



## City of Bunnell Building Department

### Re-Roof Permit Checklist

Contractors must be current with Business Tax Receipt (BTR) for permitting

- ☐ **Permit Application**
- ☐ **Permit Authorization Form** (Not needed if work is valued over **\$2,500** or if owner is acting as the contractor)
- ☐ **Proof of Property Ownership** (Copy of recorded warranty deed or print out from the Property Appraiser's Office)
- ☐ **Disclosure Statement** (If Owner is acting as his/her own contractor) **FS 489.103**
- ☐ **Notice of Commencement** (Required when value of labor and materials is over **\$2,500.00**) Recorded and certified by the Flagler County Clerk of Court **FS sec 713.135**
- ☐ **Bunnell Roofing Information Sheet**
- ☐ **Include Building Height (Existing & Proposed)** which means the vertical distance from the average finished grade of all exterior corners of finished floors to the highest point of the building.

**APPLICANT MUST OBTAIN ALL REQUIRED  
INSPECTIONS INCLUDING THE FINAL INSPECTION**

**CITY OF BUNNELL, FLORIDA**  
**BUILDING PERMIT APPLICATION**

DATE: \_\_\_\_\_

PERMIT #

Owner's Name \_\_\_\_\_ Address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Property Location \_\_\_\_\_

City/State/Zip \_\_\_\_\_ Legal Description of the Property \_\_\_\_\_

Section \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Subdivision \_\_\_\_\_

PARCEL # (REQUIRED) \_\_\_\_\_

Parcel Width \_\_\_\_\_ x \_\_\_\_\_ Depth \_\_\_\_\_ Square Ft. \_\_\_\_\_

**Description of Work:** \_\_\_\_\_

Contractor: \_\_\_\_\_ Telephone Number \_\_\_\_\_ Fax \_\_\_\_\_

Address \_\_\_\_\_ City/State \_\_\_\_\_ Zip Code \_\_\_\_\_

State License # \_\_\_\_\_ **Bunnell Business Tax Number REQUIRED** \_\_\_\_\_

**If owner is to be the builder, and occupy the home, then The Owner/Builder Affidavit must be signed with application.**

Is main Floor Level less than 12" above the crown of the road? Yes ☐ No ☐

List area Totals in Square Feet:

Living Area \_\_\_\_\_ Garage \_\_\_\_\_ Carport \_\_\_\_\_ Screen Porch \_\_\_\_\_ Sidewalk \_\_\_\_\_

Open Porch \_\_\_\_\_ Accessory Bldg. \_\_\_\_\_ Patio \_\_\_\_\_ Driveway \_\_\_\_\_

Zoning Approval: \_\_\_\_\_ Date \_\_\_\_\_ Initials \_\_\_\_\_ Site Plan Approval: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Initials \_\_\_\_\_

Check One: Septic Tank \_\_\_\_\_ Tank # \_\_\_\_\_ City Sewer \_\_\_\_\_ City Water \_\_\_\_\_ Private Well \_\_\_\_\_

Check Equipment:

HEATING: Oil \_\_\_\_\_ Gas \_\_\_\_\_ ELECTRIC \_\_\_\_\_ ELECTRICAL SERVICE: Phase \_\_\_\_\_ Volts \_\_\_\_\_ Amps \_\_\_\_\_

KITCHEN RANGE: Gas \_\_\_\_\_ Electric \_\_\_\_\_ WATER HEATER: Gas \_\_\_\_\_ Electric \_\_\_\_\_

AIR CONDITIONING: Yes \_\_\_\_\_ No \_\_\_\_\_ WASHING MACHINE \_\_\_\_\_ DRYER \_\_\_\_\_ DISHWASHER \_\_\_\_\_ EX. FAN \_\_\_\_\_

RANGE HOOD \_\_\_\_\_ FIREPLACE \_\_\_\_\_

Type of Floor Construction: Concrete \_\_\_\_\_ Wood \_\_\_\_\_ Other \_\_\_\_\_

Number of Bathrooms \_\_\_\_\_ Total amount of floor drains and plumbing \_\_\_\_\_ Number of stories \_\_\_\_\_

Type of Exterior Walls:

Block \_\_\_\_\_ Stucco \_\_\_\_\_ Wood \_\_\_\_\_ Brick \_\_\_\_\_ Brick Veneer \_\_\_\_\_ Shingles \_\_\_\_\_ Aluminum Siding \_\_\_\_\_ Stone \_\_\_\_\_ Metal \_\_\_\_\_ Other \_\_\_\_\_

