABORATORY PERMEABILITY TEST

The laboratory permeability test is a Falling Head Test that is performed on soil samples recovered from this site. The data recovered from this test are used to calculate Darcy's Coefficient of Permeability (k) of the soil.

WASH 200 TEST

The Wash 200 test is performed by passing a representative soil sample over a No. 200 sieve and rinsing with water. The percentage of the soil grains passing this sieve is then calculated.

ORGANIC CONTENT TESTS

The organic content test is performed by weighing a sample before and after placing in a high temperature oven which burns the organic material in the sample. The percent of organic material by weight is then calculated.

MOISTURE CONTENT DETERMINATION ASTM D-2216

Moisture content is the ratio of the weight of water to the dry weight of soil. Moisture content is measured by drying a sample at 105 degrees Celsius. The moisture content is expressed as a percent of the oven dried soil mass.

ATTERBERG LIMITS

The Atterberg Limits consist of the Liquid Limit (LL) and the Plastic Limit (PL). The LL and PL were determined in general accordance with the latest revision of ASTM D-4318. The LL is the water content of the material denoting the boundary between the liquid and plastic states. The PL is the water content denoting the boundary between the plastic and semi-solid states. The Plasticity Index (PI) is the range of water content over which a soil behaves plastically and is denoted numerically by as the difference between the LL and the PL. The water content of the sample tested was determined in general accordance with the latest revision of ASTM D-2216. The water content is defined as the ratio of "pore" or "free" water in a given mass of material to the mass of solid material particles.

CONSOLIDATION TESTING

A single selected portion of the undisturbed sample was extruded from the 3-inch diameter sample tube for consolidation testing. The selected sample was trimmed and confined into a stainless steel disc having a diameter of 2.5 inches and a height of 1 inch. The disc was then "sandwiched" between 2 porous stones, saturated and subjected to incrementally increasing loads. The resulting deformation of the sample within the steel disc was measured using a micrometer gauge.

APPENDIX C

**GENERAL CONDITIONS
CONSTRAINTS AND RESTRICTIONS AND
IMPORTANT INFORMATION ABOUT YOUR
GEOTECHNICAL ENGINEERING REPORT**

CONSTRAINTS AND RESTRICTIONS

WARRANTY

Universal Engineering Sciences has prepared this report for our client for his exclusive use, in accordance with generally accepted soil and foundation engineering practices, and makes no other warranty either expressed or implied as to the professional advice provided in the report.

UNANTICIPATED SOIL CONDITIONS

The analysis and recommendations submitted in this report are based upon the data obtained from soil borings performed at the locations indicated on the Boring Location Plan. This report does not reflect any variations which may occur between these borings.

The nature and extent of variations between borings may not become known until excavation begins. If variations appear, we may have to re-evaluate our recommendations after performing on-site observations and noting the characteristics of any variations.

CHANGED CONDITIONS

We recommend that the specifications for the project require that the contractor immediately notify Universal Engineering Sciences, as well as the owner, when subsurface conditions are encountered that are different from those present in this report.

No claim by the contractor for any conditions differing from those anticipated in the plans, specifications, and those found in this report, should be allowed unless the contractor notifies the owner and Universal Engineering Sciences of such changed conditions. Further, we recommend that all foundation work and site improvements be observed by a representative of Universal Engineering Sciences to monitor field conditions and changes, to verify design assumptions and to evaluate and recommend any appropriate modifications to this report.

MISINTERPRETATION OF SOIL ENGINEERING REPORT

Universal Engineering Sciences is responsible for the conclusions and opinions contained within this report based upon the data relating only to the specific project and location discussed herein. If the conclusions or recommendations based upon the data presented are made by others, those conclusions or recommendations are not the responsibility of Universal Engineering Sciences.

CHANGED STRUCTURE OR LOCATION

This report was prepared in order to aid in the evaluation of this project and to assist the architect or engineer in the design of this project. If any changes in the design or location of the structure as outlined in this report are planned, or if any structures are included or added that are not discussed in the report, the conclusions and recommendations contained in this report shall not be considered valid unless the changes are reviewed and the conclusions modified or approved by Universal Engineering Sciences.

USE OF REPORT BY BIDDERS

Bidders who are examining the report prior to submission of a bid are cautioned that this report was prepared as an aid to the designers of the project and it may affect actual construction operations.

Bidders are urged to make their own soil borings, test pits, test caissons or other investigations to determine those conditions that may affect construction operations. Universal Engineering Sciences cannot be responsible for any interpretations made from this report or the attached boring logs with regard to their adequacy in reflecting subsurface conditions which will affect construction operations.

STRATA CHANGES

Strata changes are indicated by a definite line on the boring logs which accompany this report. However, the actual change in the ground may be more gradual. Where changes occur between soil samples, the location of the change must necessarily be estimated using all available information and may not be shown at the exact depth.

OBSERVATIONS DURING DRILLING

Attempts are made to detect and/or identify occurrences during drilling and sampling, such as: water level, boulders, zones of lost circulation, relative ease or resistance to drilling progress, unusual sample recovery, variation of driving resistance, obstructions, etc.; however, lack of mention does not preclude their presence.

WATER LEVELS

Water level readings have been made in the drill holes during drilling and they indicate normally occurring conditions. Water levels may not have been stabilized at the last reading. This data has been reviewed and interpretations made in this report. However, it must be noted that fluctuations in the level of the groundwater may occur due to variations in rainfall, temperature, tides, and other factors not evident at the time measurements were made and reported. Since the probability of such variations is anticipated, design drawings and specifications should accommodate such possibilities and construction planning should be based upon such assumptions of variations.

LOCATION OF BURIED OBJECTS

All users of this report are cautioned that there was no requirement for Universal Engineering Sciences to attempt to locate any man-made buried objects during the course of this exploration and that no attempt was made by Universal Engineering Sciences to locate any such buried objects. Universal Engineering Sciences cannot be responsible for any buried man-made objects which are subsequently encountered during construction that are not discussed within the text of this report.

TIME

This report reflects the soil conditions at the time of investigation. If the report is not used in a reasonable amount of time, significant changes to the site may occur and additional reviews may be required.

Universal Engineering Sciences, LLC
GENERAL CONDITIONS

SECTION 1: RESPONSIBILITIES 1.1 *Universal Engineering Sciences, LLC*, and its subsidiaries and affiliated companies ("UES"), is responsible for providing the services described under the Scope of Services. The term "UES" as used herein includes all of UES's agents, employees, professional staff, and subcontractors. 1.2 The Client or a duly authorized representative is responsible for providing UES with a clear understanding of the project nature and scope. The Client shall supply UES with sufficient and adequate information, including, but not limited to, maps, site plans, reports, surveys, plans and specifications, and designs, to allow UES to properly complete the specified services. The Client shall also communicate changes in the nature and scope of the project as soon as possible during performance of the work so that the changes can be incorporated into the work product. 1.3 The Client acknowledges that UES's responsibilities in providing the services described under the Scope of Services section is limited to those services described therein, and the Client hereby assumes any collateral or affiliated duties necessitated by or for those services. Such duties may include, but are not limited to, reporting requirements imposed by any third party such as federal, state, or local entities, the provision of any required notices to any third party, or the securing of necessary permits or permissions from any third parties required for UES's provision of the services so described, unless otherwise agreed upon by both parties in writing.

SECTION 2: STANDARD OF CARE 2.1 Services performed by UES under this Agreement will be conducted in a manner consistent with the level of care and skill ordinarily exercised by members of UES's profession practicing contemporaneously under similar conditions in the locality of the project. No other warranty, express or implied, is made. 2.2 Execution of this document by UES is not a representation that UES has visited the site, become generally familiar with local conditions under which the work is to be performed, or correlated personal observations with the requirements of the Scope of Services. It is the Client's responsibility to provide UES with all information necessary for UES to provide the services described under the Scope of Services, and the Client assumes all liability for information not provided to UES that may affect the quality or sufficiency of the services so described.

SECTION 3: SITE ACCESS AND SITE CONDITIONS 3.1 Client will grant or obtain free access to the site for all equipment and personnel necessary for UES to perform the work set forth in this Agreement. The Client will notify any possessors of the project site that Client has granted UES free access to the site. UES will take reasonable precautions to minimize damage to the site, but it is understood by Client that, in the normal course of work, some damage may occur, and the correction of such damage is not part of this Agreement unless so specified in the Scope of Services. 3.2 The Client is responsible for the accuracy of locations for all subterranean structures and utilities. UES will take reasonable precautions to avoid known subterranean structures, and the Client waives any claim against UES, and agrees to defend, indemnify, and hold UES harmless from any claim or liability for injury or loss, including costs of defense, arising from damage done to subterranean structures and utilities not identified or accurately located. In addition, Client agrees to compensate UES for any time spent or expenses incurred by UES in defense of any such claim with compensation to be based upon UES's prevailing fee schedule and expense reimbursement policy.

SECTION 4: BILLING AND PAYMENT 4.1 UES will submit invoices to Client monthly or upon completion of services. Invoices will show charges for different personnel and expense classifications. 4.2 Payment is due 30 days after presentation of invoice and is past due 31 days from invoice date. Client agrees to pay a finance charge of one and one-half percent (1 ½ %) per month, or the maximum rate allowed by law, on past due accounts. 4.3 If UES incurs any expenses to collect overdue billings on invoices, the sums paid by UES for reasonable attorneys' fees, court costs, UES's time, UES's expenses, and interest will be due and owing by the Client.

SECTION 5: OWNERSHIP AND USE OF DOCUMENTS 5.1 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by UES, as instruments of service, shall remain the property of UES. Neither Client nor any other entity shall change or modify UES's instruments of service. 5.2 Client agrees that all reports and other work furnished to the Client or his agents, which are not paid for, will be returned upon demand and will not be used by the Client for any purpose. 5.3 UES will retain all pertinent records relating to the services performed for a period of five years following submission of the report or completion of the Scope of Services, during which period the records will be made available to the Client in a reasonable time and manner. 5.4 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by UES, are prepared for the sole and exclusive use of Client, and may not be given to any other entity, or used or relied upon by any other entity, without the express written consent of UES. Client is the only entity to which UES owes any duty or duties, in contract or tort, pursuant to or under this Agreement.

SECTION 6: DISCOVERY OF UNANTICIPATED HAZARDOUS MATERIALS 6.1 Client represents that a reasonable effort has been made to inform UES of known or suspected hazardous materials on or near the project site. 6.2 Under this agreement, the term hazardous materials include hazardous materials, hazardous wastes, hazardous substances (40 CFR 261.31, 261.32, 261.33), petroleum products, polychlorinated biphenyls, asbestos, and any other material defined by the U.S. EPA as a hazardous material. 6.3 Hazardous materials may exist at a site where there is no reason to believe they are present. The discovery of unanticipated hazardous materials constitutes a changed condition mandating a renegotiation of the scope of work. The discovery of unanticipated hazardous materials may make it necessary for UES to take immediate measures to protect health and safety. Client agrees to compensate UES for any equipment decontamination or other costs incident to the discovery of unanticipated hazardous materials. 6.4 UES will notify Client when unanticipated hazardous materials or suspected hazardous materials are encountered. Client will make any disclosures required by law to the appropriate governing agencies. Client will hold UES harmless for all consequences of disclosures made by UES which are required by governing law. In the event the project site is not owned by Client, Client it is the Client's responsibility to inform the property owner of the discovery of unanticipated hazardous materials or suspected hazardous materials. 6.5 Notwithstanding any other provision of the Agreement, Client waives any claim against UES, and to the maximum extent permitted by law, agrees to defend, indemnify, and save UES harmless from any claim, liability, and/or defense costs for injury or loss arising from UES's discovery of unanticipated hazardous materials or suspected hazardous materials including any costs created by delay of the project and any cost associated with possible reduction of the property's value. Client will be responsible for ultimate disposal of any samples secured by UES which are found to be contaminated.

SECTION 7: RISK ALLOCATION 7.1 Client agrees that UES's liability for any damage on account of any breach of contract, error, omission, or professional negligence will be limited to a sum not to exceed \$50,000 or UES's fee, whichever is greater. If Client prefers to have higher limits on contractual or professional liability, UES agrees to increase the limits up to a maximum of \$1,000,000.00 upon Client's written request at the time of accepting UES's proposal provided that Client agrees to pay an additional consideration of four percent of the total fee, or \$400.00, whichever is greater. If Client prefers a \$2,000,000.00 limit on contractual or professional liability, UES agrees to increase the limits up to a maximum of \$2,000,000.00 upon Client's written request at the time of accepting UES's proposal provided that Client agrees to pay an additional consideration of four percent of the total fee, or \$800.00, whichever is greater. The additional charge for the higher liability limits is because of the greater risk assumed and is not strictly a charge for additional professional liability insurance. 7.2 Client shall not be liable to UES and UES shall not be liable to Client for any incidental, special, or consequential damages (including lost profits, loss of use, and lost savings) incurred by either party due to the fault of the other, regardless of the nature of the fault, or whether it was committed by Client or UES, their employees, agents, or subcontractors; or whether such liability arises in breach of contract or warranty, tort (including negligence), statutory, or any other cause of action. 7.3 As used in this Agreement, the terms "claim" or "claims" mean any claim in contract, tort, or statute alleging negligence, errors, omissions, strict liability, statutory liability, breach of contract, breach of warranty, negligent misrepresentation, or any other act giving rise to liability.

SECTION 8: INSURANCE 8.1 UES represents it and its agents, staff and consultants employed by UES, is and are protected by worker's compensation insurance and that UES has such coverage under public liability and property damage insurance policies which UES deems to be adequate. Certificates for all such policies of insurance shall be provided to Client upon request in writing. Within the limits and conditions of such insurance, UES agrees to indemnify and save Client harmless from and against loss, damage, or liability arising from negligent acts by UES, its agents, staff, and consultants employed by it. UES shall not be responsible for any loss, damage or liability beyond the amounts, limits, and conditions of such insurance or the limits described in Section 7, whichever is less.

The Client agrees to defend, indemnify, and save UES harmless for loss, damage or liability arising from acts by Client, Client's agents, staff, and others employed by Client. **8.2** Under no circumstances will UES indemnify Client from or for Client's own actions, negligence, or breaches of contract. **8.3** To the extent damages are covered by property insurance, Client and UES waive all rights against each other and against the contractors, consultants, agents, and employees of the other for damages, except such rights as they may have to the proceeds of such insurance.

SECTION 9: DISPUTE RESOLUTION **9.1** All claims, disputes, and other matters in controversy between UES and Client arising out of or in any way related to this Agreement will be submitted to mediation or non-binding arbitration, before and as a condition precedent to other remedies provided by law. **9.2** If a dispute arises and that dispute is not resolved by mediation or non-binding arbitration, then: (a) the claim will be brought in the state or federal courts having jurisdiction where the UES office which provided the service is located; and (b) the prevailing party will be entitled to recovery of all reasonable costs incurred, including staff time, court costs, attorneys' fees, expert witness fees, and other claim related expenses.

SECTION 10: TERMINATION **10.1** This agreement may be terminated by either party upon seven (7) days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof, or in the case of a force majeure event such as terrorism, act of war, public health or other emergency. Such termination shall not be effective if such substantial failure or force majeure has been remedied before expiration of the period specified in the written notice. In the event of termination, UES shall be paid for services performed to the termination notice date plus reasonable termination expenses. **10.2** In the event of termination, or suspension for more than three (3) months, prior to completion of all reports contemplated by the Agreement, UES may complete such analyses and records as are necessary to complete its files and may also complete a report on the services performed to the date of notice of termination or suspension. The expense of termination or suspension shall include all direct costs of UES in completing such analyses, records, and reports.

SECTION 11: REVIEWS, INSPECTIONS, TESTING, AND OBSERVATIONS **11.1** Plan review, private provider inspections, and building inspections are performed for the purpose of observing compliance with applicable building codes. Threshold inspections are performed for the purpose of observing compliance with an approved threshold inspection plan. Construction materials testing ("CMT") is performed to document compliance of certain materials or components with applicable testing standards. UES's performance of plan reviews, private provider inspections, building inspections, threshold inspections, or CMT, or UES's presence on the site of Client's project while performing any of the foregoing activities, is not a representation or warranty by UES that Client's project is free of errors in either design or construction. **11.2** If UES is retained to provide construction monitoring or observation, UES will report to Client any observed work which, in UES's opinion, does not conform to the plans and specifications provided to UES. UES shall have no authority to reject or terminate the work of any agent or contractor of Client. No action, statements, or communications of UES, or UES's site representative, can be construed as modifying any agreement between Client and others. UES's performance of construction monitoring or observation is not a representation or warranty by UES that Client's project is free of errors in either design or construction. **11.3** Neither the activities of UES pursuant to this Agreement, nor the presence of UES or its employees, representatives, or subcontractors on the project site, shall be construed to impose upon UES any responsibility for means or methods of work performance, superintendence, sequencing of construction, or safety conditions at the project site. Client acknowledges that Client or its contractor is solely responsible for project jobsite safety. **11.4** Client is responsible for scheduling all inspections and CMT activities of UES. All testing and inspection services will be performed on a will-call basis. UES will not be responsible for tests and inspections that are not performed due to Client's failure to schedule UES's services on the project, or for any claims or damages arising from tests and inspections that are not scheduled or performed.

SECTION 12: ENVIRONMENTAL ASSESSMENTS Client acknowledges that an Environmental Site Assessment ("ESA") is conducted solely to permit UES to render a professional opinion about the likelihood or extent of regulated contaminants being present on, in, or beneath the site in question at the time services were conducted. No matter how thorough an ESA study may be, findings derived from the study are limited and UES cannot know or state for a fact that a site is unaffected by reportable quantities of regulated contaminants as a result of conducting the ESA study. Even if UES states that reportable quantities of regulated contaminants are not present, Client still bears the risk that such contaminants may be present or may migrate to the site after the ESA study is complete.

