



City of Bunnell Building Department

Single Family Residence Permit Checklist

Contractors must be current with Business Tax Receipt (BTR) for permitting

- ☐ **Permit Application**
- ☐ **Proof of Property Ownership** (Copy of recorded warranty deed or print out from the Property Appraiser's Office)
- ☐ **Disclosure Statement** (If Owner is acting as his/her own contractor) **FS 489.103**
- ☐ **Notice of Commencement** (Required when value of labor and materials is over **\$2,500.00**)
Recorded and certified by the Flagler County Clerk of Court **FS sec 713.135**
- ☐ **Bunnell Product Approval Information Form**
- ☐ **Bunnell Electric Power Request Form**
- ☐ **2 Set of Building Plans** (Folded and Stapled) sealed by an architect or engineer
- ☐ **2 Survey/Site Plans** to Include:
 - Elevations relative to the National Geodetic Vertical Datum (NGVD)
 - Proposed finished floor elevation
 - Spot elevations at property corners, and at least two intermediate points alongside property lines, and the high & low points along the centerline of the property
 - Finished floor elevation of adjacent residences (if applicable)
 - Setbacks to include all proposed structures, cantilevered structures i.e. decks, covered doorway
 - Building dimensions of all proposed structures, improvements, and their dimensions & setbacks
 - Mean height of highest roofline (halfway between peak and eave)
 - Lot coverage percentage (pervious/impervious)
 - Final grading plan
 - Proposed fill in cubic yards
- ☐ **2 Sets of Energy Calculations** for Climate zone 3w/EPL display card
- ☐ **2 Sets of Engineered Truss Plans, Truss Layout and Connector Schedule** conventional Framing shall be included on the engineered plans
- ☐ **2 Sets of Engineering and Test Reports** for doors and windows – if not included on the construction plans
- ☐ **2 Sets of Mechanical Plans with Ductwork Layout with Return Air Method**
- ☐ **2 Sets of Plumbing Plans with Riser**
- ☐ **2 Sets of Electrical Layouts, Panel Size and Riser**
- ☐ **If Connecting to a County Road, Copy of Flagler County Driveway Access Permit**
- ☐ **Water and Sewer Availability OR if to be Served by Well and Septic, Health Department Permit**
- ☐ **Residential Plot Plan Approval Requirements**
- ☐ **M11 Lot Grading Plan**
- ☐ **Tree Removal Permit Application / Grading Permit Application** (if Applicable)

APPLICANT MUST OBTAIN ALL REQUIRED
INSPECTIONS INCLUDING THE FINAL INSPECTION

CITY OF BUNNELL, FLORIDA
BUILDING PERMIT APPLICATION

DATE: _____

PERMIT #

Owner's Name _____ Address _____ City/State/Zip _____

Telephone Number: _____ Property Location _____

City/State/Zip _____ Legal Description of the Property _____

Section _____ Block _____ Lot _____ Subdivision _____

PARCEL # (REQUIRED) _____

Parcel Width _____ x _____ Depth _____ Square Ft. _____

Description of Work: _____

Contractor: _____ Telephone Number _____ Fax _____

Address _____ City/State _____ Zip Code _____

State License # _____ **Bunnell Business Tax Number REQUIRED** _____

If owner is to be the builder, and occupy the home, then The Owner/Builder Affidavit must be signed with application.

Is main Floor Level less than 12" above the crown of the road? Yes ☐ No ☐

List area Totals in Square Feet:

Living Area _____ Garage _____ Carport _____ Screen Porch _____ Sidewalk _____

Open Porch _____ Accessory Bldg. _____ Patio _____ Driveway _____

Zoning Approval: _____ Date _____ Initials _____ Site Plan Approval: _____ Yes _____ No _____ Initials _____

Check One: Septic Tank _____ Tank # _____ City Sewer _____ City Water _____ Private Well _____

Check Equipment:

HEATING: Oil _____ Gas _____ ELECTRIC _____ ELECTRICAL SERVICE: Phase _____ Volts _____ Amps _____

KITCHEN RANGE: Gas _____ Electric _____ WATER HEATER: Gas _____ Electric _____

AIR CONDITIONING: Yes _____ No _____ WASHING MACHINE _____ DRYER _____ DISHWASHER _____ EX. FAN _____

RANGE HOOD _____ FIREPLACE _____

Type of Floor Construction: Concrete _____ Wood _____ Other _____

Number of Bathrooms _____ Total amount of floor drains and plumbing _____ Number of stories _____