Type of Interior Walls:

Lath & Plaster \_\_\_\_\_ Drywall \_\_\_\_\_ Paneling \_\_\_\_\_ Unfinished \_\_\_\_\_ Other \_\_\_\_\_

Kind of Roof Construction:

Common \_\_\_\_\_ Trusses \_\_\_\_\_ Gable \_\_\_\_\_ Flat \_\_\_\_\_ Shed \_\_\_\_\_ Hip \_\_\_\_\_ Metal \_\_\_\_\_ Tile \_\_\_\_\_ Tar & Gravel \_\_\_\_\_ Shingles \_\_\_\_\_ Roll \_\_\_\_\_ Other \_\_\_\_\_

Plumbing Contractor \_\_\_\_\_ Occ Lic# \_\_\_\_\_ Electrical Contractor \_\_\_\_\_ Occ Lic# \_\_\_\_\_

Mechanical Contractor \_\_\_\_\_ Occ Lic# \_\_\_\_\_ Roofing Contractor \_\_\_\_\_ Occ Lic # \_\_\_\_\_

Other \_\_\_\_\_ Occ Lic # \_\_\_\_\_

Cost of Improvement \$ \_\_\_\_\_

To be Installed, But Not

Included in the Above Price \$ \_\_\_\_\_

Electrical \$ \_\_\_\_\_

Heating/Air Conditioning \$ \_\_\_\_\_

Other \$ \_\_\_\_\_

**TOTAL COST OF IMPROVEMENT** \$ \_\_\_\_\_

x \_\_\_\_\_

**APPLICANT Must Sign Here**

Owner \_\_\_\_\_ Contractor \_\_\_\_\_

**"FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN  
RESULT IN THE PROPERTY OWNER PAYING TWICE FOR  
IMPROVEMENTS."**

**Zoning Approval:** \_\_\_\_\_ **Date** \_\_\_\_\_ **Initials** \_\_\_\_\_ **Site Plan Approval required:** \_\_\_\_\_ **Yes** \_\_\_\_\_ **No** \_\_\_\_\_ **Initials** \_\_\_\_\_

**Fire Review Needed:** \_\_\_\_\_ **Yes** \_\_\_\_\_ **No** \_\_\_\_\_ **Fire Review Completed:** \_\_\_\_\_ **Yes** \_\_\_\_\_ **No** \_\_\_\_\_ **Initials** \_\_\_\_\_



## DISCLOSURE STATEMENT

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building **if the costs do not exceed \$75,000**. The building or residence must be for **my own use or occupancy**. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.
7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.
9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.
10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 1-850-487-1395 or [www.myfloridalicense.com/dbpr](http://www.myfloridalicense.com/dbpr) for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address: \_\_\_\_\_ . (Address of property)

12. I agree to notify the City of Bunnell immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure.

Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit. A copy of the property owner's driver license, the notarized signature of the property owner, or other type of verification acceptable to the local permitting agency is required when the permit is issued.

Signature: \_\_\_\_\_ Date \_\_\_\_\_  
(Signature of property owner)

STATE OF FLORIDA  
COUNTY OF FLAGLER

Sworn to (or affirmed) and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by  
\_\_\_\_\_(name of person making statement).

\_\_\_\_\_  
(Signature of Notary Public-State of Florida)

\_\_\_\_\_  
(Name of Notary Typed, Printed, or Stamped)

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_

Type of Identification Produced\_\_\_\_\_

Permit No. \_\_\_\_\_

Tax Folio No. \_\_\_\_\_

### NOTICE OF COMMENCEMENT

State of \_\_\_\_\_  
County of \_\_\_\_\_

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: (legal description of the property, and street address if available) \_\_\_\_\_
2. General description of improvement: \_\_\_\_\_
3. Owner information:
  - a. Name and address: \_\_\_\_\_
  - b. Interest in property: \_\_\_\_\_
  - c. Name and address of fee simple titleholder (if other than Owner): \_\_\_\_\_
4. Contractor:
  - a. Contractor name and address: \_\_\_\_\_
  - b. Contractor's phone number: \_\_\_\_\_
5. Surety
  - a. Surety name and address: \_\_\_\_\_
  - b. Phone number: \_\_\_\_\_
  - c. Amount of bond: \_\_\_\_\_
6. Lender:
  - a. Lender's name and address: \_\_\_\_\_
  - b. Lender's phone number: \_\_\_\_\_
7.
  - a. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: (name and address) . \_\_\_\_\_
  - b. Phone numbers of designated persons: \_\_\_\_\_
8.
  - a. In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
  - b. Phone number of person or entity designated by owner: \_\_\_\_\_
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