SECTION 13: SUBSURFACE EXPLORATIONS **13.1** Client acknowledges that subsurface conditions may vary from those observed at locations where borings, surveys, samples, or other explorations are made, and that site conditions may change with time. Data, interpretations, and recommendations by UES will be based solely on information available to UES at the time of service. UES is responsible for those data, interpretations, and recommendations, but will not be responsible for other parties' interpretations or use of the information developed or provided by UES. **13.2** Subsurface explorations may result in unavoidable cross-contamination of certain subsurface areas, as when a probe or boring device moves through a contaminated zone and links it to an aquifer, underground stream, or other hydrous body not previously contaminated. UES is unable to eliminate totally cross-contamination risk despite use of due care. Since subsurface explorations may be an essential element of UES's services indicated herein, Client shall, to the fullest extent permitted by law, waive any claim against UES, and indemnify, defend, and hold UES harmless from any claim or liability for injury or loss arising from cross-contamination allegedly caused by UES's subsurface explorations. In addition, Client agrees to compensate UES for any time spent or expenses incurred by UES in defense of any such claim with compensation to be based upon UES's prevailing fee schedule and expense reimbursement policy.

SECTION 14: SOLICITATION OF EMPLOYEES Client agrees not to hire UES's employees except through UES. In the event Client hires a UES employee within one year following any project through which Client had contact with said employee, Client shall pay UES an amount equal to one-half of the employee's annualized salary, as liquidated damages, without UES waiving other remedies it may have.

SECTION 15: ASSIGNS Neither Client nor UES may delegate, assign, sublet, or transfer its duties or interest in this Agreement without the written consent of the other party.

SECTION 16: GOVERNING LAW AND SURVIVAL **16.1** This Agreement shall be governed by and construed in accordance with the laws of the jurisdiction in which the UES office performing the services hereunder is located. **16.2** In any of the provisions of this Agreement are held illegal, invalid, or unenforceable, the enforceability of the remaining provisions will not be impaired and will survive. Limitations of liability and indemnities will survive termination of this agreement for any cause.

SECTION 17: INTEGRATION CLAUSE **17.1** This Agreement represents and contains the entire and only agreement and understanding among the parties with respect to the subject matter of this Agreement, and supersedes any and all prior and contemporaneous oral and written agreements, understandings, representations, inducements, promises, warranties, and conditions among the parties. No agreement, understanding, representation, inducement, promise, warranty, or condition of any kind with respect to the subject matter of this Agreement shall be relied upon by the parties unless expressly incorporated herein. **17.2** This Agreement may not be amended or modified except by an agreement in writing signed by the party against whom the enforcement of any modification or amendment is sought.

SECTION 18: WAIVER OF JURY TRIAL Both Client and UES waive trial by jury in any action arising out of or related to this Agreement.

SECTION 19: INDIVIDUAL LIABILITY PURSUANT TO FLORIDA STAT. 558.0035, AN INDIVIDUAL EMPLOYEE OR AGENT OF UES MAY NOT BE HELD INDIVIDUALLY LIABLE FOR NEGLIGENCE.

Important Information about This

Geotechnical-Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

While you cannot eliminate all such risks, you can manage them. The following information is provided to help.

Geotechnical Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical-engineering study conducted for a civil engineer may not fulfill the needs of a constructor — a construction contractor — or even another civil engineer. Because each geotechnical-engineering study is unique, each geotechnical-engineering report is unique, prepared *solely* for the client. No one except you should rely on this geotechnical-engineering report without first conferring with the geotechnical engineer who prepared it. *And no one — not even you — should apply this report for any purpose or project except the one originally contemplated.*

Read the Full Report

Serious problems have occurred because those relying on a geotechnical-engineering report did not read it all. Do not rely on an executive summary. Do not read selected elements only.

Geotechnical Engineers Base Each Report on a Unique Set of Project-Specific Factors

Geotechnical engineers consider many unique, project-specific factors when establishing the scope of a study. Typical factors include: the client's goals, objectives, and risk-management preferences; the general nature of the structure involved, its size, and configuration; the location of the structure on the site; and other planned or existing site improvements, such as access roads, parking lots, and underground utilities. Unless the geotechnical engineer who conducted the study specifically indicates otherwise, do not rely on a geotechnical-engineering report that was:

- not prepared for you;
- not prepared for your project;
- not prepared for the specific site explored; or
- completed before important project changes were made.

Typical changes that can erode the reliability of an existing geotechnical-engineering report include those that affect:

- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light-industrial plant to a refrigerated warehouse;
- the elevation, configuration, location, orientation, or weight of the proposed structure;
- the composition of the design team; or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes—even minor ones—and request an

assessment of their impact. *Geotechnical engineers cannot accept responsibility or liability for problems that occur because their reports do not consider developments of which they were not informed.*

Subsurface Conditions Can Change

A geotechnical-engineering report is based on conditions that existed at the time the geotechnical engineer performed the study. *Do not rely on a geotechnical-engineering report whose adequacy may have been affected by:* the passage of time; man-made events, such as construction on or adjacent to the site; or natural events, such as floods, droughts, earthquakes, or groundwater fluctuations. *Contact the geotechnical engineer before applying this report to determine if it is still reliable.* A minor amount of additional testing or analysis could prevent major problems.

Most Geotechnical Findings Are Professional Opinions

Site exploration identifies subsurface conditions only at those points where subsurface tests are conducted or samples are taken. Geotechnical engineers review field and laboratory data and then apply their professional judgment to render an opinion about subsurface conditions throughout the site. Actual subsurface conditions may differ — sometimes significantly — from those indicated in your report. Retaining the geotechnical engineer who developed your report to provide geotechnical-construction observation is the most effective method of managing the risks associated with unanticipated conditions.

A Report's Recommendations Are Not Final

Do not overrely on the confirmation-dependent recommendations included in your report. *Confirmation-dependent recommendations are not final*, because geotechnical engineers develop them principally from judgment and opinion. Geotechnical engineers can finalize their recommendations *only* by observing actual subsurface conditions revealed during construction. *The geotechnical engineer who developed your report cannot assume responsibility or liability for the report's confirmation-dependent recommendations if that engineer does not perform the geotechnical-construction observation required to confirm the recommendations' applicability.*

A Geotechnical-Engineering Report Is Subject to Misinterpretation

Other design-team members' misinterpretation of geotechnical-engineering reports has resulted in costly

problems. Confront that risk by having your geotechnical engineer confer with appropriate members of the design team after submitting the report. Also retain your geotechnical engineer to review pertinent elements of the design team's plans and specifications. Constructors can also misinterpret a geotechnical-engineering report. Confront that risk by having your geotechnical engineer participate in prebid and preconstruction conferences, and by providing geotechnical construction observation.

Do Not Redraw the Engineer's Logs

Geotechnical engineers prepare final boring and testing logs based upon their interpretation of field logs and laboratory data. To prevent errors or omissions, the logs included in a geotechnical-engineering report should *never* be redrawn for inclusion in architectural or other design drawings. Only photographic or electronic reproduction is acceptable, *but recognize that separating logs from the report can elevate risk.*

Give Constructors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can make constructors liable for unanticipated subsurface conditions by limiting what they provide for bid preparation. To help prevent costly problems, give constructors the complete geotechnical-engineering report, *but* preface it with a clearly written letter of transmittal. In that letter, advise constructors that the report was not prepared for purposes of bid development and that the report's accuracy is limited; encourage them to confer with the geotechnical engineer who prepared the report (a modest fee may be required) and/or to conduct additional study to obtain the specific types of information they need or prefer. A prebid conference can also be valuable. *Be sure constructors have sufficient time* to perform additional study. Only then might you be in a position to give constructors the best information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions.

Read Responsibility Provisions Closely

Some clients, design professionals, and constructors fail to recognize that geotechnical engineering is far less exact than other engineering disciplines. This lack of understanding has created unrealistic expectations that have led to disappointments, claims, and disputes. To help reduce the risk of such outcomes, geotechnical engineers commonly include a variety of explanatory provisions in their reports. Sometimes labeled "limitations," many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help

others recognize their own responsibilities and risks. *Read these provisions closely.* Ask questions. Your geotechnical engineer should respond fully and frankly.

Environmental Concerns Are Not Covered

The equipment, techniques, and personnel used to perform an *environmental* study differ significantly from those used to perform a *geotechnical* study. For that reason, a geotechnical-engineering report does not usually relate any environmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated environmental problems have led to numerous project failures.* If you have not yet obtained your own environmental information, ask your geotechnical consultant for risk-management guidance. *Do not rely on an environmental report prepared for someone else.*

Obtain Professional Assistance To Deal with Mold

Diverse strategies can be applied during building design, construction, operation, and maintenance to prevent significant amounts of mold from growing on indoor surfaces. To be effective, all such strategies should be devised for the *express purpose* of mold prevention, integrated into a comprehensive plan, and executed with diligent oversight by a professional mold-prevention consultant. Because just a small amount of water or moisture can lead to the development of severe mold infestations, many mold-prevention strategies focus on keeping building surfaces dry. While groundwater, water infiltration, and similar issues may have been addressed as part of the geotechnical-engineering study whose findings are conveyed in this report, the geotechnical engineer in charge of this project is not a mold prevention consultant; *none of the services performed in connection with the geotechnical engineer's study were designed or conducted for the purpose of mold prevention. Proper implementation of the recommendations conveyed in this report will not of itself be sufficient to prevent mold from growing in or on the structure involved.*

Rely, on Your GBC-Member Geotechnical Engineer for Additional Assistance

Membership in the Geotechnical Business Council of the Geoprofessional Business Association exposes geotechnical engineers to a wide array of risk-confrontation techniques that can be of genuine benefit for everyone involved with a construction project. Confer with your GBC-Member geotechnical engineer for more information.



8811 Colesville Road/Suite G106, Silver Spring, MD 20910

Telephone: 301/565-2733 Facsimile: 301/589-2017

e-mail: info@geoprofessional.org www.geoprofessional.org

Copyright 2015 by Geoprofessional Business Association (GBA). Duplication, reproduction, or copying of this document, or its contents, in whole or in part, by any means whatsoever, is strictly prohibited, except with GBA's specific written permission. Excerpting, quoting, or otherwise extracting wording from this document is permitted only with the express written permission of GBA, and only for purposes of scholarly research or book review. Only members of GBA may use this document as a complement to or as an element of a geotechnical-engineering report. Any other firm, individual, or other entity that so uses this document without being a GBA member could be committing negligent or intentional (fraudulent) misrepresentation.



City of Bunnell, Florida

Agenda Item No. H.2.

Document Date: 10/12/2021 Amount:
Department: Community Development Account #:
Subject: Request for Final Plat Approval for Grand Reserve Phase 4
Agenda Section: New Business:
Goal/Priority: Increase Economic Base

ATTACHMENTS:

Description	Type
Large Document Notice	Exhibit

Summary/Highlights:

The applicant, D.R. Horton, Inc- Jacksonville, is requesting final plat approval for Phase 4 of the Grand Reserve Residential Planned Unit Development project.

The Planning, Zoning and Appeals Board heard this request at their October 5, 2021 Meeting. At that meeting, the PZA Board voted to recommend approval of the proposed ordinance.

Background:

Phase 4 is located in the northeastern portion of the Grand Reserve RPUD project. It is comprised of 135 lots with a minimum lot size of 40' x 125' on 25.38± acres of land.

The subdivision meets all applicable Land Development Regulations including lot size, setbacks, open space, and sidewalk requirements as they were approved in the Planned Development Agreement.

The final plat has been reviewed by the City's consulting surveyor for consistency with Chapter 177 of the Fla. Statutes and found to be in compliance .

Approval of the Final Plat allows the developer to sell the lots and begin building houses once all the supporting infrastructure has been installed and approved by the City.

Staff Recommendation:

Approve D.R. Horton's request for final plat approval for Phase 4 of the Grand Reserve

Residential Planned Unit Development project.

City Attorney Review:

Approved as to form and legality. This plat has been reviewed and meets the legal requirements.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.

**To view a copy of the
proposed final plat,**

please visit the

**Community
Development
Department**

at

604 E. Moody Blvd.

Unit 6



City of Bunnell, Florida

Agenda Item No. H.3.

Document Date: 10/21/2021 Amount: \$492,550.60
Department: Infrastructure Account #: 404-0535-535.6300
Subject: Request Approval of Insituform's Slip Lining Phase 4 Proposal
Agenda Section: New Business:
Goal/Priority: Infrastructure

ATTACHMENTS:

Description	Type
Insituform Proposal	Contract
COB Renewal Agreement 2021-04	Contract
City of Daytona Beach Renewal	Contract
City of Daytona Beach Agreement	Contract

Summary/Highlights:

The City is currently piggybacking Insituform's agreement with the City of Daytona Beach for Cure In Place Pipe (CIPP) lining and would like approval and signature for the Sewer Slip Lining Phase 4 Project proposal.

Background:

Staff plans to line more gravity sewer lines in the city with the awarded 2022 SJRWMD REDI Cost-Share Grant in the amount of \$500,000. Insituform Technology was subcontracted to do the previous lining. Due to the excellent service provided, Staff would like to continue using their services with the CIPP Phase 4 project. By approving and signing Insituform's proposal, it will serve as the City's notice for them to proceed with the project.

Staff Recommendation:

Approve the proposal by Insituform Technology for the Sewer Slip Lining Phase 4 project in the amount of \$492,550.60.

City Attorney Review:

Approved as to form and legality.

Finance Department Review/Recommendation:

City Manager Review/Recommendation:

Approved.



6966 Business Park Blvd.
Jacksonville, Fl. 32256
www.insituform.com

Dave Raymond
Business Development Manager

Insituform Technologies, LLC is a subsidiary of Aegion Corporation

Phone: (904)465-3267
Fax: (904)292-3198
Email: draymond@aegion.com

10-13-21

Mary Anne Atwood
City of Bunnell
201 W Moody Blvd.
Bunnell, Fl. 32110
matwood@bunnellcity.us

**Re: Cost Proposal – City of Bunnell
Phase 4 FY22 Sanitary Lining Project**

Mary Anne,

Insituform Technologies, LLC, (“ITLLC”) is pleased to provide the following proposal to the **City of Bunnell**, hereinafter referred to as “Customer”, for the scope of work detailed below for the above-referenced Project. This proposal is based off a piggyback of the City of Daytona Beach Contract #0118-2600.

PROPOSAL PRICING

ITLLC proposes the following pricing for the scope of services described herein:

Bid Item per Docs	Description	Measure	Quantity	Bid Price	Total
A-1	CIPP 8” Diameter 6.0 mm Thickness	LF	14,666	\$23.10	\$338,784.60
B-1	CIPP 10” Diameter 6.0 mm Thickness	LF	665	\$27.30	\$18,154.50
L-1	Light Cleaning and Inspection 8”-12” Diameter	LF	15,331	\$2.50	\$38,327.50
O-1	Root Removal 8” -12” diameter	LF	2,500	\$1.60	\$4,000.00
P-1	Tuberculation Cleaning 8”-12” Diameter	LF	250	\$19.00	\$4,750.00

QQ-1	By-Passing 8" Diameter	LS	48	\$317.40	\$15,235.20
QQ-2	By-Passing 10" Diameter	LS	1	\$317.40	\$317.40
RR	Standard Services Reconnection	Each	198	\$195.00	\$38,610.00
TT-1	Traffic Control City ROW Flagman	Setup	26	\$655.90	\$17,053.40
TT-3	Traffic Control City ROW Barricades	Setup	49	\$264.50	\$12,960.50
TT-4	Traffic Control City ROW Lane Dividers	Setup	49	\$15.90	\$779.10
AAA	Mobilization	Setup	1	\$3,578.40	\$3,578.40
	TOTAL				\$492,550.60

INSITUFORM SCOPE OF WORK / RESPONSIBILITIES

ITLLC will provide the following:

1. Mobilization and demobilization of personnel, equipment, and materials to and from the Project site. The price presented is based upon one (1) instance of mobilization and demobilization.
2. Install **polyester** resin impregnated CIPP liner in accordance with ASTM F1216 or F1743 using either water or air/pull-in/steam, at the discretion of ITLLC. We have not included any costs associated with the disposal of inversion water.
3. Internal reinstatement of all service connections as directed by the Customer or their representative.
4. CCTV inspection of the pipe before and after the lining is complete.
5. Standard ITLLC one-year warranty from date of installation, excluding any required warranty TV inspection and/or testing.
6. Standard insurance coverage with the following limits:
General Liability: \$2,000,000 per occurrence/\$4,000,000 aggregate
Auto: \$2,000,000 Combined Single Limit
Workers Compensation: Statutory with \$1,000,000 Employer's Liability
The above insurance shall not include Primary and Non-Contributory Coverage and ITLLC shall not provide a Waiver of Subrogation endorsement.

NOTE: Modifications to the Scope of Work/Responsibilities of ITLLC may result in a change in price and/or duration.

ASSUMPTIONS AND QUALIFICATIONS

ITLLC's Proposal Pricing is based upon the following assumptions and clarifications:

1. ITLLC assumes the work will be completed during dry weather conditions.
2. Quantities are estimated. Customer shall be invoiced for actual quantities at the above unit prices.

3. ITLLC is an open-shop company and shall not be subject to any union requirements or agreements and will not enter into any Project Labor Agreement or any such similar agreement for this Project. Where required by the Contract Documents, ITLLC will pay the Prevailing Wages then in effect for the Project and will submit Certified Payroll Reports in a timely manner.