Type of Exterior Walls:

Block _____ Stucco _____ Wood _____ Brick _____ Brick Veneer _____ Shingles _____ Aluminum Siding _____ Stone _____ Metal _____ Other _____

Type of Interior Walls:

Lath & Plaster _____ Drywall _____ Paneling _____ Unfinished _____ Other _____

Kind of Roof Construction:

Common _____ Trusses _____ Gable _____ Flat _____ Shed _____ Hip _____ Metal _____ Tile _____ Tar & Gravel _____ Shingles _____ Roll _____ Other _____

Plumbing Contractor _____ Occ Lic# _____ Electrical Contractor _____ Occ Lic# _____

Mechanical Contractor _____ Occ Lic# _____ Roofing Contractor _____ Occ Lic # _____

Other _____ Occ Lic # _____

Cost of Improvement \$ _____

To be Installed, But Not

Included in the Above Price \$ _____

Electrical \$ _____

Heating/Air Conditioning \$ _____

Other \$ _____

TOTAL COST OF IMPROVEMENT \$ _____

x _____

APPLICANT Must Sign Here

Owner _____ Contractor _____

**"FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN
RESULT IN THE PROPERTY OWNER PAYING TWICE FOR
IMPROVEMENTS."**

Zoning Approval: _____ **Date** _____ **Initials** _____ **Site Plan Approval required:** _____ **Yes** _____ **No** _____ **Initials** _____

Fire Review Needed: _____ **Yes** _____ **No** _____ **Fire Review Completed:** _____ **Yes** _____ **No** _____ **Initials** _____



DISCLOSURE STATEMENT

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building **if the costs do not exceed \$75,000**. The building or residence must be for **my own use or occupancy**. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 1-850-487-1395 or www.myfloridalicense.com/dbpr for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address: _____ . (Address of property)

12. I agree to notify the City of Bunnell immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: _____ Date _____
(Signature of property owner)

STATE OF FLORIDA
COUNTY OF FLAGLER

Sworn to (or affirmed) and subscribed before me this _____ day of _____, 20____, by
_____(name of person making statement).

(Signature of Notary Public-State of Florida)

(Name of Notary Typed, Printed, or Stamped)

Personally Known _____ OR Produced Identification _____

Type of Identification Produced _____

Permit No. _____

Tax Folio No. _____

NOTICE OF COMMENCEMENT

State of _____
County of _____

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of the property, and street address if available) _____
2. General description of improvement: _____
3. Owner information:
 - a. Name and address: _____
 - b. Interest in property: _____
 - c. Name and address of fee simple titleholder (if other than Owner): _____
4. Contractor:
 - a. Contractor name and address: _____
 - b. Contractor's phone number: _____
5. Surety
 - a. Surety name and address: _____
 - b. Phone number: _____
 - c. Amount of bond: _____
6. Lender:
 - a. Lender's name and address: _____
 - b. Lender's phone number: _____
7.
 - a. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: (name and address) . _____
 - b. Phone numbers of designated persons: _____
8.
 - a. In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
 - b. Phone number of person or entity designated by owner: _____
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

(Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager)

(Signatory's Title/Office)

The foregoing instrument was acknowledged before me this _____ day of _____, _____, by _____
(year) (name of person)
as _____ for _____
(type of authority, . . . e.g. officer, trustee, attorney in fact) (name of party on behalf of whom instrument was executed)

(Signature of Notary Public - State of Florida)

Personally Known _____ OR Produced Identification _____
Type of Identification Produced _____

Verification pursuant to Section 92.525, Florida Statutes.

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

(Signature of Natural Person Signing Above)



PRODUCT APPROVAL SPECIFICATION SHEET

Permit Number

Project Address

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org.