\_\_\_\_\_  
(Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager)

\_\_\_\_\_  
(Signatory's Title/Office)

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by \_\_\_\_\_  
(year) (name of person)  
as \_\_\_\_\_ for \_\_\_\_\_  
(type of authority, . . . e.g. officer, trustee, attorney in fact) (name of party on behalf of whom instrument was executed)

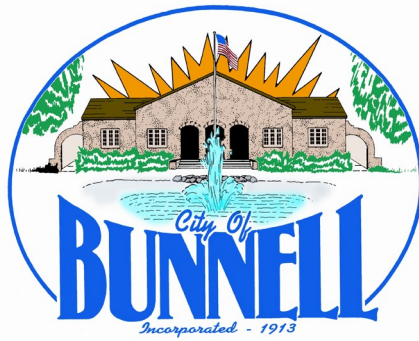
\_\_\_\_\_  
(Signature of Notary Public - State of Florida)

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

Verification pursuant to Section 92.525, Florida Statutes.

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

\_\_\_\_\_  
(Signature of Natural Person Signing Above)



**PERMIT AUTHORIZATION FORM  
CITY OF BUNNELL  
BUILDING DEPARTMENT**

I, \_\_\_\_\_, hereby authorize \_\_\_\_\_, to obtain  
a permit in my behalf for the job site described below:

**TYPE OF PERMIT**

Building \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Electric \_\_\_\_\_  
A/C \_\_\_\_\_  
Other \_\_\_\_\_

**DESCRIPTION**

Owner \_\_\_\_\_  
Job Address \_\_\_\_\_  
Lot \_\_\_\_\_ Block \_\_\_\_\_

Date: \_\_\_\_\_

\_\_\_\_\_  
Signature (Owner / Contractor)

State Certification / Registration # \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF FLAGLER

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
by \_\_\_\_\_ who has produced \_\_\_\_\_ as identification  
and who did take an oath.

\_\_\_\_\_  
Notary Public  
State of Florida

PRINT NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
COMMISSION NO.: \_\_\_\_\_



## City of Bunnell

Building Permit Roofing Scope Requirements  
201 West Moody Blvd, Bunnell, FL 32110  
Phone: Website

### **ISSUE: ROOFING PERMITS REQUIRED**

#### **Florida Building Code, Building 7th Ed' (2020)**

101.2 Scope. The provisions of this code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.

105.1 Permit Required. Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any required impact-resistant coverings, electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

New Roofing shall meet the requirements of the Florida Building Code, Building 7<sup>th</sup> Ed' (2020) or Florida Building Code, Residential 7<sup>th</sup> Ed' (2020) as applicable.

Re-Roofing/Recovering shall meet the requirements of Section 706 of the Florida Building Code, Existing 7<sup>th</sup> Ed' (2020)

- Roofing area 1 Square (100 square feet) or less is considered maintenance and a permit is not required.
- Roofing area over 1 Square (100 square feet) to 25% of the roof area is considered a repair and a permit is required.
- Roofing area over 25% causes the entire roof to come into compliance with Florida Building Code, Building or Florida Building Code, Residential as applicable.





## Office of Building Services

### Reroof Scope of Work

FBC 7<sup>th</sup> Ed' (2020)

201 W Moody Blvd., Bunnell, FL 32110 · PO Box 756  
Phone (386)437-7516 · Website [www.Bunnellcity.us](http://www.Bunnellcity.us)

Permit: \_\_\_\_\_

Date: \_\_\_\_\_

Job Address: \_\_\_\_\_

Structure: ☐ Single-family Residence/Townhouse ☐ Mobile Home ☐ Commercial/Condominium

Re-Roof Type: ☐ Replacement - Tear off Existing and Replace ☐ Re-cover – New Roof over Existing Roof

If damaged decking replacement is required, an inspection is required.