EXCLUSIONS:

The following items are excluded from ITLLC's above Pricing and Scope of Services / Responsibilities stated in this Proposal. These items, if necessary, applicable or otherwise required, shall be furnished by Customer, at Customer's direction and at no cost to ITLLC or may, upon mutual agreement in writing between ITLLC and Customer, be provided by ITLLC at an additional cost:

1. Permits, licenses and construction easements.
2. Manual operation of any pumping and/or metering stations.
3. Environmental/erosion controls (i.e., hay bales, silt fence etc.) that may be required adjacent to manholes, access points and/or water supply hose.
4. Access to and use of fire hydrants and/or sufficient water supply (within 500 ft. of the installation site) to complete flushing and CIPP installation.
5. Burial and/or raming of discharge or bypass hose/pipe.
6. External service reconnections.
7. Traffic control, including without limitation, police details, flagmen and special traffic control setups.
8. Obstruction removal (calcium, concrete, mineral deposits, roots, etc.) and/or protruding tap removal.
9. Point repairs.
10. Bypassing of services or laterals.
11. Repair of pipe damaged during any industry standard high-pressure jet cleaning operations, preparation or lining and any subsequent cleaning necessary to remove debris that has fallen into the pipe as a result of any such collapse or repair.
12. Directives setting forth which service connections must be reinstated prior to final CCTV inspection.
13. Locations of and access (of ITLLC equipment and/or personnel) to all manholes associated with the project and as required by ITLLC's work plan.
14. Equivalent pipe diameter access from the invert to the street level. This may include removal of the frame, cover and/or cone section of the liner installation manhole(s) such that the opening at the street level is no less than equivalent to the pipe diameter.
15. Payment and Performance bonds. If payment and performance bonds are required, add 2.5% to the total Project cost.
16. Removal and disposal of any hazardous or toxic materials encountered during the Project.
17. Holiday work, rush delivery or adverse weather work (as defined by ITLLC).
18. Complete independent testing of liner samples from each installation. Will be provided if required per specifications.
19. Certified Professional Engineer stamped designs. Will be provided if required in specifications.
20. State and local sales and/or use taxes.
21. Additional premiums for special insurance coverage(s) specific to this project.

GENERAL TERMS AND CONDITIONS:

1. ITLLC's Proposal is conditioned and shall adhere to the General Terms and Conditions written in the City of Daytona Beach Contract #0118-2600.

The information contained in this letter is proprietary to Insituform Technologies, LLC. and shall be retained by the recipient in confidence and shall not be published or otherwise disclosed to third parties without the express written consent of Insituform Technologies, LLC. The foregoing shall not preclude the use of any data which (i) was in its possession without restriction as to use prior to receipt as proprietary of the same or similar data from Insituform Technologies, LLC., (ii) is or becomes available from a public source on or

after such receipt from Insituform Technologies, LLC. or (iii) is obtained by the recipient from a third party not under obligation of confidentiality or other restriction with respect to use.

Please do not hesitate to contact me with any further questions.

Very truly yours,

Insituform Technologies, LLC.

Dave Raymond

Dave Raymond
Business Development Manager

Accepted By: _____
(signed)

(print name)

Date: _____

Title: _____

CONTRACT NO. 2021-04

**FIRST AMENDMENT TO LETTER AGREEMENT FOR
CURED IN PLACE PIPE SERVICE
BETWEEN INSITUFORM TECHNOLOGIES, LLC, AND
CITY OF BUNNELL, FLORIDA**

THIS FIRST AMENDMENT is made on this 8th day of March, 2021 to that certain Letter Agreement ("Agreement") entered into by and between Insituform Technologies, LLC, a foreign limited liability company authorized to do business in the State of Florida, ("Contractor"), 6966 Business Park Blvd., Jacksonville, FL 32256, and the City of Bunnell ("City of Bunnell"), a municipal corporation organized and existing under the laws of the State of Florida, whose address is 201 West Moody Boulevard, Bunnell, Florida 32110, effective as of March 23, 2020.

WHEREAS, Contractor executed a Cured in Place Pipe Lining Services Contract No 0118-2600 ("Contract") with the City of Daytona Beach, Florida effective on September 19, 2020; and

WHEREAS, City of Daytona Beach is a local government unit in the State of Florida and functions as a municipal corporation; and

WHEREAS, Section 163.01, Florida Statutes, also referred to as the Florida Interlocal Cooperation Act, permits local governments to cooperate with other localities, on the basis of mutual advantage; and

WHEREAS, the City of Bunnell was and continues to be in need of cured in place pipe services similar to the services Contractor was and continues to provide City of Daytona Beach, which would allow compliance with regulations of the Florida Department of Environmental Protection (FDEP) and the US Environmental Protection Agency (EPA); and

WHEREAS, Section 2-118(b) of the City of Bunnell Code of Ordinances provides that when it is in the best interest of the City, the City may cooperatively purchase from any other government agency, which has competitively bid and awarded any contract for any product or service at the awarded price, if the original bid specifications and award allow it and if the other governmental agency's procurement complies with the City of Bunnell's competitive bid policy; and

WHEREAS, the Bunnell City Commission found Contract No.0118-2600 was competitively bid by City of Daytona Beach with procedural guarantees of fairness and competitiveness equivalent to those of the City of Bunnell; 2) the Contractor authorized the City of Bunnell to "piggyback" on the competitive pricing provided to City of Daytona Beach in Contract No. 0118-2600; and 3) it was in the best interest of the residents of the City of Bunnell to enter into an agreement with Contractor containing similar terms and conditions as contained Contract No. 0118-2600; and

WHEREAS, the parties agreed and consented to "piggyback" on the rates/prices and

terms and conditions in Contract No. 0118-2600, including all attachments, addenda, unit prices, and all other applicable documents; and

WHEREAS, although the term of the executed Agreement was due to expire on September 18, 2020, the Agreement also includes an option for the City to extend the term for 4 additional 1-year periods; and

WHEREAS, due to Contractors past performance, the City desires to exercise the second of four options to extend the term of the Agreement for an additional year.

NOW THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

1. **Incorporation by Reference.** The foregoing WHEREAS clauses are incorporated by reference.

2. **Term.** The term of the Agreement between the parties is hereby extended to February 5, 2022 by this First Amendment.

3. **Effective Date.** This amendment shall be effective as of February 6, 2021.

IN WITNESS WHEREOF, the parties hereto have executed and delivered this instrument on the days and year indicated below and the signatories below to bind the parties set forth herein.

INSITUFORM TECHNOLOGIES, LLC

Diane Partridge

Print Name: Diane Partridge

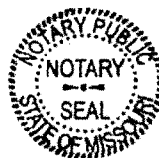
Title: Contracting and Attesting Officer

STATE OF MISSOURI
COUNTY OF ST. LOUIS

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 16 day of February, 2021, by Diane Partridge of ^{Institutorm} ~~Technologies, LLC~~, a ^{Delaware} ~~Florida~~ corporation, on behalf of the corporation, and he/she is personally known to me or has produced (type of identification) as identification.

Jana Lause
Signature of Notary Public - State of ~~Florida~~ Missouri

Printed/Typed/Stamped Name of Notary
My commission expires: Dec.5 2021



JANA LAUSE
My Commission Expires
December 5, 2021
St. Louis County
Commission # 13805615



CITY OF BUNNELL

Catherine D. Robinson
Catherine D. Robinson, Mayor

Date: March ⁸~~22~~ 2021

ATTEST:

K. Bates
Kristen Bates, City Clerk

Approved as to Legal Form

Nancy Howard
Vose Law Firm, City Attorney



THE CITY OF DAYTONA BEACH
OFFICE OF THE PURCHASING AGENT

Post Office Box 2451
Daytona Beach, Florida 32115-2451

Phone (386) 671-8080
Fax (386) 671-8085

RENEWAL OF CONTRACT

November 12, 2020

EMAIL
dpartridge@aegion.com

Insituform Technologies, LLC
Diane Partridge
17988 Edison Avenue
Chesterfield, MO 63005

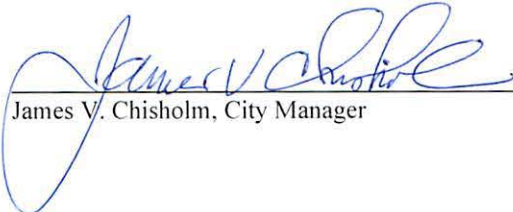
Re: Renewal of 0118-2600
Cured-In-Place Pipe (CIPP)

Dear Diane Partridge:

Insituform Technologies, LLC is currently providing Cured-In-Place Pipe (CIPP) to the City of Daytona Beach under an agreement entered into by the two parties by the above referenced bid. Section 8 of the contract allows the City the option to renew for up to 4 additional one year terms by providing the Contractor written notice at least 60 days before the end of the current term.

The City of Daytona Beach desires to exercise the second of four renewal options to have this service continued by Insituform Technologies, LLC for the period effective 2/6/2021 through 2/5/2022 under the same terms and conditions.

THE CITY OF DAYTONA BEACH


James V. Chisholm, City Manager

11/20/20
Date

926/10

**GENERAL SERVICES CONTRACT
CONTRACT NO. 0118-2600**

THE PARTIES TO THIS CONTRACT are the City of Daytona Beach, a Florida municipal corporation (the "City"), and Insituform Technologies, LLC, a foreign limited liability company ("Contractor").

In consideration of the mutual covenants herein contained, the Parties agree as follows:

Section 1. Scope of Services. Contractor will provide Cured in Place Pipe Lining and associated services as further described in **Exhibit A**, attached hereto and incorporated herein, to the City from time to time at the direction of the City during the Term of this Contract.

Section 2. Services Must Be Authorized in Writing. This Contract, in and of itself, does not require the Contractor to perform any services or obligate the City to pay for any services rendered. No services will be provided under this Contract, and no payment obligation will arise for performance of services, except when specifically authorized by work authorization issued in accordance with the City's procurement policies. A work authorization may consist of a contract document signed by both the City and Contractor; or it may consist of Contractor's written quotation/proposal, identifying the work to be performed and the Fees for such work as established below; and the City's purchase order issued in response to and accepting the proposal. No work authorization may alter the terms and conditions of this Contract. In case of a conflict with a work authorization this Contract will govern. The work authorization may provide more detailed parameters for the services to be provided, such as deliverables, deadlines, and required conditions for payment of Fees, consistent with the provisions of this Contract.

Section 3. Fee(s). For the services provided under this Contract, City will pay Contractor Fees based upon the Fee/Rate Schedule attached hereto as **Exhibit B**.

The Fees described in **Exhibit B** will be Contractor's sole compensation for the services to be provided. Except for any reimbursable expenses specifically authorized by Exhibit, Contractor will be solely responsible for all of costs Contractor incurs in meeting its obligations herein.

Section 4. Billing; Manner of Payment. In addition to requirements for payment established by applicable federal, state, or local law including the City Code, payment terms are as follows:

(a) Unless provided otherwise herein, the City will pay 30 days after receipt of a valid invoice or receipt of goods or services, whichever is later.

(b) In order to be considered to be valid, an invoice must include all information that the City needs to verify the accuracy of the invoice and the amount of payment due based on the specific requirements of this Contract, such as where partial payments are due upon completion of specific tasks, or where payments are based on hourly rates. In

addition, where payment of reimbursable expenses is specifically provided for, an invoice for such expenses will not be valid unless sufficient documentation is provided to verify that such expenses were incurred and that other conditions have been met. In addition, where any portion of the work was performed by subcontractors, Contractor must provide proof of payment/release of subcontractors' liens except as provided in Section 12A.

(c) If an invoice submitted by Contractor is not valid, within 30 days after receipt the City will provide notice to the Contractor identifying the deficiencies.

Section 5. Standard of Performance. Contractor's services will at a minimum meet the level care and skill ordinarily used by members of Contractor's profession performing the type of services provided herein within the State of Florida.

Section 6. Relationship between Parties. This Contract does not create an employee-employer relationship between the City and Contractor. Contractor is an independent contractor of the City and will be in control of the means and the method in which the requested work is performed. As an independent contractor, Contractor will be solely responsible for payment of all federal, state and local income tax, and self-employment taxes, arising from this Contract; and Contractor agrees to indemnify and hold harmless the City from any obligations relating to such taxes. The City will not make deductions from payments due, for such taxes, or for social security, unemployment insurance, worker's compensation, or other employment or payroll taxes.

Section 7. Documents and Records.

(a) All reports, estimates, logs, original drawings, and other materials furnished, prepared or executed by Contractor during the term of and in accordance with the provisions of this Contract will be the property of the City and delivered to the City upon demand or, if no demand has previously been made, upon completion of the particular task for which such materials were prepared, executed, or otherwise required.

(b) To the extent applicable, Contractor will comply with the requirements of Florida Statutes Chapter 119, which may include the following:

(1) Keeping and maintaining public records that ordinarily and necessarily would be required by the public agency in order to perform the service provided herein.

(2) Upon the request of the City Clerk of the City (i) providing the City Clerk with a copy of requested public records, or (ii) allowing inspection or copying of public records, within a reasonable time after receipt of the City Clerk's request, at a cost that does not exceed the cost provided in Ch. 119, Florida Statutes, or as otherwise provided by law.

(3) Ensuring that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by

law until completion of the work required by a work authorization, and following such completion if Contractor fails to transfer such records to the City.

(4) Upon completion of the work required by a work authorization, keep and maintain public records required by the City to perform the service. Contractor will meet all applicable requirements for retaining public records. All records stored electronically must be provided to the City upon the request of the City Clerk, in a format that is compatible with the City's information technology systems.

IF CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTRACTOR MUST CONTACT THE CITY CLERK, WHOSE CONTACT INFORMATION IS AS FOLLOWS:

(Phone)	386 671-8023
(Email)	clerk@codb.us
(Address)	301 S. Ridgewood Avenue Daytona Beach, FL 32114

Section 8. Effective Date and Term. The Effective Date of this Contract is the date on which the last Party signs it. The Term of this Contract is one year, commencing on the Effective Date. The City will have the option to renew this Contract for up to 4 Terms of one-year each, by providing Contractor written notice. Such notice must be provided at least 60 days before the end of the current Term unless waived by Contractor.

If this Contract specifically provides that some or all of Contractor's services will be required only after issuance of a City work authorization, any work authorizations previously issued by the City will remain in effect after the expiration of this Contract unless the City terminates this Contract due to Contractor's material breach after notifying Contractor to suspend such services as provided below.

Section 9. Termination.

(a) The City may by written notice to Contractor terminate this Contract, in whole or in part, at any time, either for the City's convenience or because of the failure of the Contractor to fulfill its contractual obligations.

(1) Before terminating for convenience, City must provide Contractor at least 30 day's advance notice of termination. This Contract will terminate automatically and without need for further notice upon the expiration of the notice period.

(2) Except as provided in Section 10(a)(3), before terminating due to Contractor's material breach of its contractual obligations, City must provide Contractor prior written notice, specifying the breach and demanding Contractor remedy the breach

within 10 days of the notice, or within such longer period as may be reasonably required if the nature of the breach is that it cannot be remedied within 10 days of notice. This Contract will terminate automatically and without need for further notice if Contractor fails to remedy the material breach within the period described in the City's notice of breach.

(3) The City may terminate this Contract upon Contractor's breach without providing Contractor an opportunity to remedy the breach as referenced immediately above, if Contractor or any of Contractor's personnel, in connection with the services or rights provided herein, commit a criminal act or engage in activity that poses a material risk of injury to persons or damage to property. Such termination will be effective immediately upon providing Contractor written notice.

(b) If the termination is for convenience, Contractor will be paid compensation for authorized services performed to the date of termination. If termination is due to Contractor's material breach, the City reserves all rights and remedies it may have under law due to such breach. Among other things, the City may take over the work and prosecute the same to completion by other agreements or otherwise; and in such case, the Contractor will be liable to the City for all reasonable additional costs occasioned to the City thereby.

(c) If after notice of termination for the Contractor's failure to fulfill contractual obligations it is judicially determined by a court of law that the Contractor had not so failed, the termination will be conclusively deemed to have been effected for the City's convenience. In such event, adjustment in payment to Contractor will be made as provided in subsection (b) of this Section for a termination for convenience.

(d) The rights and remedies of City provided for in this Section are in addition and supplemental to any and all other rights and remedies provided by law or under this Contract.

Section 10. Suspension of Services. The City may suspend Contractor's services if the notice of material breach provided pursuant to Section 10(a)(2) so directs. The City may also suspend Contractor's services in lieu of termination, under the conditions set forth in Section 10(a)(3), by providing Contractor written notice of suspension. Contractor will suspend activities immediately upon receipt thereof; and in such instance Contractor's rights to provide services referenced herein will also automatically be suspended for the period of such suspension.

Section 11. Indemnification. Contractor will indemnify and hold harmless the City, including the City's officers, employees, and agents, from liabilities, damages, losses, and costs, including, but not limited to, reasonable attorneys' fees, to the extent caused by the negligence, recklessness, or intentionally wrongful conduct of Contractor, or Contractor's officers, employees, or agents, including subcontractors and other persons employed or use by Contractor in the performance of this Contract. This indemnification agreement is separate and apart from, and in no way limited by, any insurance provided pursuant to this agreement or otherwise.

Section 12. Insurance. Contractor will provide and maintain at Contractor's own expense, insurance of the kinds of coverage and in the amounts set forth in this Section. All such insurance will be primary and non-contributory with the City's own insurance. In the event any request for the performance of services presents exposures to the City not covered by the requirements set forth below, the City reserves the right to add insurance requirements that will cover such an exposure.

(a) Coverage and Amounts.

(1) Workers Compensation Insurance as required by Florida Statutes, Chapter 440, Workers' Compensation Insurance, for all employees of Contractor, employed at the site of the service or in any way connected with the work, which is the subject of this service. The insurance required by this provision will comply fully with the Florida Workers' Compensation Law and include Employers' Liability Insurance with limits of not less than \$500,000 per occurrence. Any associated or subsidiary company involved in the service must be named in the Workers' Compensation coverage. If Contractor wishes to claim an exemption from worker's compensation insurance requirements, Contractor will notify the Risk Manager in writing on Contractor's official letterhead.

(2) Liability Insurance, including (i) **Commercial general liability coverage** for operations, independent contractors, products-completed operations, broad form property damage, and personal injury on an "occurrence" basis insuring Contractor and any other interests, including but not limited to any associated or subsidiary companies involved in the work; and (ii) **Automobile Liability Insurance**, which will insure claims for damages because of bodily injury or death of any person or property damage arising out of the ownership, maintenance or use of any motor vehicle used by the Contractor in the performance of this Contract.