If the product approval has more than one method of installation highlight or circle the method being used.

| Category/Subcategory | Manufacturer | Product Description | Approval Number(s) |
|------------------------------|--------------|---------------------|--------------------|
| EXTERIOR DOORS | | | |
| Swinging | | | |
| Sliding | | | |
| Sectional | | | |
| Roll Up | | | |
| Other | | | |
| WINDOWS | | | |
| Single Hung | | | |
| Double Hung | | | |
| Horizontal Slider | | | |
| Fixed | | | |
| Other | | | |
| PANEL WALL | | | |
| Siding | | | |
| Soffits | | | |
| Other | | | |
| ROOFING PRODUCTS | | | |
| Asphalt Shingles | | | |
| Metal | | | |
| Modified Bitumen | | | |
| Underlayment | | | |
| Other | | | |
| SHUTTERS | | | |
| Accordion | | | |
| Bahama | | | |
| Storm Panels | | | |
| Roll-up | | | |
| Other | | | |
| SKYLIGHTS | | | |
| Skylight | | | |
| Other | | | |
| STRUCTURAL COMPONENTS | | | |
| Wood Connector/anchor | | | |
| Truss plates | | | |

Product Affidavit

Approved copy of the applicable manufacturer's installation requirements shall be on the jobsite at time of inspection.

I _____, as the contractor/owner/builder, attest the work to be performed at _____ will comply with the current Florida Building Code as well as established standards for performance of products and materials set forth by the product approval guidelines as required by Florida Statutes.

I understand that information and approval numbers of the building components will be required to be available to the building inspector on the jobsite at time of inspection. Including but not limited to:

1. Sealed plans
2. The performance characteristics which the product was tested and certified to comply with
3. Copy of product approval information
4. Copy of the applicable manufacturer's installation requirements

Further, I understand that any installed products may have to be removed if approval cannot be demonstrated during inspection. The above information must be provided for the building components listed below:

1. Exterior Doors
2. Windows **Note:** FBC: Florida Building Code, Chapter 10, Section 1026.2 (If bedroom windows are to be replaced the city will inspect for emergency egress)
 - a. Sill height shall not exceed 44 inches above the floor
 - b. Minimum net clear opening shall be 5.7 square feet; exception – grade level windows may have a minimum clear opening of 5 square feet.
 - c. Minimum net clear opening height shall be 24 inches
 - d. Minimum net clear opening width shall be 20 inches
3. Roofing Products
4. Shutters
5. Skylights
6. Structure Components
7. New exterior Envelope product
8. H.V.A.C. Stand

Signature

Date

STATE OF FLORIDA, COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ who is personally known to me or who has produced _____ as identification.

Notary Public

SEAL

ELECTRIC POWER REQUEST

To: Building Official
City of Bunnell

RE: Request for electric power necessary to check out equipment prior to all final inspections and occupancy of the building

BUILDING PERMIT #: _____

ADDRESS: _____

The undersigned hereby requests that the electric current to the above named building/address be connected prior to all City final inspections in order to assure that electrical equipment is in operable condition.

PLEASE NOTE: It is mutually agreed by all parties signing this request that the electrical power will be discontinued without notice if the building is occupied by either the owner and/or tenant prior to the final inspections and approval by the City Building, Fire, and Zoning Departments.

This Connection is to terminate _____ DAYS from the date of approval.

The undersigned Master Electrician certifies that the wiring apparatus or fixtures of the entire building are in such condition that electric current may be safely connected in order to check out equipment, but is not certifying that the wiring apparatus or fixtures are in such condition for the building to be safely occupied by the owner and/or tenant.

Signature (General Contractor)

Name of Electrician Company

Signature (Master Electrician)

Signature (Owner)

Printed Master Electrician Name

Also, there will be a lock type door to the electrical room and sign posted of the Electrical Danger and Authorized Personnel Only.

Building Approval for electrical power:

Building Official

Date

FPL notified to disconnect power:

Date



Permit # _____

**CITY OF BUNNELL
TREE REMOVAL/LAND CLEARING
PERMIT REQUEST**

Date: _____

Owner's Name _____ Telephone Number: _____

Address _____ City/State/Zip _____

Property Location _____

Contractor _____ Telephone #: _____ BTR # _____

Description of Work Proposed: _____

Number and type of Tree(s) to be removed: _____

Reason(s) for the removal:

- ☐ Non-residential Construction project/development
- ☐ Residential building or addition to a residential building
- ☐ Pool installation
- ☐ Tree Transplanting (on a separate sheet, indicate transplanting methods)
- ☐ Unhealthy or Damaged Tree(s)
- ☐ Other (specify) _____

Job Value: _____

LDC Sec. 14-194. Application for residential building permit.