Job Description: \_\_\_\_\_ Square Footage \_\_\_\_\_

Special Notes: \_\_\_\_\_

#### Type of Roof & Florida Product Approval numbers:

☐ EPDM - Hypalon or PVC One ply FL# \_\_\_\_\_

☐ Coating Only FL# \_\_\_\_\_

☐ Smooth Surfaced Built-up FL# \_\_\_\_\_

☐ Underlayment FL# \_\_\_\_\_

☐ Built-up with Aggregate FL# \_\_\_\_\_

☐ Fiberglass Shingle FL# \_\_\_\_\_

☐ Tile FL# \_\_\_\_\_

☐ Wood Shingle or Shake FL# \_\_\_\_\_

☐ Metal – Direct attachment FL# \_\_\_\_\_

☐ Modified Bitumen FL# \_\_\_\_\_

☐ Metal with Purlins FL# \_\_\_\_\_

Slope of Roof: ☐ Less than 2:12 \* ☐ 2:12 – 4:12 \*\* ☐ 4:12 or greater

\*No shingle application allowed \*\*Multi-layer underlayment requires inspection or digital photographs for verification.

Ventilation: ☐ Turbines qty \_\_\_\_\_ ☐ Off ridge Vent qty \_\_\_\_\_ ☐ Powered Vent qty \_\_\_\_\_  
☐ Ridge Vent length \_\_\_\_\_ ☐ Other / Unvented: \_\_\_\_\_

Flashing: ☐ Use existing ☐ Repair Existing flashing ☐ Replace all Flashing.  
☐ Replace w/L-Flashing ☐ Replace w/Step Flashing

Drip Edge: ☐ Use Existing ☐ Repair Existing Drip edge ☐ Replace All Drip Edge

Valley Treatment ☐ Use Existing valley ☐ New Metal ☐ New Mineral Surface

Note: The following information is required on site for final inspection:

1. This scope of work form with the signed and notarized roofing affidavit included.
2. Florida product approval installation instructions, current master filed systems or site-specific engineering for all products used on the job.
3. Printed photographs of sheathing re-nailing, underlayment (if used), Purlins or insulation (if used) with a measurement device shown to reference required fastener spacing.  
Sheathing shall be re-nailed for any detached Single-Family home built prior to March 1, 2002.  
Nailing should be equivalent to # 8d no more than 6" on center. Per FBCEB 706.7.1 & T706.7.1.6
4. The photographs must include a ruler or measuring device to confirm nail spacing and overlaps including drip edge and valley flashing.  
All the documents will become part of the inspection record. On-site inspections, per Florida Building Code 110, may be required by the Building Division to verify Code compliance.



# Reroofing Inspection Affidavit Nailing, Sheathing, Dry-In & Flashing

**REROOF ONLY – NOT NEW CONSTRUCTION**

Permit: \_\_\_\_\_

Date: \_\_\_\_\_

Job Address: \_\_\_\_\_

Indicate the method utilized for underlayment meeting the requirements of Section 905.1.1 FBCR

☐ 1) "The entire roof deck shall be covered with an approved self-adhering polymer-modified bitumen underlayment complying with ASTM D1970...."

☐ 2) "A minimum 4-inch-wide strip of self-adhering polymer-modified bitumen membrane complying with ATSM D1970 .... shall be applied over all joints in the roof decking...."

☐ 3) "A minimum 3 ¼ inch wide strip of self-adhering flexible flashing tape complying with AAMA 711 ..... shall be applied over all joints in the roof decking...."

☐ 4) "Two layers of ATSM D226 Type II or ATSM D4869 Type III or Type IV ....."

☐ 5) "Two layers of a reinforced synthetic underlayment that has a product approval as an alternative to underlayment complying with ATSM D226 Type II...."

I, \_\_\_\_\_, as a(n) General, Building, Residential, or Roofing Contractor, Engineer, Architect, or F.S. Chapter 468 Building Inspector, I hereby affirm, that all of the foregoing information is true and accurate and that the sheathing, nailing, dry-in, and flashings at the above referenced address/lot have been installed in accordance with the attached scope of work, complying with all applicable codes and standards. Based upon my examination I have determined the installation was done in conformance with the requirements of Section 706.7 Existing Roofing, Mitigation of the Florida Building Code, Existing.

License #: \_\_\_\_\_

Company/Contractor: \_\_\_\_\_

Contractor's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(Must be signed by license holder OR Owner if owner/builder)

**A final roofing inspection is required:**

**This signed and notarized affidavit must be provided at the job site at the time of the final roofing inspection along with digital photographs of each plane of the roof with the permit number or address number clearly marked on the deck for each inspection. The photographs must include a ruler or measuring device to confirm nail spacing and overlaps including drip edge and valley flashing.**

STATE OF FLORIDA COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me by means of physical presence or online notarization,

this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ who is personally known to me \_\_\_\_ or has produced \_\_\_\_\_ as identification.

Notary Public

(SEAL)

\_\_\_\_\_  
Printed Name

My Commission Expires