THE COMMERCIAL GENERAL LIABILITY INSURANCE POLICY WILL NAME THE CITY AS AN ADDITIONAL INSURED. Contractor's Commercial General Liability insurance policy shall provide coverage to Contractor, and City when required to be named as an additional insured either by endorsement or pursuant to a blanket additional insured endorsement, for those sources of liability which would be covered by the latest edition of the standard Commercial General Liability Coverage Form (ISO Form CG 00 01) without the attachment of any endorsements excluding or limiting coverage for Products/Completed Operations, Independent Contractors, Property of City in Contractor's Care, Custody or Control or Property of City on which contracted operations are being performed, Explosion, Collapse or Underground hazards (XCU Coverage, Contractual Liability or Separation of Insureds). When City is added as additional insured by endorsement, ISO Endorsements CG 20 10 and CG 20 37 or their equivalent shall be used to provide such Additional Insured status.

The limit of liability for each policy will be a combined single limit for bodily injury and property damage of no less than \$1,000,000 per occurrence. If insurance is provided

with a general aggregate, then the aggregate will be in an amount of no less than \$2,000,000. The Risk Manager may authorize lower liability limits for the automobile policy only, at the Risk Manager's sole discretion.

Unless specifically waived hereafter in writing by the Risk Manager, Contractor agrees that the insurer shall waive its rights of subrogation, if any, against the City on each of the above listed insurance coverages.

(b) Proof of Insurance. Contractor will furnish proof of insurance acceptable to the City prior to or at the time of execution of this Contract. Contractor will not commence work until all proof of such insurance has been filed with and approved by the City. Contractor will furnish evidence of all required insurance in the form of certificates of insurance which will clearly outline all hazards covered as itemized above, the amounts of insurance applicable to each hazard, the expiration dates. The certificates will also contain the following language as to cancellation:

"In the event of cancellation of this policy by the insurer or any insured, this Company will give not less than 30 days advance written notice to:

Risk Manager
The City of Daytona Beach
P.O. Box 2451
Daytona Beach, Florida 32115-2451"

If requested by the City, Contractor will furnish copies of the insurance contracts to support the certificates of insurance and the copies of said insurance must be acceptable to the City.

(c) Subcontractors' Insurance. Each of Contractor's subcontractors will be required to provide insurance in substantially similar form to the insurance required of Contractor above based on services provided.

(d) Cancellation; Replacement Required. Contractor will file replacement certificates 30 days prior to expiration or termination of the required insurance occurring prior to the acceptance of the work by the City. If a required policy is canceled without Contractor's prior knowledge Contractor will immediately notify the City immediately upon becoming aware that a required insurance coverage has been canceled for any reason, and promptly replace the canceled policy. The City expressly reserves the right to replace the canceled policy at Contractor's expense if Contractor fails to do so.

(e) Termination of Insurance. Contractor may not cancel the insurance required by this Contract until the work is completed, accepted by the City and Contractor has received written notification from the Risk Management Division of the City that Contractor may cancel the insurance required by this Contract and the date upon which the insurance may be canceled. The Risk Management Division of the City will provide such written notification at the request of Contractor if the request is made no earlier than two weeks before the work is to be completed.

(f) Liabilities Unaffected. Contractor's liabilities under this Contract will survive and not be terminated, reduced or otherwise limited by any expiration or termination of insurance coverages. Similarly, Contractor's liabilities under this Contract will not be limited to the extent of by the existence of any exclusions or limitations in insurance coverages, or by Contractor's failure to obtain insurance coverage.

Contractor will not be relieved from responsibility to provide required insurance by any failure of the City to demand such coverage, or by City's approval of a policy submitted by Contractor that does not meet the requirements of this Contract.

Section 12A. Bonds. Contractor will be required to provide payment and performance bonds on a per project basis, which will each be equal to 100% of the value of any Work Authorization issued exceeding \$100,000.00 prior to commencing the referenced work.

The surety company executing the bonds must be authorized to do business in the State of Florida and must be listed by the United States Treasury Department as being approved for writing bonds for federal projects on its current list in an amount not less than the required bond amount. The form of the bond must be approved by the City and must be accompanied by sufficient evidence of the authority of the issuing agent. The bonds must otherwise comply with the requirements of F.S. § 255.05.

In lieu of the required bonds, Contractor may provide an alternative form of security as specified in F.S. § 255.05(7) upon the City's approval. Any bonds used to comply with this Section must be in the form provided by the City; and Contractor must record the executed bonds and provide the City certified copies of the recorded documents before commencing work. Upon Contractor's (i) execution and recordation of payment and performance bonds complying with the foregoing provisions; and (ii) furnishing to the City a certified copy of the recorded bonds, proof of payment of Contractor's subcontractors and suppliers will not be required as a condition of making a required payment to Contractor; and to the extent that the General Conditions provide otherwise the General Conditions are superseded.

Section 13. Notice. Unless otherwise expressly agreed herein, all notices, requests, and demands to or upon the Parties will be delivered by hand, delivered by a courier service, provided to a nationally recognized delivery service for overnight delivery, transmitted to a receiving fax machine followed by hard copy within two days, or by U.S. mail, postage prepaid by registered or certified mail, return receipt requested, to the addresses set forth herein:

To the City:
Eric Smith, Engineer II
Daytona Beach Utilities
125 Basin St., Suite 100
Daytona Beach, FL 32114
Fax: 386-671-8502

To Contractor:
Insituform Technologies, LLC
Attn: Diane Partridge, Contracting and Attesting Officer
17988 Edison Avenue
Chesterfield, MO 63005
Fax: (636) 530-8701

provided, however, that either Party may change the person or address designated for receipt of the Party's notices, by providing written notice to the other Party.

Section 14. Personnel. In order to induce the City into entering this Contract, Contractor represents that Brandt Curvel, Project Manager; Al Yeomans, General Superintendent; and Jason Burnell, Field Superintendent will generally perform or directly supervise the tasks assigned to Contractor herein, and that Contractor will not replace the named individuals without the City's prior written approval. Contractor represents that Contractor has or will secure at Contractor's own expense, all personnel required in performing the services under this Contract. Such personnel will not be employees of or have any contractual relationship with the City.

All personnel engaged in the work will be fully qualified and will be authorized under state and local law to perform such services.

Section 15. City's Responsibilities. The City agrees to make available for review and use by the Contractor, reports, studies, and data relating to the services required. The City will establish a project manager to meet periodically with the Contractor to facilitate coordination and ensure expeditious review of work product.

Section 16. Limitation on Waivers. Neither the City's review, approval, or acceptance of, or payment for, any of the services provided by Contractor, will be construed to operate as a waiver of the City's rights under this Contract. Contractor will be and always remain liable to the City in accordance with applicable law for any and all damages to the City caused by the Contractor's negligent or wrongful provision of any of the services furnished under this Contract.

Failure of the City to exercise any right or option arising out of a breach of this Contract will not be deemed a waiver of any right or option with respect to any subsequent or different breach, or the continuance of any existing breach. Furthermore, the failure of the City at any time to insist upon strict performance of any condition, promise, agreement or understanding set forth herein will not be construed as a waiver or relinquishment of the City's right to insist upon strict performance of the same condition, promise, agreement or understanding at a future time.

Section 17. Dispute Resolution.

If a dispute exists concerning this Contract, the Parties agree to use the following procedure prior to pursuing any judicial remedies.

(a) Negotiations. A Party will request in writing that a meeting be held between representatives of each Party within 14 calendar days of the request or such later date that the Parties may agree to. Each Party will attend and will include, at a minimum, a senior level decision maker (an owner, officer, or employee of each organization) empowered to negotiate on behalf of their organization. The purpose of this meeting is to negotiate in the matters constituting the dispute in good faith. The Parties may mutually agree in writing to waive this step and proceed directly to mediation as described below.

(b) Non-Binding Mediation. Mediation is a forum in which an impartial person, the mediator, facilitates communication between parties to promote reconciliation, settlement, or understanding among them. Within 30 days after the procedure described in Subsection (a) proves unsuccessful or the Parties mutually waive the subsection (a) procedure, the Parties will submit to a non-binding mediation. The mediation, at a minimum, will provide for (i) conducting an on-site investigation, if appropriate, by the mediator for fact gathering purposes, (ii) a meeting of all Parties for the exchange of points of view and (iii) separate meetings between the mediator and each Party to the dispute for the formulation of resolution alternatives. The Parties will select a mediator trained in mediation skills and certified to mediate by the Florida Bar, to assist with resolution of the dispute. The Parties will act in good faith in the selection of the mediator and give consideration to qualified individuals nominated to act as mediator. Nothing in this Contract prevents the Parties from relying on the skills of a person who also is trained in the subject matter of the dispute or a contract interpretation expert. Each Party will attend and will include, at a minimum, a senior level decision maker (an owner, officer, or employee of each organization) empowered to negotiate on behalf of their organization.

If the Parties fail to reach a resolution of the dispute through mediation, then the Parties are released to pursue any judicial remedies available to them.

Section 18. General Terms and Conditions.

(a) Amendments. Except as otherwise provided herein, no change or modification of this Contract will be valid unless the same is in writing and signed by both Parties.

(b) Assignments and Subcontracting. No assignment or subcontracting will be permitted without the City's written approval.

(c) Compliance with Laws and Regulations. In providing all services pursuant to this Contract, Contractor will abide by all federal, state, and local statutes, ordinances, rules, and regulations pertaining to, or regulating the provisions of, such services including those now in effect and hereafter adopted; including, but not limited to, Occupational Safety and Health Administration's (OSHA) Excavation Safety Standard, 29 C.F.R.s 1926.650 Sub Part P, and the Trench Safety Act, Florida Statutes Section 553.60 *et seq.*

For purposes herein, the aforementioned laws and regulations include the current stormwater permit issued to the City pursuant to the National Pollutant Discharge Elimination System (NPDES) program, a copy of which will be made available upon request.

Any violation of said statutes, ordinances, rules, or regulations will constitute a material breach of this Contract and will entitle the City to terminate this Contract immediately upon delivery of written notice of termination to the Contractor.

(d) Truth in Negotiations Certificate. Contractor hereby certifies that the wages and other factual unit costs supporting the compensation herein are accurate, complete, and current at the time of this Contract.

(e) No Third Party Beneficiaries. There are no third party beneficiaries of Contractor's services under this Contract.

(f) Contingency Fee. Contractor warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for Contractor, to solicit or secure this Contract and that it has not paid or agreed to pay any person, company, corporation, individual or firm, other than a bona fide employee working solely for Contractor, any fee, commission, percentage, gift, or any other consideration, contingent upon or resulting from the award or making of this Contract.

(g) Nondiscrimination. Contractor will not discriminate against any employee or applicant for employment because of race, color, sex, or national origin. Contractor will take affirmative action to ensure that applicants are employed and the employees are treated during employment without regard to their sex, race, creed, color, or national origin. Further, Contractor agrees to comply with all local, state, and federal laws and ordinances regarding discrimination in employment against any individual on the basis of race, color, religion, sex, national origin, physical or mental impairment, or age. In particular, Contractor agrees to comply with the provisions of Title 7 of the Civil Rights Act of 1964, as amended, and applicable executive orders including, but not limited to, Executive Order No. 11246.

(h) Principles in Construing Contract. This Contract will be governed by and construed in accordance with the laws of the State of Florida. Captions and paragraph headings used herein are for convenience only, are not a part of this Contract and will not be deemed to limit or alter any provisions hereof or to be relevant in construing this Contract. The use of any gender herein will be deemed to be or include the other genders, and the use of the singular herein will be deemed to be or include the plural (and vice versa), wherever appropriate. If any word, phrase, clause, sentence or provision of the Contract, or the application of same to any person or set of circumstances is for any reason held to be unconstitutional, invalid or unenforceable, that finding will only effect such word, phrase, clause, sentence or provision, and such finding will not affect the remaining portions of this Contract; this being the intent of the Parties in entering into the Contract; and all provisions of the Contract are declared to be severable for this purpose.

(i) **Venue.** The exclusive venue for any litigation arising out of this Contract will be Volusia County, Florida if in state court, or the U.S. District Court, Middle District of Florida if in federal court.

(j) **Litigation Costs.** Except where specifically provided herein, in case of litigation between the Parties concerning this Contract, each party will bear all of its litigation costs, including attorney's fees.

(k) **Force Majeure.** A force majeure event is an act of God or of the public enemy, riots, civil commotion, war, acts of government or government immobility (whether federal, state, or local) fire, flood, epidemic, quarantine restriction, strike, freight embargo, or unusually severe weather; provided, however, that no event or occurrence will be deemed to be a force majeure event unless the failure to perform is beyond the control and without any fault or negligence of the Party charged with performing or that Party's officers, employees, or agents. Whenever this Contract imposes a deadline for performing upon a Party, the deadline will be extended by one day for each day that a Force Majeure event prevents the Party from performing; provided, however, that the Party charged with performing and claiming delay due to a Force Majeure event will promptly notify the other Party of the Event and will use its best efforts to minimize any resulting delay.

(l) **Jury Trial Waived.** THE PARTIES HEREBY WAIVE THEIR RESPECTIVE RIGHTS TO A JURY TRIAL OF ANY CLAIM OR CAUSE OF ACTION BASED UPON OR ARISING OUT OF THIS CONTRACT, OR ANY DEALINGS BETWEEN THE PARTIES. THE SCOPE OF THIS WAIVER IS INTENDED TO BE ALL ENCOMPASSING OF ANY DISPUTES BETWEEN THE PARTIES THAT MAY BE FILED IN ANY COURT AND THAT RELATE TO THE SUBJECT MATTER, INCLUDING WITHOUT LIMITATION, CONTRACT CLAIMS, TORT CLAIMS, BREACH OF DUTY CLAIMS AND ALL OTHER COMMON LAW AND STATUTORY CLAIMS.

(m) **Authority to Bind Contractor.** The undersigned representative of Contractor represents and warrants the he or she is fully authorized to bind Contractor to the terms and conditions of this Contract.

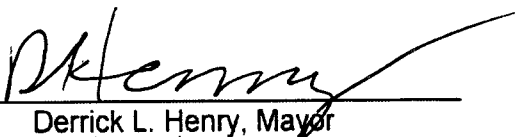
(n) **Incorporation of RFP and Proposal.** The City's Request for Proposals 0118-2600, and the Contractor's responsive proposal are incorporated herein by reference as **Composite Exhibit C** and will remain on file in the Office of the Purchasing Agent. In case of conflicts between the RFP and Proposal, the RFP will govern. In case of conflicts between **Composite Exhibit C** and other provisions of this Contract, including **Exhibits A and B**, this Contract will govern.


(o) **Integration.** This Contract represents the entire agreement of the parties with respect to the subject matter hereof. No representations, warranties, inducements or oral agreements have been made by either Party except as expressly set forth herein, or in other contemporaneous written agreements.

IN WITNESS WHEREOF, the Parties through their undersigned representatives have caused this Contract to be executed in duplicate original.

THE CITY

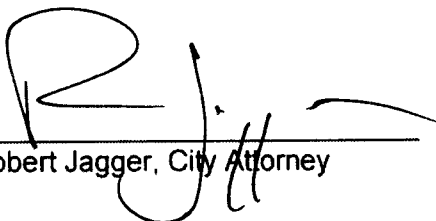
CONTRACTOR

By: 
Derrick L. Henry, Mayor
Date: 9/19/19

By: 
Printed Name: Diane Partridge
Title: Contracting and Attesting Officer
Date: January 3, 2019

Attest: 
Letitia LaMagna, City Clerk

Approved as to legal form:

By: 
Robert Jagger, City Attorney

INSITUFORM TECHNOLOGIES, LLC
PRESIDENT APPOINTMENT OF
CONTRACTING AND ATTESTING OFFICERS

The undersigned, being the President of Insituform Technologies, LLC, a Delaware Limited Liability Company (the "Company"), and pursuant to the authority set forth in the Limited Liability Company Operating Agreement of the Company, hereby determines that:

1. Christlanda Adkins, Laura M. Andreski, Janet Hass, Jana Lause, Diane Partridge, Whitney Schulte, and Ursula Youngblood are appointed as Contracting and Attesting Officers of the Company, each with the authority, individually and in the absence of the others, subject to the control of the Board of Managers of the Company, to: (i) certify and attest to the signature of any officer of the Company; (ii) enter into and bind the Company to perform pipeline rehabilitation activities of the Company and all matters related thereto, including the maintenance of one or more offices and facilities of the Company; (iii) execute and to deliver documents on behalf of the Company; and (iv) take such other action as is or may be necessary and appropriate to carry out the project, activities and work of the Company.
2. Any person previously appointed or serving as a Contracting and Attesting Officer of the Company prior to the date hereof and who is not named above is hereby removed from any such appointment.

Dated: December 1, 2018



Charles R. Gordon
President

EXHIBIT A SCOPE OF WORK

I. General

The CITY requires professional Cured In Place Pipe (CIPP) rehabilitation services for sanitary sewer gravity mains and oval and round stormwater mains (8" – 72" diameter) on a continuing annual contract basis. Quantities listed are estimated for proposal purposes based on work projections and are subject to change. The term of the agreement will be for a period of one (1) year with an option to extend the agreement for four (4) additional one-year terms upon mutual agreement for the same prices and at the same terms and conditions. The contract shall not exceed five (5) years.

II. Summary of Work

The CONTRACTOR shall provide all work required for a completed project including but not necessarily limited to labor, supervision, traffic control, materials, equipment, installation, onsite material test samples showing compliance with manufacturer's recommended material, handling and incidentals required for the rehabilitation of various sized sanitary sewer gravity mains and oval and round stormwater mains with resin impregnated cured-in-place pipe (CIPP) in accordance with American Society for Testing and Materials (ASTM) ~~standard F-1216-09~~ Designation F1216-16 and all applicable CITY, manufacturer and industry preferred standards. The CONTRACTOR shall provide professional advice to CITY on the most cost-effective and efficient approach to resolve all challenges encountered during the performance of the work. Work assigned under this contract may include, but is not limited to, the following types of projects:

- Stormwater main and sanitary sewer main cleaning
- Stormwater main and sanitary sewer main pre- and post- work video inspections
- Easement access
- Maintenance of Traffic (MOT)
- Isolation and by-pass pumping
- Cured-In Place Pipe reconstruction
- Chemical and physical product testing
- Hydraulic capacity testing
- Reinstatement of services and pressure grouting
- Erosion and sediment control
- Site restoration

III. Product Performance

A. Lining

Standard lining products meeting product specifications outline in ASTM Designation: F1216-16 (Attachment A) are intended to have a 50-year design life and in order to minimize CITY's risk. Only proven products with substantial successful long-term track records will be approved. All thicknesses expressed on the Bid Item Schedule are the finished thicknesses of the liner after curing.