(2) In the event that fewer than an average of one index tree is to be protected for each 2,500 square feet or fraction of lot area, applicant shall plant trees at the same ratio, of which at least 50 percent of the replacement trees shall be an oak, maple, hickory, sweet gum, elm, or cypress tree species. Replacement tree name, location and number shall be shown on the site plan.

LDC Sec. 14-196. Replacement trees.

Where trees must be replaced, the replacement stock shall:

- (1) Consist of a tree specie listed in section 14-197 and have a minimum caliper of 2½ inches measured 4½ feet above ground and a minimum height of eight feet when planted.

LDC Sec. 14-197. Index tree list.

The following index trees are protected under the terms of this article and also constitute acceptable replacement trees subject to minimum size requirements:

American Holly, Apple, Ash (Green), Cypress, Black Cherry, Cherry Laurel, Chickasaw Plum, Chinese Chestnut, Chinese Jujube, Crabapple, Southern Crepe Myrtle, Dahoon Holly, Dogwood (Flowering), Elm, Fringetree, Hackberry, Hawthorn, Hickory, Jerusalem Thorn, Loblolly Bay, Loquat, Magnolia (Southern) Maple, Oak, Nectarines, Peach, Pecan, Native Persimmon, Plums, Podocarpus (Yew and Yagi), Pears, Redbud, Red Cedar, Silverbells, Sweetgum, Sycamore, Tupelo (Black and Swamp), Weeping Willow, Yellow Poplar (Tulip Tree)

Agreement

In filing this application, I understand that it becomes part of the Public Record of the City of Bunnell, and hereby certify that all information contained herein is accurate to the best of my knowledge.

Signature _____

Date _____

Attach the following:

_____ Copy of tree survey, sketch, or drawing that shows the trees to be removed

_____ Survey, sketch or drawing that shows the location of replacement trees (if applicable)

_____ Additional information: _____



City of Bunnell

Residential Plot Plan Approval Requirements

Residential CO Approval Process:

1. Prior to the commencement of any residential lot construction, Developer shall Submit and receive City approval of a Residential Plot Plan per the below approval checklist.
2. Prior to pouring any concrete building slabs within a designated flood zone, Developer shall submit a signed/sealed Form Board certificate that matches the finished floor elevation of the above approved Plot Plan for City approval.
3. A minimum of two (2) weeks prior to requesting a final CO from the City, Developer shall submit a final signed/sealed as-built site survey per the below approval checklist. Home's within designated flood zone will require an elevation certificate.

Residential Plot Plan Approval Checklist:

1. Finished Floor Elevations (FFE): Site Plan must include the FFE of the subject property as well as the FFE of any adjacent developed properties.
 - a. FFE of subject property are to be a minimum of 12" above the crown of the road.
2. Survey Data: Site Plan must include survey data demonstrating existing conditions to the following criteria:
 - a. An on-site, third order, easily identifiable benchmark referenced to NAVD 1988 (e.g. fire hydrant, nail in power pole.) Pavement nails will not be accepted as benchmarks.
 - b. Existing interior elevations on a 20' grid (20' grid is only necessary for larger lots being an acre or more).
 - c. Elevations on all adjacent properties at a minimum of 40-foot intervals, on a 10 foot offset, outside the property lines.
 - d. FFE of adjacent improved properties.
 - e. Elevations on all adjacent property lines at a minimum of 40-foot intervals. Required Interval spacing may be increased at City Discretion.
 - f. All drainage and topographical features must be clearly depicted including easements and top of bank locations.
 - g. The road centerline (RCL) and edge of pavement (EOP) elevations for roadways adjacent to and along all property lines, including EOP in cul-de-sacs at 9, 12, and 3 O'clock position.