B. Equipment/Vehicles

All CONTRACTOR/sub-contractor equipment shall be sufficient in size and number for work to be performed in a timely manner under this contract. All CONTRACTOR/sub-contractor equipment shall be maintained in good operating condition. The CITY reserves the right to reject any equipment deemed unsafe or insufficient in size and/or number to perform work under this contract. It shall be the sole responsibility of the CONTRACTOR/sub-contractor to replace rejected equipment in a timely manner and at no cost to the CITY. All equipment shall be equipped at a minimum with manufacturer's recommended sound muffling devices that will reduce noise levels to the State or Federal acceptable limit for residential neighborhoods.

IV. Materials

A. All materials specified by name, brand or manufacturer shall be delivered to the job site in original containers. CONTRACTOR shall obtain printed instruction and special bulletins for the manufacturer-recommended safety precautions. CONTRACTOR/sub-contractor personnel will have copies of the manufacturer-recommended safety precautions available at the work site to ensure all work is performed in a safe manner.

B. The CONTRACTOR shall use potable water from the CITY for the project. The CONTRACTOR must obtain a construction hydrant water meter and all appropriate fees paid prior to the start of work. The CONTRACTOR will be responsible for paying for all potable water used at standard CITY rates.

VII. Contractor Responsibilities

A. Backflow Prevention: The CONTRACTOR will properly install an approved backflow prevention device in-line to the fresh water fill line of all jetting and/or vacuum equipment

B. Staffing: The CONTRACTOR shall employ adequate staff to perform the services required, including but not limited to Project Representative, Project Manager, Field Supervisor and Senior Foreman. CONTRACTOR shall provide staff who are proficient and experienced in all phases of services required.

C. Site Assessment: The CONTRACTOR shall visit each site to assess site conditions including confirmation of the actual footage, material type and diameters and incorporate those findings in their initial cost and work proposal.

D. Vehicle Identification: The CONTRACTOR shall ensure that employee's vehicles display company logo on the side doors and company phone numbers. The CONTRACTOR will not permit personal vehicles to be parked at the job site.

E. License and Confined Space: The CONTRACTOR shall be a licensed CONTRACTOR for the provision of these services in the State of Florida with full service

offices in the State of Florida for the provision these services.

F. Cleaning of Stormwater Main and Sewer Lines: The CONTRACTOR shall remove and properly dispose of all debris from the inside of manholes, stormwater mains and/or sewer lines and provide a sufficiently dry interior environment that will not interfere with the installation's expected working life of a durable CIPP liner per the manufacturer's requirements.

G. Bypassing Stormwater and Sewage: The CONTRACTOR shall provide for the flow of stormwater and sewage around the sections of pipe designated for reconstruction. The CONTRACTOR shall make the bypass by plugging the line at an existing upstream manhole and pumping the flow into a downstream manhole by way of restrained watertight pipe. The CONTRACTOR will provide pump(s) and bypass lines of adequate capacity and size to handle the average daily flow. The CONTRACTOR'S backup bypass pump(s) will be adequately sized and with full operational capabilities and will be on site at all times of by-pass pumping. The CONTRACTOR shall be responsible for all traffic control during operations and bypass pumping.

H. TV & Inspection of Pipelines: The CONTRACTOR will inspect pipelines using experienced personnel trained in locating breaks, obstacles and service connections by closed circuit television. The CONTRACTOR will carefully inspect the interior of the pipeline to determine the location of any conditions which may prevent proper installation of CIPP into the pipeline; the CONTRACTOR will notify the City so that these conditions can be corrected. The CONTRACTOR shall review all questionable host pipe areas with the CITY and provide advice on remedies to correct them. The CONTRACTOR will maintain a video and suitable log for later reference by the CITY. The CONTRACTOR will perform the post-construction inspection and will provide a video DVD and log to the CITY. The CONTRACTOR will ensure that all video inspection are witnessed by a CITY representative as it is being performed. The CONTRACTOR will include the cost of video inspection in the contract line items.

I. Manhole/Liner Interface: The CONTRACTOR shall make a watertight seal at the interface where the liner/host pipe meets the manhole or other attachment point. The CONTRACTOR'S removal of CIPP liner from areas where line placement was elected in lieu of resetting equipment shall be incidental to the placement of the CIPP.

J. Service Reconnection: Service reconnection refers to the reinstatement of the house service connection at the sewer main after the installation of trenchless pipe reconnection system. The CONTRACTOR will accomplish this from within the sewer main via a remote controlled cutting device.

K. Service with Pressure Grouting: The CONTRACTOR will pressure grout the service wye after mainline has been rehabilitated and service line re-instated. The CONTRACTOR will use a non-shrinking chemical grout (Avanti 118/101 or Cues Quickseal 105 are acceptable). The CONTRACTOR shall provide trenchless reconstruction of service laterals and main line sewers. The CONTRACTOR shall perform services including but not limited to televised inspection, data collection, system flow analysis and pipeline reconstruction in accordance with ASTM Designation F2454-05, attached as Attachment B.

L. Safety and Worksite Control: The CONTRACTOR will provide services that include safety measures for both their workers and the public. The CONTRACTOR is completely responsible for the control of the environment of the work site during on-site operations including implementation, operation, maintenance and tear down of traffic control systems. The CONTRACTOR will take all precautions to protect the workers, public the CITY staff from the exposure to harmful or hazardous situations and substances within the stormwater and sewer systems.

M. Waste Materials: The CONTRACTOR will dispose all waste materials and shall transport waste materials to the nearest CITY Wastewater Treatment Plant for processing. The CONTRACTOR will obtain CITY approval of all waste material disposal schedules. The CONTRACTOR shall clean up all waste material spills and clean-up required due to the loading, hauling and unloading of the CONTRACTOR's equipment.

The CONTRACTOR shall conform to any and all requirements regarding hauling and disposal of waste from each work site in accordance with OSHA regulations and those that may be mandated by federal, state or local governments. The CONTRACTOR shall ensure that all waste material transporters possess all required federal, state and local regulations, including but without limitation, 40 CFR Part 263, "Standards Applicable to Transporters of Hazardous Waste" and Chapter 17-730, Part 3, Florida Administrative Code, as may be amended from time to time.

N. Curing Water: The CONTRACTOR will pay for all costs associated with disposal of curing water in accordance with CITY, State and Federal regulations.

O. TV Inspection Report: The CONTRACTOR will prepare and submit a report of each TV inspection and analysis to the CITY for review. The CITY shall consult with the CONTRACTOR and finalize the scope of work.

P. Schedule Coordination: The CONTRACTOR shall inform the CITY of its planned work schedules two weeks in advance of performing the work and provide the CITY reasonable opportunity to observe and inspect the work. The CONTRACTOR will advise the CITY of all schedule changes and notified when a work site is to be left for a 24-hour period when work is not complete.

Q. Rights of Various Interests: Wherever work being done by the City's forces or by other contractors is contiguous to Work covered by this Contract, the respective rights of the various interests involved shall be established by the City to secure the completion of the various portions of the work in general harmony.

R. Separate Contracts: The City reserves the right to let other contracts in connection with this work. Contractor shall afford other contractors reasonable opportunity for the introduction and storage of their materials and the execution of their work, and shall properly connect and coordinate Contractor's work with theirs.

S. Patent Fees and Royalties: CONTRACTOR will be responsible at all times for compliance with applicable patents and copyrights encompassing, in whole or in part, any design, device, material, or process utilized, directly or indirectly, in the performance of the work or the formulation or presentation of its bid. CONTRACTOR will

pay all royalties and license fees and will provide, prior to commencement of a Project hereunder and at all times during the performance of same, for lawful use of any design, device, material or process covered by letters, patent or copyright by suitable legal agreement with the patentee, copyright holder, or their duly authorized representative whether or not the OWNER specifies a particular design, device, material, or process. CONTRACTOR will defend all suits or claims for infringement of any patent or copyright and will save the OWNER harmless from any loss or liability, direct or indirect, arising with respect to CONTRACTOR's process in the formulation of its Bid or the performance of the Work or otherwise arising in connection therewith. The OWNER will have the right to stop the Work or terminate this Contract at any time if CONTRACTOR fails to disclose to the OWNER that CONTRACTOR's work methodology includes the use of any infringing design, device, material, or process.

VIII. Contractor / Sub-contractor Employee Conduct and Appearance

A. Conduct:

1. CONTRACTOR and sub-contractors shall follow all applicable industry standards, federal, state, and local laws/ordinances as related to described work.
2. CONTRACTOR'S on-site employees shall all have current confined space entry certification.
3. The CONTRACTOR will remove any employee or sub-contractor employee reporting to a work site under the influence and/or smelling of alcohol from the work site. CONTRACTOR will immediately replace the employee in a timely manner and at no cost to the CITY.
4. The CONTRACTOR will provide trained supervision at the work site to ensure work is performed in a safe manner.
5. The CONTRACTOR shall correct any damage resulting from the negligence of CONTRACTOR or sub-contractor employee(s) to CITY property or equipment in a timely manner, to the CITY's satisfaction and at the CONTRACTOR's sole expense.

B. Appearance:

1. CONTRACTOR and sub-contractor employees assigned to work under this contract will maintain a neat, clean, and professional appearance.
2. CONTRACTOR and sub-contractor employees shall wear uniforms consisting of, at minimum, wear a work shirt identifying their company name.
3. Licenses/Permits: The CONTRACTOR will obtain all necessary municipal and other governmental licenses/permits and approvals or consent from utilities or carriers such as communications companies, electric utilities, gas utilities and/or other persons/organizations upon whose property or authority performance of work under the contract might impinge.

IX. Scope of Work General Stormwater and Sanitary Sewer Main Lining

The CONTRACTOR will be compensated for oval stormwater mains at the unit cost for the round pipe diameter that meets or exceeds the oval pipe's square feet of flow-way

area opening. Individual item quantities may be adjusted at the sole discretion of the City if necessary to compensate for unique project and site conditions.

A. Stormwater Main and Sanitary Sewer Cleaning

Scope: Work performed under this section includes removal and disposal of all dirt, roots, grease, solids, or semi-solids from stormwater mains, sanitary sewer mains and manholes as indicated on the drawings and as specified herein to the extent that video inspection, flow isolation, and manhole inspection can be performed.

1. Quality Assurance: The CONTRACTOR shall conduct cleaning operations using experienced personnel who have previously been engaged in cleaning operations of similar size and complexity to the work described herein.

2. Submittals:

a. The CONTRACTOR shall submit a Cleaning Log in a format acceptable to the CITY for the purposes of recording pertinent information relative to the stormwater main and sanitary sewer structures being cleaned. The CONTRACTOR will provide the Cleaning Log no later than 14 calendar days after the conclusion of the cleaning.

b. The CONTRACTOR will submit Material Safety Data Sheets (MSDS) for all chemical cleaning agents proposed for use under this contract no later than 14 days after the effective date of the Contract.

B. Products: The CONTRACTOR shall utilize cleaning equipment capable of removing all accumulated dirt, sand, grease, rocks and other deleterious materials and obstructions from the sanitary sewer mains and the oval and round stormwater mains. The CONTRACTOR will ensure that all equipment used for cleaning operations is designed and intended to do the type of work which is specified. The CONTRACTOR will utilize equipment which is self-contained to handle all operations, when possible. The CONTRACTOR will use equipment manufacturer that is actively engaged in the research, development and manufacturing of said equipment. The CONTRACTOR may be directed to remove equipment deemed sub-standard by the City and may be directed to replace the equipment with equipment meeting these specifications, at no additional cost to the CITY.

1. High Velocity Cleaning Equipment: The CONTRACTOR will supply all high velocity hydraulic sewer cleaning equipment mounted on trucks. The CONTRACTOR supplied equipment shall have a minimum of 500 feet of ¾ inch I.D. high pressure hose with a selection of two or more high velocity nozzles. The nozzles shall have a capacity of 30 GPM at a minimum working pressure of 1000 psi. The nozzles shall be capable of producing a scouring action from 15° to 45° in the direction of cleaning and perpendicular to the sewer axis in all size lines designated to be cleaned. The CONTRACTOR will supply a high velocity gun for washing and scouring manhole walls and floor. The gun capacity shall equal 3.5 to 27 GPM at between 200 and 800 psi. The gun shall be capable of producing flows from a fine spray to a long distance solid stream. The equipment shall carry its own 1200 gallon (minimum) water tank capable of holding corrosive or caustic cleaning, sanitizing or degreasing chemicals if required by the CITY, auxiliary engines and pumps, and hydraulically driving hose reel. All controls shall be located so that the equipment can be operated aboveground.

2. **Hydraulically Propelled Cleaning Equipment:** The CONTRACTOR will supply hydraulically propelled cleaning equipment of the movable dam type and be constructed in such a way that a portion of the dam may be collapsed at any time during the cleaning operation to protect against flooding of the storm or sewer systems. Storm/Sewer cleaning balls or other such equipment which cannot be collapsed instantly to provide an immediate unobstructed flow-way during emergency conditions will not be considered as acceptable cleaning equipment. The movable dam shall be of equal diameter as the pipe being cleaned and shall provide a flexible scraper around the outer periphery to ensure total removal of the grease or obstruction.

3. **Mechanical Cleaning Equipment:** The CONTRACTOR will provide bucket machines in pairs with each machine powered by a minimum of a 16 horsepower engine to ensure sufficient pulling power. Each machine shall be equipped with a two speed transmission and shall be able to pull at rates of 175 feet per minute in high speed. The belt clutch gear reduction shall be a combination of approximately 83 to 1 reduction in low speed and 55 to 1 in high speed. The power rodding machine shall be of a "continuous rod" type capable of holding a minimum of 750 feet of rod. The machine and rod shall be specially treated steel, designed for the purpose intended. The machine shall have a positive rod drive and produce a 2,000 pound rod pull. To ensure safe operation, the machine shall have a fully enclosed body and an automatic safety throw-out clutch or relief valve. The final pass shall be with a brush large enough to ensure that the line has been cleaned sufficiently. This brush shall be mechanically driven, with the power mechanism properly sized. The CONTRACTOR will arrange all electrical drops required by the CONTRACTOR.

4. **Capture and Removal of Debris:** The CONTRACTOR shall furnish equipment, either specialized or standard in the industry, for the purpose of preventing debris from being washed past the manhole downstream of the line segment being cleaned, and for removing the debris from the manhole before any damage is caused to the system performance and or system equipment such as pump/lift stations, check valves, flow-ways, etc. The CONTRACTOR will bear the cost of all system down-time and repairs to restore operational status resulting from construction debris damage that in the CITY's opinion was reasonably preventable.

5. **Water Metering Requirements:** The CONTRACTOR will access CITY water via fire hydrants equipped with hydrant meters for cleaning, inversion and other work items requiring water. All costs incurred in obtaining and delivering the potable water shall be borne by the CONTRACTOR. The CONTRACTOR will use only potable water for this work.

C. Execution:

1. **General:** These specifications provide a basis by which a stormwater main or sanitary sewer line can be cleaned of all debris so that further work can be carried out. The CONTRACTOR will clean the designated stormwater main and/or sanitary sewer lines using high velocity, hydraulically propelled or mechanically powered sewer cleaning equipment as specified. The CONTRACTOR'S selection of the equipment used shall be based on the condition of the lines at the time the work commences. The CONTRACTOR will select equipment and methods that are satisfactory to the CITY. The CONTRACTOR will accomplish the cleaning of stormwater main or sewer lines by trapping and collecting all sand, debris, grease and other materials at the next manhole downstream of the line being cleaned,

and removal and proper disposal of said materials. The CONTRACTOR'S cleaning operations may also provide a means by which the stormwater main or sewer line can be threaded, i.e., a cable inserted in the line so that the television camera may be pulled through. The CONTRACTOR will not clean upstream sections of pipe once that section of pipe has been televised and accepted as complete.

2. Site Visit: The CONTRACTOR will conduct a physical reconnaissance of the area to be cleaned in order to verify the location of known and/or accepted manholes.

3. The CONTRACTOR shall utilize a magnetic locator to attempt to identify the location of buried manhole covers and notify the CITY representative so that CITY personnel can excavate and bring the manhole up to grade prior to cleaning. Under no circumstances shall the CONTRACTOR excavate buried manholes without prior written authorization from the CITY

D. Hydraulic Cleaning Methodology:

1. High Velocity Cleaning Methodology: High velocity hydro-cleaning shall consist of cleaning and flushing of the stormwater main or sewer line by means of water pumped into the line at a high velocity. The CONTRACTOR shall accomplish cleaning using approved equipment to deliver water to a self-propelled nozzle to do the necessary cleaning and flushing. The CONTRACTOR will make as many passes as necessary to sufficiently clean the stormwater main or sewer line. The CONTRACTOR will take all precautions to protect the stormwater main or sewer line from damage that might be inflicted by the improper use of cleaning equipment.

2. Hydraulically Propelled Methodology: The CONTRACTOR will take precautions to ensure that the water does not cause damage of flooding to the public or private property being served by the manhole section involved whenever hydraulically propelled cleaning tools, which depend on water pressure to provide their cleaning force, or any tools which retard the flow of water in the stormwater main or sewer line are used.

3. Capture and Removal of Debris: The CONTRACTOR will construct a suitable weir or dam in the downstream manhole in such a manner that both the solids and water shall be trapped when hydraulic cleaning equipment is used, shall be constructed. The CONTRACTOR will pump this trapped solution using a method approved by the CITY, from the manhole into a retention chamber aboveground. The retention chamber shall contain not less than two baffles to ensure complete settlement of the solids before returning the liquid to the stormwater main or sewer line.

E. Mechanical Cleaning Methodology:

1. Rodding: The CONTRACTOR will perform cleaning by rodding with a power-driven continuous steel rod of sufficient length and gauge with the proper cleaning heads or augers, so as to loosen all solids or other materials. It shall also provide a means to thread a cable for the power winch.

2. Bucket Machine: The CONTRACTOR will remove all solids, materials and other debris by means of a clam-shell type bucket and/or other appliances dragged through the stormwater main or sewer line with power winches of suitable size and horsepower.

3. Supplemental Cleaning: The CONTRACTOR will perform a minimum of one pass using hydraulic cleaning methods after all material has been removed by mechanical cleaning, to ensure complete removal of material from the walls of the pipe. The CONTRACTOR will repair any damage to pipes.

4. Capture and Removal of Debris: The CONTRACTOR will capture debris in the downstream manhole in a manner approved in writing by the CITY, or as described above when mechanical cleaning equipment is used. .

F. Special Cleaning Requirements for Cast Iron Pipe: The CONTRACTOR will clean pipes of tuberculation, including rust build-up and mineral deposits after cleaning pipe of normal sewage deposits such as sand and grease by methods above. The CONTRACTOR may choose any equipment necessary to remove the tuberculation for pipe diameters greater than 24-inch, such as a "pig" or rodder; however, no equipment shall be used which may damage the pipe, manholes, street or downstream pump stations. The CONTRACTOR will remove all tuberculations for pipe diameters less than or equal to 24-inch, using a high pressure water blaster capable of delivering a minimum of 40 gallons per minute at a pressure of 10,000 psi. Where practical, the line shall be proofed by pulling a slip lining pulling head for the size of the pipe involved through the pipe to insure that no restrictions remain. The CONTRACTOR may choose a similar proofing device if deemed acceptable, in writing, by CITY.

G. Sanitary Sewer Manhole Modifications: The CONTRACTOR will make any modifications to manholes to facilitate cleaning which will be subject to prior written approval by the CITY. CONTRACTOR shall salvage and reuse all manhole covers and rings that are removed during sewer line and manhole rehabilitation.

H. Material Removal and Cleanup:

1. Material Removal: The CONTRACTOR will remove all sludge, dirt, sand, rocks, grease and other solid or semi-solid material resulting from the cleaning operation at the downstream manhole of the section being cleaned. Passing material from manhole section to manhole section will not be permitted. Under no circumstances will the CONTRACTOR be allowed to accumulate debris, sand, etc., on the site of work beyond the time limit approved by the CITY, except in totally enclosed containers, and only with the prior written approval of the CITY. The CONTRACTOR will remove all solids or semi-solids resulting from the cleaning operations from the site and disposed of at a location approved by the CITY.

2. Root Removal: The CONTRACTOR will remove all roots. The CONTRACTOR will give special attention during the cleaning operation to assure complete removal of roots from joints in lines and manholes. The CONTRACTOR may use chemical root treatment at the option of the CONTRACTOR.

When the CONTRACTOR uses chemicals to aid in removal of roots, the chemical shall be EPA registered and labeled for use in sewer lines and manholes and in compliance with all applicable CITY, State and Federal regulations. All material and mixing/application procedures for chemical root treatment shall be consistent with the latest standards, requirements and recommendations of the manufacturer of the chemical root

treatment material used. The CONTRACTOR shall protect waterways, ponds and other water bodies from chemical contamination.

I. Degree of Cleaning: The CONTRACTOR will remove all dirt, debris, roots and other solid and liquid materials from the sections of stormwater system or sewer system being cleaned to the extent that closed circuit television inspection can be performed. The CONTRACTOR will only perform light cleaning on all stormwater main and sanitary sewer main. A CITY representative shall define the extent of the cleaning to be performed on existing pipes included within a given work order. The level of cleaning is defined as follows:

1. **Light Cleaning:** The removal of $\frac{1}{4}$ pipe diameter depth or less of sand and/or debris from a section of pipe. The removal of roots and/or tuberculation will be paid under a separate line item.

2. **Medium Cleaning:** The removal of greater than $\frac{1}{4}$ and up to and including $\frac{1}{2}$ pipe diameter depth of sand and/or debris from a section of pipe. The removal of roots and/or tuberculation will be paid under a separate line item.

3. **Heavy Cleaning:** The removal of greater than $\frac{1}{2}$ pipe diameter depth of sand and/or debris from a section of pipe. The removal of roots and/or tuberculation will be paid under a separate line item.

J. Dewatering: When by CITY and CONTRACTOR prior inspection and agreement it is determined that the pipe cannot be cleaned due to infiltration of groundwater, and the CONTRACTOR is required to temporarily halt the infiltration of groundwater by dewatering system means, the cost shall be included in the unit prices for cleaning as an incidental cost.

K. Manhole Clean-up: Clean-up operations shall consist of cleaning all debris out of the manhole and off the ground around the manhole. The CONTRACTOR will remove all debris from the stormwater system and sanitary sewer system and shall disposed of such debris properly off site in areas provided by the CONTRACTOR at the CONTRACTOR'S expense. The CONTRACTOR will provide transportation of debris or other material by the CONTRACTOR in vehicles or equipment which contain the debris or other material in such a manner to minimize objectionable odor and avoid the possibility of dripping, spilling, scattering, leaking or blowing. The CONTRACTOR will clean up any debris or other material to the satisfaction of the CITY or other authorities having jurisdiction should spillage of debris resulting from overloading of trucks or for any other reason. The CONTRACTOR will ensure that all vehicles transporting debris or other material do not exceed the maximum allowable load limits of any road being used.

L. Restoration: The CONTRACTOR will repair all damage to public and/or private property which occurs as a direct result of the cleaning operations. The cost of restoring any damaged area to conditions prior to cleaning shall be borne by the CONTRACTOR.

M. Additional Cleaning: The CONTRACTOR will re-clean the line at no additional expense to the CITY should subsequent video inspection of cleaned stormwater main or sewers reveal that additional cleaning is required. The CONTRACTOR will provide any additional video inspection or re-setup of video equipment required due to re-cleaning at no additional expense to the CITY.

N. Pre- and Post-Work Inspections

The CONTRACTOR will video tape the stormwater main or sewer lines under the direct supervision of a CITY representative, prior to commencement of any proposed CIPP work and prior to acceptance of any completed CIPP work,. A CITY representative must be on site during the entire inspection procedure period. In the event the CONTRACTOR performs video inspection without a CITY representative present, the video will not be accepted by the CITY and must be re-done in the presence of a CITY representative. The CONTRACTOR will provide one (1) copy of the DVD video and associated video logs to the CITY prior to scheduling the post-cleaning and final inspections. CONTRACTOR shall meet with CITY staff to determine the acceptable method of repair if defects or problems are observed on the video. The CONTRACTOR will make all necessary repairs or correct the noted deficiencies at no cost to the CITY.

The CONTRACTOR will provide mandatory television inspection on all stormwater main and sewer mains that CIPP work has been performed under this contract. Only pan and tilt type cameras will be allowed. The CONTRACTOR will provide two (2) copies each of the written report and DVD video record of the inspection with audible description of run, direction, location and description of any defect or abnormality to the CITY at the time of the inspection. The video will be in color with good clarity. No black and white or poor quality videos will be accepted. The CONTRACTOR will schedule television inspection a minimum of seventy-two (72) hours in advance and a CITY representative is required to be on-site during entire length of each television inspection; otherwise the television inspection will be deemed invalid. The CONTRACTOR will clean all lines prior to videoing in accordance with Technical Specifications.

O. Maintenance of Traffic (MOT)

CONTRACTOR shall furnish all traffic control in accordance with the Florida Department of Transportation (FDOT) specifications as outlined in the "Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System" (latest edition) and the United States Department of Transportation/Federal Highway Administration (USDOT/FHWA) "Manual on Uniform Traffic Control Devices" (latest edition) for all aspects of assigned work.

CONTRACTOR shall perform all construction activity so that access to businesses can be maintained at all times and access to occupied homes can be maintained during non-working hours. The CONTRACTOR will provide written notice prior to access blockage to the blocked business/resident a minimum of forty-eight (48) hours in advance, either mailed or hand-delivered with a copy of each furnished to the CITY.

The CONTRACTOR shall maintain at least one lane of vehicular traffic at all times. The CONTRACTOR shall also provide safety barricades, business entrance signage and flag persons as required to properly maintain traffic flow. The CONTRACTOR shall prepare and submit a traffic maintenance plan for approval by the CITY prior to the start of work if directed by the CITY. The CONTRACTOR will include the cost of all work, materials and costs required for completed traffic control in the unit cost of the traffic control pay items in the pricing sheet.

P. Locates CONTRACTOR is responsible for all utility locates.

Q. Isolation and Bypass Operations

1. CONTRACTOR shall provide all isolation and bypass operations: The CONTRACTOR's objective of flow bypass and/or diversion pumping is to maintain an efficient and uninterrupted level of service to wastewater collection system and stormwater main users while maintenance or construction operations (including rehabilitation, repair or replacement) are being performed on the segment(s) being bypassed and/or from which flow is being diverted by:

- a. Ensuring that bypass and diversion pumps are adequately fueled, lubricated and maintained
- b. Ensuring backup spare parts are expeditiously applied to the flow bypass and/or diversion pumping system in the event of component breakdown.
- c. Ensure an emergency backup plan is smoothly implemented in the event of system failure.
- d. Preventing backup, spillage, flooding or overflow onto streets, yards and unpaved areas or into building, adjacent ditches, stormwater mains and waterways while flow bypass or diversion pumping takes place, and
- e. Ensuring that installation, startup and subsequent disassembly of the flow bypass and diversion pumping system is smoothly transitioned.

2. The CONTRACTOR will provide flow bypass and diversion pumping in such a manner so as not to damage private or public property, or create a nuisance or public menace. The CONTRACTOR will enclose the pumped sewage in a hose or pipe that is adequately protected from traffic and shall be redirected into the wastewater collection system. The CONTRACTOR will return flow to the sewer and will remove all temporary equipment after the work is completed. The CONTRACTOR will enclose the pumped storm water in an enclosed hose or pipe that is adequately protected from traffic and shall be redirected into the stormwater system. The CONTRACTOR shall return flow to the stormwater mains and all temporary equipment removed after the work is completed.

3. The CONTRACTOR will provide an experienced bypass/diversion pump maintenance operator/mechanic and/or deputy on site continuously to monitor the operation of the entire bypass/diversion system when pumps are operating. The operator/mechanic shall comprehensively, methodically and continuously:

- a. Adjust pump speed as appropriate so as not to adversely impact upstream or downstream flow condition levels
- b. Check that the effectiveness and security of bulkheads, dams, diaphragms, plugs, valves, weirs and all other flow control devices are working effectively and according to plan.
- c. Check the integrity of hoses and couplings along the entire bypass/diversion system.
- d. Monitor lubrication levels and top off as necessary
- e. Facilitate minor repairs as required
- f. Report to CITY on problems arising.

4. The CONTRACTOR shall plan and execute sewer flow control, bypass and diversion pumping operations. The CONTRACTOR shall be entirely liable for damages to private or public property that may result from his/her operations and for all cleanup, disinfection, damages, and resultant fines in the event of spillage, flooding or overflow.

5. The CONTRACTOR shall immediately stop the overflow and take action to clean up and disinfect the spillage in the event of accidental overflow or spillage. The CONTRACTOR shall notify the CITY immediately and in any event not less than twenty-four (24) hours following the occurrence.

The CONTRACTOR is deemed to be entirely responsible should fines be subsequently imposed as a direct result of the overflow or spillage and the CONTRACTOR shall pay such fines as are imposed by the authorities. The CITY shall pay no fine(s) where it is shown the CONTRACTOR was entirely responsible for any overflow or spillage.

6. The CONTRACTOR shall complete work as efficiently as possible without interruption once by-pass pumping is underway at any given site.

7. The CONTRACTOR will ensure the level of noise emitted from pumps is within local regulations/ordinance parameters.

R. Work Integration

1. Hours of Operation: The CONTRACTOR will conduct all work during CITY acceptable work hours (typically 7:30 a.m. to 6:00 p.m.), Monday through Friday with the exception of CITY-observed events or holidays, unless circumstances prevent such scheduling. Such circumstances may include, but are not limited to, structures with high peak flows, significant negative impact on business or schools or excessive pedestrian and vehicular traffic flow if structure is located in vehicular or pedestrian thoroughfare. In such circumstances, "off hours" work will be required. This work may include late night and/or early morning hours and weekends. Such scheduling shall be agreed upon by both the CONTRACTOR and the CITY prior to the start of work. CONTRACTOR overtime and other CONTRACTOR-related costs shall be borne by the CONTRACTOR.

2. Work Coordination: The CONTRACTOR shall coordinate all work between a single point of contact for the CONTRACTOR and the CITY designated project manager. The CONTRACTOR will conduct discussion of structure conditions before work starts and final payment based on conditions agreed to at time of commencement of work or in subsequently approved change orders.

3. The CONTRACTOR will notify the CITY a minimum of seventy-two (72) hours prior to the commencement of work in order for CITY personnel to be available for onsite activities.

S. Work Product Submittals

1. Bypass Pumping: The CONTRACTOR will provide submittals for the bypass pumping plan and those plans approved no less than two weeks prior to execution of the work. The CONTRACTOR will not mobilize prior to approval of the pumping plan.

2. Videotaping: CONTRACTOR will submit one copy of each of two video inspections; one prior to the start of work and one after CIPP lining is completed for each

project. The video shall be of *high visual quality with complete and clear annotation on screen* to trace the route of camera travel and accurately determine the pipe condition in compatibility with the route and inspection information in the condition assessment log.

T. Site Restoration

The CONTRACTOR shall restore the work site(s) on a daily basis where practical. The CONTRACTOR will clear all obstructions from roadways, sidewalks, bike paths and other public thoroughfares daily, to the largest extent possible. The CONTRACTOR will not create a public nuisance during restoration activities. The CONTRACTOR will complete all restoration activities within a minimum of fourteen (14) calendar days of work being finished in a work area. Site restoration is ancillary item for the CIPP reconstruction and shall be included in the LF cost.

U. Ordering and Payment

1. Work will be ordered by the City through delivery of a work order request e-mail that includes a due date for the work order proposal to be submitted, a brief description of the work to be done and an aerial map with a schematic detail of the pipe system. The work order request will include a request for a fee and a time for completion. The City's work order request to the Contractor is based on an annual prioritized list of projects or a request from the Field Operations staff. It may or may not include the need for special conditions such as a compressed timeframe for response and the work schedule based upon the urgency/conditions such as an impending or partial road collapse. Acceptance of the work order proposal shall be documented by issuance of a City Purchase Order. Work shall not commence until issuance of an electronic Notice to Proceed (i.e., an email) for the work order.

2. The CONTRACTOR will submit monthly invoices to the CITY inspector for review and agreement prior to submitting to the CITY project manager for final acceptance and processing of payment.

V. Mobilization Mobilization charges shall include movement of equipment and material to and from the site and other costs not included as a separate line item to commence work on a work authorization.

W. Line Reconstruction

1. Sanitary: Includes open cut and installation of SDR-26 PVC Sanitary Sewer. Furnished and Installed. Open cut and Construct Sanitary Sewer line includes all labor, materials, and equipment necessary for dewatering, excavation, sheeting, shoring bracing installation of SDR26 PVC sanitary sewer, rigid fernco connections or manhole boots as required, pipeline identification and warning tape, disposal of excess material and old pipe, suitable backfill, replacement of existing improvements, pavement repair, testing, sodding and cleanup.

2. Sanitary: Includes open cut installation of C900 Sanitary sewer. Furnished and Installed. Open cut and Construct Sanitary Sewer line includes all labor, materials, and equipment necessary for dewatering, excavation, sheeting, shoring bracing installation of C900 sanitary sewer, rigid fernco connections or manhole boots as required,

pipeline identification and warning tape, disposal of excess material and old pipe, suitable backfill, replacement of existing improvements such as connections, testing, sodding and cleanup.

3. **Stormwater:** Includes open cut installation of RCP stormwater pipeline. **Furnished and Installed.** Open cut and Construct stormwater line, includes all labor, materials, and equipment necessary for dewatering, excavation, sheeting, shoring, bracing installation of RCP stormwater pipeline identification and warning tape, disposal of excess material and old pipe, suitable backfill, replacement of existing improvements such as connections, testing, sodding, pavement repair, brick and mortar installation and any connection to a structure and cleanup. **FDOT Concrete collars are required on RCP to connect pipe and incidental to installation of the stormwater PVC line.**

4. **Stormwater:** Includes open cut installation of HDPE stormwater pipeline. **Furnished and Installed.** Open cut and Construct stormwater line includes all labor, materials, and equipment necessary for dewatering, excavation, sheeting, shoring, bracing installation of HDPE stormwater pipeline identification and warning tape, disposal of excess material and old pipe, suitable backfill, replacement of existing improvements such as connections, testing, sodding, pavement repair, brick and mortar installation and any connection to a structure and cleanup. **HDPE collars are incidental to installation of the stormwater HDPE line.**

X. Grout Fill Abandoned Lines Grout fill will be required where the City determines it best to replace the entire line in a different alignment. The unit price will be paid by the cubic yard. Payment will be for the furnishing and placement of the grout mixture and will include all necessary excavation, connections, restoration and all other accommodations to properly perform the work.

Y. Manhole Cleaning the CONTRACTOR will remove all dirt, debris, roots and other solid and liquid materials from the sections of stormwater or sewer manhole being cleaned to the extent that closed circuit television inspection can be performed.