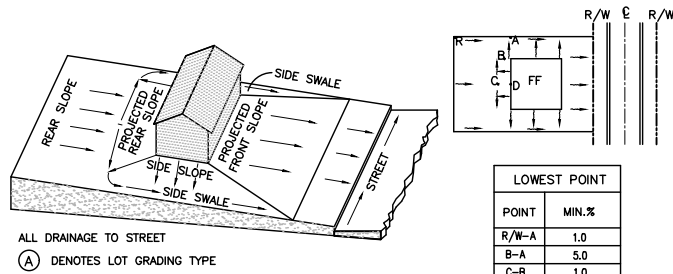
City of Bunnell

Residential Plot Plan Submittal Checklist

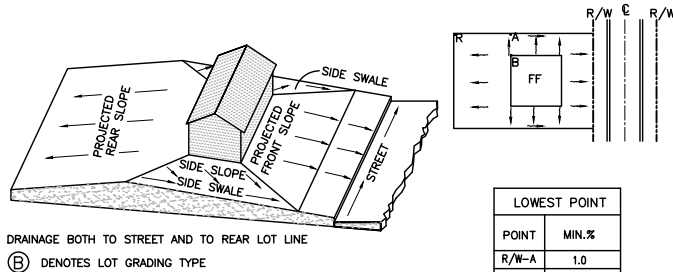
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3. Proposed Plot Plan: Site Plan must include a proposed drainage plan that clearly demonstrates the following criteria:
 - a. Proposed elevations are to be clearly noted and discernible from the existing survey data.
 - b. The proposed elevations shall be shown at all locations of existing elevations per the topographic survey.
 - c. Sod elevations adjacent to the structure are a minimum of 4" below the FFE for block and a minimum of 6" for wood frame structures.
 - d. Drainage from the structure is to be a 6 inch (5%) minimum slope for the first 10'.
 - e. When not feasible a 5% slope shall be provided to an approved drainage feature.
 - f. Property line elevations of adjacent improved lots are within a tenth of a foot of the existing elevation.
 - g. Lot drainage features and patterns must be clearly depicted and include flow arrows.
 - h. Platted subdivision lots must conform to the subdivisions approved drainage plan.
 - i. Lot Drainage shall conform to the City of Bunnell Lot Grading Plan Index M-11 with the lot type A, B or C called out on Site Plan. The necessary front, rear and/or side yard swales must be clearly indicated with spot elevation spacing no greater than ten (10) feet apart.
 - j. The subject lots drainage must not negatively impact any adjacent property.
 - k. The Lot Grading Plan must identify how any low spots on the property (including property lines) are drained.
 - l. It will not be permissible for any drainage feature to directly discharge into a sanitary system.
 - m. The proposed slopes on the property shall not exceed 4:1 and all slopes must adjoin existing property lines at no greater than a 4:1. Slopes along developable, vacant lots shall have a stabilized slope of no greater than 2:1
 - n. All flatwork, i.e., sidewalks, walkways, air-conditioning (AC) pads, patios or other hardscaping must be shown.
4. Additional Considerations: Site Plan must demonstrate the following:
 - a. Survey must be signed, dated and sealed by an actively licensed Florida Professional Surveyor.
 - b. Depict the driveway width at the property line and the edge of pavement (EOP).
 - c. No structures are permitted to encroach within any easements.
 - d. Sidewalks patios or other impervious surfaces cannot interfere with the lot drainage pattern or easements.

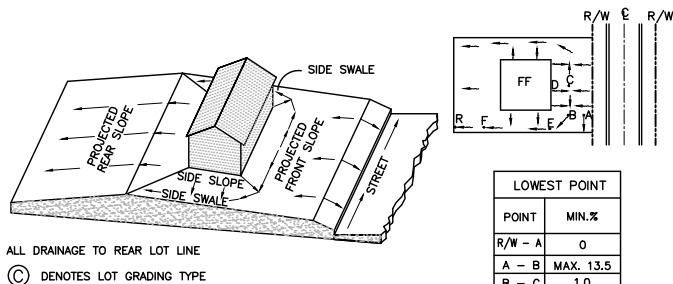
End of Residential Plot Plan Approval and Submittal Checklist



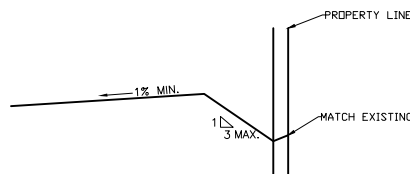
LOT GRADING PLAN "A"
N.T.S.



LOT GRADING PLAN "B"
N.T.S.



LOT GRADING PLAN "C"
N.T.S.



LOT GRADING PLANS
N.T.S.



STANDARD CONSTRUCTION DETAIL
LOT GRADING PLAN
NTS

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M-11

March 2022