CIPP REHABILITATION - SANITARY SEWER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
A	8" diameter				
A-1	6.0 mm normal thickness (.236")	10,000	LF	\$ 23.10	\$ 231,000.00
A-2	7.5 mm normal thickness (.295")	10,000	LF	\$ 25.20	\$ 252,000.00
A-3	9.0 mm normal thickness (.354")	5,000	LF	\$ 26.00	\$ 130,000.00
				TOTAL "A"	\$ 613,000.00
B	10" diameter				
B-1	6.0 mm normal thickness (.236")	400	LF	\$ 27.30	\$ 10,920.00
B-2	7.5 mm normal thickness (.295")	400	LF	\$ 29.70	\$ 11,880.00
B-3	9.0 mm normal thickness (.354")	400	LF	\$ 31.00	\$ 12,400.00
				TOTAL "B"	\$ 35,200.00
C	12" diameter				
C-1	6.0 mm normal thickness (.236")	400	LF	\$ 30.40	\$ 12,160.00
C-2	7.5 mm normal thickness (.295")	400	LF	\$ 32.90	\$ 13,160.00
C-3	9.0 mm normal thickness (.354")	600	LF	\$ 39.30	\$ 23,580.00
				TOTAL "C"	\$ 48,900.00
D	15" diameter				
D-1	6.0 mm normal thickness (.236")	400	LF	\$ 38.00	\$ 15,200.00
D-2	7.5 mm normal thickness (.295")	400	LF	\$ 42.10	\$ 16,840.00
D-3	9.0 mm normal thickness (.354")	600	LF	\$ 49.10	\$ 29,460.00
				TOTAL "D"	\$ 61,500.00
E	18" diameter				
E-1	6.0 mm normal thickness (.236")	300	LF	\$ 37.90	\$ 11,370.00
E-2	7.5 mm normal thickness (.295")	300	LF	\$ 45.00	\$ 13,500.00
E-3	9.0 mm normal thickness (.354")	300	LF	\$ 57.70	\$ 17,310.00
E-4	10.5 mm normal thickness (.413")	200	LF	\$ 61.20	\$ 12,240.00
				TOTAL "E"	\$ 54,420.00
F	21" diameter				
F-1	6.0 mm normal thickness (.236")	300	LF	\$ 44.00	\$ 13,200.00
F-2	7.5 mm normal thickness (.295")	300	LF	\$ 48.00	\$ 14,400.00
F-3	9.0 mm normal thickness (.354")	300	LF	\$ 67.50	\$ 20,250.00
F-4	10.5 mm normal thickness (.413")	300	LF	\$ 73.30	\$ 21,990.00
F-5	12.0 mm normal thickness (.472")	200	LF	\$ 78.90	\$ 15,780.00
F-6	Charge for each 1.5 mm thickness increase per LF exceeding 12.0 mm	100	LF	\$ 4.20	\$ 420.00
				TOTAL "F"	\$ 86,040.00

CIPP REHABILITATION - SANITARY SEWER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
G	24" diameter				
G-1	9.0 mm normal thickness (.354")	300	LF	\$ 70.00	\$ 21,000.00
G-2	10.5 mm normal thickness (.413")	300	LF	\$ 82.50	\$ 24,750.00
G-3	12.0 mm normal thickness (.472")	300	LF	\$ 89.90	\$ 26,970.00
G-4	13.5 mm normal thickness (.531")	300	LF	\$ 94.90	\$ 28,470.00
G-5	15.0 mm normal thickness (.591")	200	LF	\$ 100.20	\$ 20,040.00
G-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 4.30	\$ 430.00
				TOTAL "G"	\$ 121,660.00
H	27" diameter				
H-1	9.0 mm normal thickness (.354")	100	LF	\$ 74.00	\$ 7,400.00
H-2	10.5 mm normal thickness (.413")	100	LF	\$ 89.70	\$ 8,970.00
H-3	12.0 mm normal thickness (.472")	100	LF	\$ 97.90	\$ 9,790.00
H-4	13.5 mm normal thickness (.531")	50	LF	\$ 104.20	\$ 5,210.00
H-5	15.0 mm normal thickness (.591")	50	LF	\$ 110.30	\$ 5,515.00
H-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 3.90	\$ 390.00
				TOTAL "H"	\$ 37,275.00
I	30" diameter				
I-1	9.0 mm normal thickness (.354")	100	LF	\$ 76.00	\$ 7,600.00
I-2	10.5 mm normal thickness (.413")	100	LF	\$ 101.10	\$ 10,110.00
I-3	12.0 mm normal thickness (.472")	100	LF	\$ 109.50	\$ 10,950.00
I-4	13.5 mm normal thickness (.531")	100	LF	\$ 115.90	\$ 11,590.00
I-5	15.0 mm normal thickness (.591")	100	LF	\$ 121.80	\$ 12,180.00
I-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 5.50	\$ 550.00
				TOTAL "I"	\$ 52,980.00
J	36" diameter				
J-1	10.5 mm normal thickness (.413")	100	LF	\$ 90.00	\$ 9,000.00
J-2	12.0 mm normal thickness (.472")	100	LF	\$ 134.50	\$ 13,450.00
J-3	13.5 mm normal thickness (.531")	100	LF	\$ 142.80	\$ 14,280.00
J-4	15.0 mm normal thickness (.591")	100	LF	\$ 150.70	\$ 15,070.00
J-5	16.5 mm normal thickness (.650")	100	LF	\$ 157.40	\$ 15,740.00
J-6	18.0 mm normal thickness (.709")	100	LF	\$ 166.10	\$ 16,610.00
J-7	Charge for each 1.5 mm thickness increase per LF exceeding 18.0 mm	100	LF	\$ 5.60	\$ 560.00
				TOTAL "J"	\$ 84,710.00

CIPP REHABILITATION - SANITARY SEWER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
K	42" diameter				
K-1	10.5 mm normal thickness (.413")	100	LF	\$ 119.80	\$ 11,980.00
K-2	12.0 mm normal thickness (.472")	100	LF	\$ 158.80	\$ 15,880.00
K-3	13.5 mm normal thickness (.531")	100	LF	\$ 167.60	\$ 16,760.00
K-4	15.0 mm normal thickness (.591")	100	LF	\$ 176.40	\$ 17,640.00
K-5	16.5 mm normal thickness (.650")	50	LF	\$ 185.20	\$ 9,260.00
K-6	18.0 mm normal thickness (.709")	50	LF	\$ 192.80	\$ 9,640.00
K-7	Charge for each 1.5 mm thickness increase per LF exceeding 18.0 mm	100	LF	\$ 7.10	\$ 710.00
				TOTAL "K"	\$ 81,870.00
	TOTAL "A" THRU "K"				\$ 1,277,555.00
CLEAN & INSPECTION - SANITARY SEWER MAINS					
L	Light Cleaning and Inspection				
L-1	8" – 12" diameter	6,000	LF	\$ 2.50	\$ 15,000.00
L-2	14" – 18" diameter	6,000	LF	\$ 5.00	\$ 30,000.00
L-3	20" – 24" diameter	6,000	LF	\$ 7.00	\$ 42,000.00
L-4	27" – 42" diameter	6,000	LF	\$ 10.00	\$ 60,000.00
L-5	48" – 72" diameter	6,000	LF	\$ 12.10	\$ 72,600.00
				TOTAL "L"	\$ 219,600.00
M	Medium Cleaning				
M-1	8" – 12" diameter	6,000	LF	\$ 3.70	\$ 22,200.00
M-2	14" – 18" diameter	6,000	LF	\$ 7.00	\$ 42,000.00
M-3	20" – 24" diameter	6,000	LF	\$ 10.00	\$ 60,000.00
M-4	27" – 42" diameter	6,000	LF	\$ 13.10	\$ 78,600.00
M-5	48" – 72" diameter	6,000	LF	\$ 15.10	\$ 90,600.00
				TOTAL "M"	\$ 293,400.00
N	Heavy Cleaning				
N-1	8" – 12" diameter	6,000	LF	\$ 3.30	\$ 19,800.00
N-2	14" – 18" diameter	6,000	LF	\$ 8.00	\$ 48,000.00
N-3	20" – 24" diameter	6,000	LF	\$ 12.10	\$ 72,600.00
N-4	27" – 42" diameter	6,000	LF	\$ 16.10	\$ 96,600.00
N-5	48" – 72" diameter	6,000	LF	\$ 18.10	\$ 108,600.00
		6,000	LF		\$ -
				TOTAL "N"	\$ 345,600.00
O	Root Removal				
O-1	8" – 12" diameter	6,000	LF	\$ 1.60	\$ 9,600.00
O-2	14" – 18" diameter	6,000	LF	\$ 2.60	\$ 15,600.00
O-3	20" – 24" diameter	6,000	LF	\$ 4.80	\$ 28,800.00
O-4	27" – 42" diameter	6,000	LF	\$ 5.30	\$ 31,800.00
O-5	48" – 72" diameter	6,000	LF	\$ 6.30	\$ 37,800.00
				TOTAL "O"	\$ 123,600.00

CLEAN & INSPECTION - SANITARY SEWER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
P	Tuberculation Cleaning				
P-1	8" – 12" diameter	6,000	LF	\$ 19.00	\$ 114,000.00
P-2	14" – 18" diameter	6,000	LF	\$ 21.70	\$ 130,200.00
P-3	20" – 24" diameter	6,000	LF	\$ 22.70	\$ 136,200.00
P-4	27" – 42" diameter	6,000	LF	\$ 23.30	\$ 139,800.00
P-5	48" – 72" diameter	6,000	LF	\$ 25.90	\$ 155,400.00
				TOTAL "P"	\$ 675,600.00
	TOTAL "L" THRU "P"				\$ 1,657,800.00
SANITARY SEWER					
LATERAL CIPP LINING-TOP HAT/FULL WRAP - UP TO 36"					
Q					
Q-1	Four (4) inch lateral connection per ASTM F1216-16	20	EA	\$ 2,009.90	\$ 40,198.00
Q-2	Six (6) inch lateral connection per ASTM F1216-16	20	EA	\$ 2,009.90	\$ 40,198.00
Q-3	Eight (8) inch lateral connection per ASTM F1216-16	20	EA	\$ 2,009.90	\$ 40,198.00
Q-4	Lateral lining 0 to 30' per ASTM F1216-16	100	LF	\$ 79.30	\$ 7,930.00
Q-5	Additional Lateral Lining > 30' per ASTM F1216-16	100	LF	\$ 37.00	\$ 3,700.00
Q-6	Lateral Cutout	20	EA	\$ 195.00	\$ 3,900.00
Q-4	Lateral Grout	20	EA	\$ 390.20	\$ 7,804.00
	TOTAL "Q"				\$ 143,928.00
SANITARY SEWER					
MANHOLE/LIFT STATION REFURBISHMENT					
R					
R-1	Interior Manhole Application (Precast)	2,000	SF	\$ 19.00	\$ 38,000.00
R-2	Interior Manhole Application (Brick)	2,000	SF	\$ 23.30	\$ 46,600.00
R-3	Interior Lift Station Application (Precast)	2,000	SF	\$ 21.20	\$ 42,400.00
R-4	Interior Lift Station Application (Brick)	2,000	SF	\$ 26.40	\$ 52,800.00
R-5	Bench/Invert Repair	200	EA	\$ 528.90	\$ 105,780.00
	TOTAL "R"				\$ 285,580.00
SANITARY SEWER					
CLEANOUT INSTALLATION					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
S					
S-1	Four (4) inch cleanout	20	EA	\$ 528.90	\$ 10,578.00
S-2	Six (6) inch cleanout	20	EA	\$ 634.70	\$ 12,694.00
S-3	Eight (8) inch cleanout	20	EA	\$ 793.40	\$ 15,868.00
	TOTAL "S"				\$ 39,140.00

MANHOLE CLEANING					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
T	Manhole cleaning	2,000	SF	\$ 5.30	\$ 10,600.00
TOTAL "T"					\$ 10,600.00
TOTAL "Q" THRU "T"					\$ 479,248.00
CIPP REHABILITATION - STORMWATER MAINS					
U	8" diameter				
U-1	6.0 mm normal thickness (.236")	500	LF	\$ 39.50	\$ 19,750.00
TOTAL "U"					\$ 19,750.00
V	10" diameter				
V-1	6.0 mm normal thickness (.236")	400	LF	\$ 45.50	\$ 18,200.00
V-2	7.5 mm normal thickness (.295")	400	LF	\$ 48.00	\$ 19,200.00
TOTAL "V"					\$ 37,400.00
W	12" diameter				
W-1	6.0 mm normal thickness (.236")	750	LF	\$ 48.80	\$ 36,600.00
W-2	7.5 mm normal thickness (.295")	750	LF	\$ 51.50	\$ 38,625.00
TOTAL "W"					\$ 75,225.00
X	15" diameter				
X-1	6.0 mm normal thickness (.236")	1,000	LF	\$ 55.00	\$ 55,000.00
X-2	7.5 mm normal thickness (.295")	1,500	LF	\$ 64.50	\$ 96,750.00
X-3	9.0 mm normal thickness (.354")	1,000	LF	\$ 76.90	\$ 76,900.00
X-4	Charge for each 1.5 mm thickness increase per LF exceeding 9.0 mm	100	LF	\$ 2.10	\$ 210.00
TOTAL "X"					\$ 228,860.00
Y	18" diameter				
Y-1	6.0 mm normal thickness (.236")	1,250	LF	\$ 52.20	\$ 65,250.00
Y-2	7.5 mm normal thickness (.295")	1,250	LF	\$ 67.60	\$ 84,500.00
Y-3	9.0 mm normal thickness (.354")	1,250	LF	\$ 79.40	\$ 99,250.00
Y-4	10.5 mm normal thickness (.413")	1,250	LF	\$ 82.90	\$ 103,625.00
Y-5	Charge for each 1.5 mm thickness increase per LF exceeding 10.5 mm	100	LF	\$ 4.20	\$ 420.00
TOTAL "Y"					\$ 353,045.00
Z	21" diameter				
Z-1	6.0 mm normal thickness (.236")	220	LF	\$ 59.70	\$ 13,134.00
Z-2	7.5 mm normal thickness (.295")	220	LF	\$ 63.50	\$ 13,970.00
Z-3	9.0 mm normal thickness (.354")	220	LF	\$ 90.10	\$ 19,822.00
Z-4	10.5 mm normal thickness (.413")	220	LF	\$ 96.10	\$ 21,142.00
Z-5	12.0 mm normal thickness (.472")	200	LF	\$ 104.40	\$ 20,880.00
Z-6	Charge for each 1.5 mm thickness increase per LF exceeding 12.0 mm	100	LF	\$ 4.20	\$ 420.00
TOTAL "Z"					\$ 89,368.00

CIPP REHABILITATION - STORMWATER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
AA	24" diameter				
AA-1	9.0 mm normal thickness (.354")	700	LF	\$ 95.00	\$ 66,500.00
AA-2	10.5 mm normal thickness (.413")	700	LF	\$ 106.70	\$ 74,690.00
AA-3	12.0 mm normal thickness (.472")	700	LF	\$ 116.80	\$ 81,760.00
AA-4	13.5 mm normal thickness (.531")	700	LF	\$ 122.00	\$ 85,400.00
AA-5	15.0 mm normal thickness (.591")	700	LF	\$ 127.50	\$ 89,250.00
AA-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 4.30	\$ 430.00
				TOTAL "AA"	\$ 398,030.00
BB	27" diameter				
BB-1	9.0 mm normal thickness (.354")	220	LF	\$ 100.00	\$ 22,000.00
BB-2	10.5 mm normal thickness (.413")	220	LF	\$ 113.70	\$ 25,014.00
BB-3	12.0 mm normal thickness (.472")	220	LF	\$ 124.60	\$ 27,412.00
BB-4	13.5 mm normal thickness (.531")	220	LF	\$ 131.20	\$ 28,864.00
BB-5	15.0 mm normal thickness (.591")	220	LF	\$ 137.60	\$ 30,272.00
BB-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 4.50	\$ 450.00
				TOTAL "BB"	\$ 134,012.00
CC	30" diameter				
CC-1	9.0 mm normal thickness (.354")	600	LF	\$ 100.00	\$ 60,000.00
CC-2	10.5 mm normal thickness (.413")	600	LF	\$ 113.70	\$ 68,220.00
CC-3	12.0 mm normal thickness (.472")	600	LF	\$ 123.30	\$ 73,980.00
CC-4	13.5 mm normal thickness (.531")	600	LF	\$ 129.90	\$ 77,940.00
CC-5	15.0 mm normal thickness (.591")	600	LF	\$ 135.90	\$ 81,540.00
CC-6	Charge for each 1.5 mm thickness increase per LF exceeding 15.0 mm	100	LF	\$ 5.50	\$ 550.00
				TOTAL "CC"	\$ 362,230.00
DD	36" diameter				
DD-1	10.5 mm normal thickness (.413")	500	LF	\$ 108.00	\$ 54,000.00
DD-2	12.0 mm normal thickness (.472")	500	LF	\$ 151.70	\$ 75,850.00
DD-3	13.5 mm normal thickness (.531")	500	LF	\$ 160.30	\$ 80,150.00
DD-4	15.0 mm normal thickness (.591")	500	LF	\$ 168.30	\$ 84,150.00
DD-5	16.5 mm normal thickness (.650")	250	LF	\$ 175.10	\$ 43,775.00
DD-6	18.0 mm normal thickness (.709")	250	LF	\$ 184.00	\$ 46,000.00
DD-7	Charge for each 1.5 mm thickness increase per LF exceeding 18.0 mm	100	LF	\$ 5.60	\$ 560.00
				TOTAL "DD"	\$ 384,485.00

CIPP REHABILITATION - STORMWATER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
EE	42" diameter				
EE-1	10.5 mm normal thickness (.413")	250	LF	\$ 120.00	\$ 30,000.00
EE-2	12.0 mm normal thickness (.472")	250	LF	\$ 140.00	\$ 35,000.00
EE-3	13.5 mm normal thickness (.531")	250	LF	\$ 185.80	\$ 46,450.00
EE-4	15.0 mm normal thickness (.591")	250	LF	\$ 194.80	\$ 48,700.00
EE-5	16.5 mm normal thickness (.650")	250	LF	\$ 203.80	\$ 50,950.00
EE-6	18.0 mm normal thickness (.709")	250	LF	\$ 211.50	\$ 52,875.00
EE-7	Charge for each 1.5 mm thickness increase per LF exceeding 18.0 mm	100	LF	\$ 7.10	\$ 710.00
				TOTAL "EE"	\$ 264,685.00
FF	48" diameter				
FF-1	12.0 mm normal thickness (.472")	200	LF	\$ 150.00	\$ 30,000.00
FF-2	13.5 mm normal thickness (.531")	200	LF	\$ 160.00	\$ 32,000.00
FF-3	15.0 mm normal thickness (.591")	200	LF	\$ 225.30	\$ 45,060.00
FF-4	16.5 mm normal thickness (.650")	200	LF	\$ 235.60	\$ 47,120.00
FF-5	18.0 mm normal thickness (.709")	200	LF	\$ 244.60	\$ 48,920.00
FF-6	19.5 mm normal thickness (.768")	100	LF	\$ 262.20	\$ 26,220.00
FF-7	21.0 mm normal thickness (.827")	100	LF	\$ 270.90	\$ 27,090.00
FF-8	Charge for each 1.5 mm thickness increase per LF exceeding 21.0 mm	100	LF	\$ 8.00	\$ 800.00
				TOTAL "FF"	\$ 257,210.00
GG	52" diameter				
GG-1	10.5 mm normal thickness (.413")	25	LF	\$ 145.00	\$ 3,625.00
GG-2	12.0 mm normal thickness (.472")	25	LF	\$ 155.00	\$ 3,875.00
GG-3	13.5 mm normal thickness (.531")	25	LF	\$ 165.00	\$ 4,125.00
GG-4	15.0 mm normal thickness (.591")	25	LF	\$ 196.50	\$ 4,912.50
GG-5	16.5 mm normal thickness (.650")	25	LF	\$ 204.20	\$ 5,105.00
GG-6	18.0 mm normal thickness (.709")	25	LF	\$ 262.20	\$ 6,555.00
GG-7	19.5 mm normal thickness (.768")	25	LF	\$ 279.30	\$ 6,982.50
GG-8	21.0 mm normal thickness (.827")	25	LF	\$ 290.40	\$ 7,260.00
GG-9	22.5 mm normal thickness (.886")	100	LF	\$ 302.60	\$ 30,260.00
GG-10	Charge for each 1.5 mm thickness increase per LF exceeding 22.5 mm	100	LF	\$ 9.60	\$ 960.00
				TOTAL "GG"	\$ 73,660.00

CIPP REHABILITATION - STORMWATER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
HH	54" diameter				
HH-1	10.5 mm normal thickness (.413")	25	LF	\$ 150.00	\$ 3,750.00
HH-2	12.0 mm normal thickness (.472")	25	LF	\$ 160.00	\$ 4,000.00
HH-3	13.5 mm normal thickness (.531")	25	LF	\$ 170.00	\$ 4,250.00
HH-4	15.0 mm normal thickness (.591")	25	LF	\$ 210.00	\$ 5,250.00
HH-5	16.5 mm normal thickness (.650")	25	LF	\$ 215.00	\$ 5,375.00
HH-6	18.0 mm normal thickness (.709")	25	LF	\$ 288.90	\$ 7,222.50
HH-7	19.5 mm normal thickness (.768")	25	LF	\$ 305.50	\$ 7,637.50
HH-8	21.0 mm normal thickness (.827")	25	LF	\$ 406.10	\$ 10,152.50
HH-9	22.5 mm normal thickness (.886")	100	LF	\$ 419.70	\$ 41,970.00
HH-10	Charge for each 1.5 mm thickness increase per LF exceeding 22.5 mm	100	LF	\$ 9.80	\$ 980.00
				TOTAL "HH"	\$ 90,587.50
II	60" diameter				
II-1	10.5 mm normal thickness (.413")	25	LF	\$ 302.40	\$ 7,560.00
II-2	12.0 mm normal thickness (.472")	25	LF	\$ 319.00	\$ 7,975.00
II-3	13.5 mm normal thickness (.531")	25	LF	\$ 330.20	\$ 8,255.00
II-4	15.0 mm normal thickness (.591")	25	LF	\$ 341.20	\$ 8,530.00
II-5	16.5 mm normal thickness (.650")	25	LF	\$ 350.40	\$ 8,760.00
II-6	18.0 mm normal thickness (.709")	25	LF	\$ 445.50	\$ 11,137.50
II-7	19.5 mm normal thickness (.768")	25	LF	\$ 468.90	\$ 11,722.50
II-8	21.0 mm normal thickness (.827")	25	LF	\$ 483.90	\$ 12,097.50
II-9	22.5 mm normal thickness (.886")	100	LF	\$ 499.10	\$ 49,910.00
II-10	Charge for each 1.5 mm thickness increase per LF exceeding 22.5 mm	100	LF	\$ 13.50	\$ 1,350.00
				TOTAL "II"	\$ 127,297.50
JJ	72" diameter				
JJ-1	10.5 mm normal thickness (.413")	25	LF	\$ 500.10	\$ 12,502.50
JJ-2	12.0 mm normal thickness (.472")	25	LF	\$ 506.20	\$ 12,655.00
JJ-3	13.5 mm normal thickness (.531")	25	LF	\$ 519.70	\$ 12,992.50
JJ-4	15.0 mm normal thickness (.591")	25	LF	\$ 532.80	\$ 13,320.00
JJ-5	16.5 mm normal thickness (.650")	25	LF	\$ 546.60	\$ 13,665.00
JJ-6	18.0 mm normal thickness (.709")	25	LF	\$ 680.50	\$ 17,012.50
JJ-7	19.5 mm normal thickness (.768")	25	LF	\$ 763.20	\$ 19,080.00
JJ-8	21.0 mm normal thickness (.827")	25	LF	\$ 781.80	\$ 19,545.00
JJ-9	22.5 mm normal thickness (.886")	100	LF	\$ 796.30	\$ 79,630.00
JJ-10	Charge for each 1.5 mm thickness increase per LF exceeding 22.5 mm	100	LF	\$ 14.70	\$ 1,470.00
				TOTAL "JJ"	\$ 201,872.50
	Total CIPP Rehabilitation - Stormwater Mains ("U" THRU "JJ")				\$ 3,097,717.50

CLEAN & INSPECTION - STORMWATER MAINS					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
KK	Light Cleaning and inspection				
KK-1	8" - 12" diameter	6,000	LF	\$ 6.00	\$ 36,000.00
KK-2	14" - 18" diameter	6,000	LF	\$ 8.00	\$ 48,000.00
KK-3	20" - 24" diameter	6,000	LF	\$ 9.00	\$ 54,000.00
KK-4	27" - 42" diameter	6,000	LF	\$ 12.10	\$ 72,600.00
KK-5	48" - 72" diameter	6,000	LF	\$ 16.10	\$ 96,600.00
				TOTAL "KK"	\$ 307,200.00
LL	Medium Cleaning				
LL-1	8" - 12" diameter	6,000	LF	\$ 9.00	\$ 54,000.00
LL-2	14" - 18" diameter	6,000	LF	\$ 11.10	\$ 66,600.00
LL-3	20" - 24" diameter	6,000	LF	\$ 14.10	\$ 84,600.00
LL-4	27" - 42" diameter	6,000	LF	\$ 17.10	\$ 102,600.00
LL-5	48" - 72" diameter	6,000	LF	\$ 20.10	\$ 120,600.00
				TOTAL "LL"	\$ 428,400.00
MM	Heavy Cleaning				
MM-1	8" - 12" diameter	6,000	LF	\$ 11.10	\$ 66,600.00
MM-2	14" - 18" diameter	6,000	LF	\$ 16.10	\$ 96,600.00
MM-3	20" - 24" diameter	6,000	LF	\$ 20.10	\$ 120,600.00
MM-4	27" - 42" diameter	6,000	LF	\$ 26.10	\$ 156,600.00
MM-5	48" - 72" diameter	6,000	LF	\$ 32.20	\$ 193,200.00
				TOTAL "MM"	\$ 633,600.00
NN	Root Removal				
NN-1	8" - 12" diameter	6,000	LF	\$ 1.60	\$ 9,600.00
NN-2	14" - 18" diameter	6,000	LF	\$ 2.60	\$ 15,600.00
NN-3	20" - 24" diameter	6,000	LF	\$ 4.80	\$ 28,800.00
NN-4	27" - 42" diameter	6,000	LF	\$ 5.30	\$ 31,800.00
NN-5	48" - 72" diameter	6,000	LF	\$ 6.30	\$ 37,800.00
				TOTAL "NN"	\$ 123,600.00
OO	Tuberculation Cleaning				
OO-1	8" - 12" diameter	6,000	LF	\$ 19.00	\$ 114,000.00
OO-2	14" - 18" diameter	6,000	LF	\$ 21.70	\$ 130,200.00
OO-3	20" - 24" diameter	6,000	LF	\$ 22.70	\$ 136,200.00
OO-4	27" - 42" diameter	6,000	LF	\$ 23.30	\$ 139,800.00
OO-5	8" - 72" diameter	6,000	LF	\$ 25.90	\$ 155,400.00
				TOTAL "OO"	\$ 675,600.00
PP	Stormwater Manhole Cleaning	2,800	SF	\$ 5.30	\$ 14,840.00
				TOTAL "PP"	\$ 14,840.00
	TOTAL "KK" THRU "PP"				\$ 2,183,240.00

ANCILLARY GENERAL SERVICES					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
QQ	By-Pass Pumping				
QQ-1	8" diameter	5	LS	\$ 317.40	\$ 1,587.00
QQ-2	10" diameter	5	LS	\$ 317.40	\$ 1,587.00
QQ-3	12" diameter	5	LS	\$ 1,586.80	\$ 7,934.00
QQ-4	15" diameter	5	LS	\$ 6,347.00	\$ 31,735.00
QQ-5	18" diameter	5	LS	\$ 11,107.30	\$ 55,536.50
QQ-6	21" diameter	5	LS	\$ 12,694.10	\$ 63,470.50
QQ-7	24" diameter	5	LS	\$ 14,280.80	\$ 71,404.00
QQ-8	27" diameter	5	LS	\$ 15,867.60	\$ 79,338.00
QQ-9	30" diameter	5	LS	\$ 17,454.30	\$ 87,271.50
QQ-10	36" diameter	5	LS	\$ 19,041.10	\$ 95,205.50
				TOTAL "QQ"	\$ 495,069.00
RR	Standard Service Reconnection	25	Each	\$ 195.00	\$ 4,875.00
				TOTAL "RR"	\$ 4,875.00
SS	Traffic Control - FDOT Right of Way				
SS-1	Flagman	10	Setup	\$ 655.90	\$ 6,559.00
SS-2	Arrow Board	10	Setup	\$ 190.40	\$ 1,904.00
SS-3	Barricades	10	Setup	\$ 359.70	\$ 3,597.00
SS-4	Lane Dividers	10	Setup	\$ 15.90	\$ 159.00
				TOTAL "SS"	\$ 12,219.00
TT	Traffic Control - City Right of Way				
TT-1	Flagman	10	Setup	\$ 655.90	\$ 6,559.00
TT-2	Arrow Board	10	Setup	\$ 190.40	\$ 1,904.00
TT-3	Barricades	10	Setup	\$ 264.50	\$ 2,645.00
TT-4	Lane Dividers	10	Setup	\$ 15.90	\$ 159.00
				TOTAL "TT"	\$ 11,267.00
UU	Traffic Control - County Right of Way				
UU-1	Flagman	10	Setup	\$ 655.90	\$ 6,559.00
UU-2	Arrow Board	10	Setup	\$ 190.40	\$ 1,904.00
UU-3	Barricades	10	Setup	\$ 359.70	\$ 3,597.00
UU-4	Lane Dividers	10	Setup	\$ 15.90	\$ 159.00
				TOTAL "UU"	\$ 12,219.00

ANCILLARY GENERAL SERVICES					
ITEM	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASURE	UNIT PRICE	EXTENDED PRICE
VV	Easement Access				
VV-1	6" to 12" diameter	100	LF	\$ 3.70	\$ 370.00
VV-2	14" to 18" diameter	100	LF	\$ 4.80	\$ 480.00
VV-3	20" to 24" diameter	100	LF	\$ 6.10	\$ 610.00
VV-4	27" to 30" diameter	100	LF	\$ 9.80	\$ 980.00
VV-5	36" to 42" diameter	100	LF	\$ 10.80	\$ 1,080.00
VV-6	48" to 54" diameter	100	LF	\$ 16.10	\$ 1,610.00
				TOTAL "VV"	\$ 5,130.00
WW	Manhole Cleaning	2,800	SF	\$ 5.30	\$ 14,840.00
				TOTAL "WW"	\$ 14,840.00
XX	Grout fill abandoned pipe	1,000	CY	\$ 158.70	\$ 158,700.00
				TOTAL "XX"	\$ 158,700.00
YY	Chemical and physical product testing	10	EA	\$ 264.50	\$ 2,645.00
				TOTAL "YY"	\$ 2,645.00
ZZ	Erosion and sediment control				
ZZ-1	Silt Fencing	200	LF	\$ 4.20	\$ 840.00
ZZ-2	Floating Turbidity Barrier	200	LF	\$ 15.90	\$ 3,180.00
ZZ-3	Gutter Buddy	100	EA	\$ 52.90	\$ 5,290.00
				TOTAL "ZZ"	\$ 9,310.00
AAA	Mobilization	20	Setup	\$ 3,578.40	\$ 71,568.00
				TOTAL "AAA"	\$ 71,568.00
BBB	Bonds	100,000	Percentage	\$ 0.03	\$ 3,000.00
				TOTAL "BBB"	\$ 3,000.00
	TOTAL "QQ" THRU "BBB"				\$ 800,842.00
	TOTAL ESTIMATED BID AMOUNT				\$ 9,496,402.50

ADDITIVE ALTERNATE No. 1							
SANITARY SEWER							
LINE RECONSTRUCTION SDR 26 LESS THAN 10' DEPTH							
CCC							
CCC-1	15"	100	LF	\$ 272.00	\$ 27,200.00		
CCC-2	18"	100	LF	\$ 292.20	\$ 29,220.00		
CCC-3	24"	100	LF	\$ 385.60	\$ 38,560.00		
CCC-4	30"	100	LF	\$ 464.10	\$ 46,410.00		
CCC-5	36"	100	LF	\$ 582.90	\$ 58,290.00		
CCC-6	42"	100	LF	\$ 594.10	\$ 59,410.00		
CCC-7	48"	100	LF	\$ 1,193.20	\$ 119,320.00		
CCC-8	54"	100	LF	\$ 1,500.00	\$ 150,000.00		
CCC-9	60"	100	LF	\$ 2,000.00	\$ 200,000.00		
CCC-10	66"	50	LF	\$ 2,500.00	\$ 125,000.00		
CCC-11	72"	50	LF	\$ 3,000.00	\$ 150,000.00		
					TOTAL "CCC"	\$ 1,003,410.00	
SANITARY SEWER							
LINE RECONSTRUCTION C900 GREATER THAN 10' DEPTH							
DDD							
DDD-1	15"	100	LF	\$ 333.30	\$ 33,330.00		
DDD-2	18"	100	LF	\$ 358.30	\$ 35,830.00		
DDD-3	24"	100	LF	\$ 469.00	\$ 46,900.00		
DDD-4	30"	100	LF	\$ 578.50	\$ 57,850.00		
DDD-5	36"	100	LF	\$ 745.00	\$ 74,500.00		
DDD-6	42"	100	LF	\$ 1,391.10	\$ 139,110.00		
DDD-7	48"	100	LF	\$ 1,500.00	\$ 150,000.00		
DDD-8	54"	100	LF	\$ 2,000.00	\$ 200,000.00		
DDD-9	60"	100	LF	\$ 2,500.00	\$ 250,000.00		
DDD-10	66"	50	LF	\$ 3,000.00	\$ 150,000.00		
DDD-11	72"	50	LF	\$ 3,500.00	\$ 175,000.00		
					TOTAL "DDD"	\$ 1,312,520.00	

STORMWATER MAINS					
EEE	Line Reconstruction (concrete collars are incidental) greater than 8' depth and under roadways				
EEE-1	15" RCP	250	LF	\$ 161.30	\$ 40,325.00
EEE-2	18" RCP	250	LF	\$ 171.10	\$ 42,775.00
EEE-3	24" RCP	250	LF	\$ 188.60	\$ 47,150.00
EEE-4	30" RCP	250	LF	\$ 227.30	\$ 56,825.00
EEE-5	36" RCP	250	LF	\$ 256.20	\$ 64,050.00
EEE-6	48" RCP	250	LF	\$ 324.20	\$ 81,050.00
EEE-7	54" RCP	250	LF	\$ 386.40	\$ 96,600.00
EEE-8	60" RCP	250	LF	\$ 424.70	\$ 106,175.00
EEE-9	72" RCP	500	LF	\$ 548.60	\$ 274,300.00
				TOTAL "EEE"	\$ 809,250.00
FFF	HDPE Line Reconstruction less than 8'				
FFF-1	15" HDPE	250	LF	\$ 133.60	\$ 33,400.00
FFF-2	18" HDPE	250	LF	\$ 142.20	\$ 35,550.00
FFF-3	24" HDPE	250	LF	\$ 160.60	\$ 40,150.00
FFF-4	30" HDPE	250	LF	\$ 203.10	\$ 50,775.00
FFF-5	36" HDPE	250	LF	\$ 209.80	\$ 52,450.00
FFF-6	42" HDPE	250	LF	\$ 231.70	\$ 57,925.00
FFF-7	48" HDPE	250	LF	\$ 279.80	\$ 69,950.00
FFF-8	54" HDPE	250	LF	\$ 310.00	\$ 77,500.00
FFF-9	60" HDPE	250	LF	\$ 353.50	\$ 88,375.00
FFF-10	70" HDPE	500	LF	\$ 390.00	\$ 195,000.00
				TOTAL "FFF"	\$ 701,075.00
				TOTAL "CCC" THRU "FFF"	\$ 3,826,255.00

*(COMPOSITE EXHIBIT C is not attached but will remain on file in
in the Office of the Purchasing Agent and will be available upon request)*